

Zoning Board of Appeal. 1247773

OA

Omar /Agent <[REDACTED]>



To: Carter, Lucas J

Fri 10/10/2025 6:30 AM

Good morning,

The application has been withdrawn. Base on the clarification " "Your appeal case is technically separate from any permit application"

I also have a conflict of schedule and will be out of the country for the foreseeable future.

The application has been withdrawn. Thank you.

Dr. Omar Coote

Phone [REDACTED]

...



Reply



Forward

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Omar Coote

Mailing Address: Po Box 816

City/State/Zip Code: Pine Lake, GA 3072

Email: omarga22@gmail.com

Telephone Home: 678-858-3382

Business: _____

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: PG Infinite Family Trust

Address (Mailing): PO Box 816, Pine Lake, GA 30072

Email: omarga22@gmail.com

Telephone Home: 678-858-3382

Business: 678-858-3382

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 4379 Flat Shoals Parkway City: Decatur State: GA Zip: 30072

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: 15 070 03 005

Zoning Classification: C1

Commission District & Super District: _____

CHECK TYPE OF HEARING REQUESTED:

☐ VARIANCE (From Development Standards causing undue hardship upon owners of property.)

☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)

☒ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 9-10-2025

Applicant/Agent
Signature

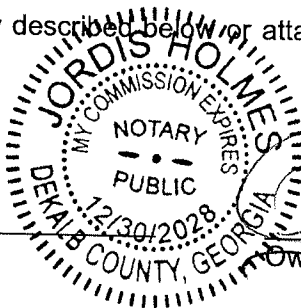
Frank Redding

TO WHOM IT MAY CONCERN:

(I)/ (WE): PG Infinite Family Trust
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Jordis Holmes
Notary Public



[Signature]
Owner Signature

Notary Public

[Signature]
Owner Signature

Notary Public

Owner Signature

Omar Coote

4379 Flat Shoals Parkway
Decatur, GA 30034
678-858-3382
omarga22@gmail.com
09/14/2025

DeKalb County Zoning Board of Appeals

Planning and Sustainability Department
1802 Clairmont Road
Decatur, GA 30033

Letter of Intent and Justification for Appeal of Administrative Decision – 4379 Flat Shoals Parkway, Decatur, GA 30034

Dear Members of the Zoning Board of Appeals:

I am writing as the homeowner and applicant regarding the proposed addition to my residence located at 4379 Flat Shoals Parkway, Decatur, GA 30034, which is currently zoned C-1 and situated within the I-20 Overlay District. I respectfully submit this Letter of Intent and Justification in support of my appeal of the zoning administrative decision, which has mischaracterized my proposed addition as a multifamily addition.

Background

I am the owner/applicant and full-time resident of the subject property, as evidenced by my **homestead exemption filing** with DeKalb County and Current Government Issued Identification. My permit application was submitted for a **residential addition to my single-family dwelling**, and it has been reviewed and approved by all departments except for zoning.

During zoning review, the addition was characterized as intended to be a multifamily addition due to the interior layout. I respectfully contend that this is an incorrect interpretation of the proposed design. The addition is intended **solely for single-family residential use**, consistent with my status as the property owner-occupant and homestead exemption.

Justification Under Zoning Ordinance

Pursuant to **Section 27-7.5.3 and 27-7.5.4 of the DeKalb County Zoning Ordinance**, the proposed addition meets the required criteria:

1. **Consistency with the Comprehensive Plan**
 - The addition is compatible with the surrounding residential character and does not alter the single-family use of the property.
 - The property will continue to serve as my primary residence and remain consistent with the County's housing policies and land use goals.
2. **Compatibility with Adjacent Properties**

- The addition can be and have been modified to be architecturally consistent with the existing home and surrounding neighborhood.
 - No changes in use intensity, traffic generation, or density are being introduced. The property will continue to be occupied as a single-family residence.
3. **Avoidance of Adverse Impacts**
- The proposed construction will not create adverse noise, traffic, or parking impacts beyond what is typical for a single-family residence.
 - The addition does not introduce a separate dwelling unit; rather, it enhances the livability of the existing home.
4. **Promotion of Public Health, Safety, and Welfare**
- The design complies with all applicable building, fire, and safety codes, as confirmed by departmental approvals.
 - The addition strengthens the property's value and utility without conflicting with surrounding zoning patterns or overlay requirements.

Clarification of Use

While the proposed floor plan includes areas such as bedrooms, kitchen and family room, these are designed to accommodate the needs of my household, not to establish a separate or independent dwelling unit. The home will remain a **single-family residence**, and no subdivision of occupancy or multifamily use is intended.

Exhibit A – Findings of Fact & Justification

Property Address: 4379 Flat Shoals Parkway, Decatur, GA 30034

Background:

The subject property was originally zoned residential but was rezoned to C-1 in the 1980s by the prior owner. Despite the commercial zoning designation, the property has been continuously used for residential purposes and is presently occupied by the current owner as his full-time primary residence, with a valid **homestead exemption filed with DeKalb County** for several years.

The proposed project is a **residential addition** to the existing single-family dwelling. The zoning review mischaracterized the design as a “multifamily addition” due to the interior layout; however, the property will continue to operate as a single-family home.

Findings of Fact under Section 27-7.5.3

1. **Consistency with Comprehensive Plan and Policies**
 - Although zoned C-1, the property has been continuously utilized for single-family residential purposes in harmony with the surrounding neighborhood.

- The Comprehensive Plan supports the preservation and enhancement of existing residential uses where established.
 - The proposed addition is consistent with these policies and does not alter the use or intensity of the property.
2. **Compatibility with Adjacent Properties**
- The surrounding area includes a mix of commercial and residential uses along Flat Shoals Parkway.
 - The property has functioned as a residence for decades without conflict or inconsistency.
 - The addition is architecturally consistent with the existing structure and poses no incompatibility with neighboring properties.
3. **Avoidance of Adverse Impacts**
- The addition will not create adverse noise, traffic, parking, or environmental impacts.
 - The home will remain a single-family residence occupied by the owner.
 - No multifamily occupancy or commercial intensification is proposed.
4. **Promotion of Public Health, Safety, and Welfare**
- The project has received departmental approval from building, fire, and related divisions, demonstrating compliance with safety codes.
 - The addition enhances the livability and functionality of the property for the owner and family, thereby promoting long-term stability in the neighborhood.
5. **Practical Difficulty and Unique Circumstances**
- The property's unusual zoning history (rezoned to C-1 despite continued residential use) creates a hardship in permitting routine residential improvements.
 - Without zoning relief, the owner would be deprived of reasonable residential use and enjoyment of the property despite its longstanding function as a single-family dwelling.

Conclusion:

The proposed addition to 4379 Flat Shoals Parkway meets the criteria of **Section 27-7.5.3** of the DeKalb County Zoning Ordinance. The project does not introduce a multifamily use, does not intensify or alter the established residential function, and is consistent with the property's historical and current use.

Accordingly, the applicant respectfully requests that the Zoning Board of Appeals overturn the administrative determination and recognize the project as a **permissible single-family residential addition**.

Request

For these reasons, I respectfully request that the Zoning Board of Appeals overturn the administrative decision and approve my residential addition as consistent with a **single-family residential use**. This request is made in good faith and with full compliance with applicable zoning and building requirements.

I appreciate your time and consideration of this appeal. Please do not hesitate to contact me if additional documentation, plans, or clarifications are required.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Omar Coote". The signature is fluid and cursive, with a large initial "O" and a long horizontal stroke at the end.

Omar Coote

REV. 3/89

DEKALB COUNTY
BOARD OF COMMISSIONERS

FILE COPY

318

ITEM NO. 16.

ZONING - AGENDA/MINUTES

MEETING DATE August 22, 1989

PREL.

ACTION

PUB.HRG. X

RESOLUTION

ORDINANCE X

PROCLAMATION

SUBJECT: Rezoning Application - James Cruickshank

COMMISSION DISTRICT: 3

DEPARTMENT: Planning

PUBLIC HEARING: X Yes No

ATTACHMENT: X Yes No 6 pp

INFORMATION CONTACT: Mac Baggett or/
Charles Coleman
PHONE NUMBER: 371-2155 *cc*

PURPOSE:

CZ-89102 - To consider the application of James Cruickshank to rezone property located on the south side of Flat Shoals Parkway across from Boring Road from R-100 to C-1 (conditional). The property has frontage of 411' and contains 2.39 acres. The application is conditioned on development of the property for a restaurant.

SUBJECT PROPERTY:

15-70-3-5 (4379 Flat Shoals Parkway).

RECOMMENDATION(s):

PLANNING DEPARTMENT: Approval with condition. The proposal is consistent with recommendations of the Comprehensive Plan and compatible with zoning in the area. Staff recommendation includes the condition that access is approved by Georgia DOT.

PLANNING COMMISSION: Approval per staff.

COMMUNITY COUNCIL: Approval of C-1 for a restaurant without a lounge.

A) 5230 B) Rezoning, James

C) Flat Shoals Road
Boring Road

319

Y903 3117

FOR USE BY COMMISSION OFFICE/CLERK ONLY

ACTION: MOTION: It was moved by Commissioner Williams, seconded by Commissioner Collins, and unanimously passed to approve the application per Planning Department recommendation. Absent: Commissioners Fletcher and Mosby.

ADOPTED: AUG 22 '89
(DATE)

CERTIFIED: AUG 22 '89
(DATE)

Robert E. Lanier

PRESIDING OFFICER
DEKALB COUNTY BOARD OF COMMISSIONERS

[Signature]

CLERK,
DEKALB COUNTY BOARD OF COMMISSIONERS

MINUTES: Mr. Lewis K. Harley, Attorney, 1126 Ponce de Leon Avenue, NE, Atlanta, represented the applicant.

Opposition: None.

	FOR	AGAINST	ABSTENTION	ABSEN
DISTRICT 1 - Jean Williams	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
DISTRICT 2 - Sherry Sutton	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
DISTRICT 3 - Nathaniel Mosby	<u> </u>	<u> </u>	<u> </u>	<u> </u>
DISTRICT 4 - Robert J. (Bob) Morris	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
DISTRICT 5 - John S. Fletcher, Jr.	<u> </u>	<u> </u>	<u> </u>	<u> </u>
AT-LARGE - Robert Lanier	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
AT-LARGE - Annie Collins	<u>X</u>	<u> </u>	<u> </u>	<u> </u>



DeKalb County Planning & Development Department
Auditorium of the Maloof Center
1300 Commerce Drive
Decatur, GA 30030



The Honorable Vernon Jones
Chief Executive Officer

Patrick Bjike
Director

TEXT AMENDMENT ANALYSIS

AGENDA NO: D-7 ZONING CASE NO: TA-07-13924 MEETING DATE: Dec. 12, 2007

APPLICANT: DeKalb County Board of Commissioners

***** SECTIONS OF ZONING ORDINANCE AFFECTED BY AMENDMENTS:

Chapter 27 of the DeKalb County Code of Ordinance.

***** REASON FOR REQUEST:

The I-20 Overlay District will undoubtedly spur economic development along the I-20 corridor and allow DeKalb County to benefit from the tremendous volume of traffic along I-20 corridor. I-20 is designated by Atlanta Regional Commission as a mega corridor and this designation has taken a new meaning with the increased activity at the seaport in Savannah. The overlay is consistent with the County's comprehensive plan and supports the need to develop self-sustaining communities. I-20 Overlay District will preserve and enhance open space networks; encourage mixed-use developments that meet ARC's Smart Growth Initiatives; allow flexibility in development standards in order to encourage innovative developments with high standards for landscaping, green space and urban design; further the formation of a well-designed, pedestrian-friendly, high-density commercial/residential activity centers which will support alternative modes of transportation; and promote a visually aesthetic and uniform quality to the I-20 Overlay District.

The I-20 Overlay District is a ripe idea that goes a long way in supporting the goals of DeKalb County Administration to enhance the tax base of the County while creating a platform for quality growth in the County.

***** RECOMMENDATION(S):

PLANNING & DEVELOPMENT DEPARTMENT:

11) **APPROVAL** There are no supplementary regulations which govern the development of compatible mixed use environments and its associated urban design and development characteristics in whole or in part within the Interstate 20 Compatible Use Overlay District Boundaries. In order to achieve the purposes and intent of this Compatible Use Overlay District, the Board of Commissioners find that it is necessary and desirable to have additional regulations on the lots, buildings, structures, and land uses within this Overlay District. These regulations shall apply to all building, development and redevelopment permits and other activities including outdoor fixtures, furnishings and landscaping within the said district. Therefore, it is the recommendation of the Planning and Development Department that the text amendment be "Approved"

PLANNING COMMISSION:

Approval.

COMMUNITY COUNCIL:

CC 1 - Approval w/condition(s) (7-0-0)

CC 2 - Approval (9-0-1)

Page 2

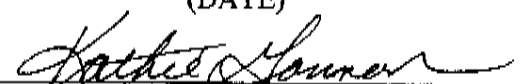
ACTION: H13

MOTION was made by Commissioner Johnson, seconded by Commissioner May, to approve with an amendment under section 27-729.5 "K" nightclubs to read: with a maximum size of 10,000 square feet, Text Amendment – To amend the text of Chapter 27 of the Zoning Ordinance to create the Interstate Highway – 20 Overlay District.

The MOTION was voted on and passed 7-0-0-0.

ADOPTED: JAN 08 2008

(DATE)

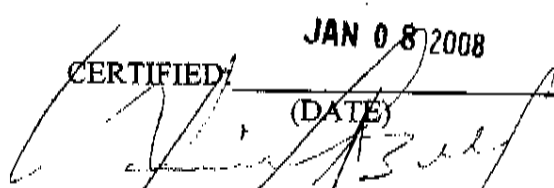


PRESIDING OFFICER

DEKALB COUNTY BOARD OF COMMISSIONERS

CERTIFIED: JAN 08 2008

(DATE)



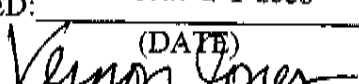
CLERK,

DEKALB COUNTY BOARD
OF COMMISSIONERS

FOR USE BY CHIEF EXECUTIVE OFFICER ONLY

APPROVED: JAN 14 2008

(DATE)


CHIEF EXECUTIVE OFFICER
DEKALB COUNTY

VETOED: _____

(DATE)

CHIEF EXECUTIVE OFFICER
DEKALB COUNTY

VETO STATEMENT ATTACHED: _____

MINUTES:

No one spoke for or against the application.

	FOR	AGAINST	ABSTAIN	ABSENT
DISTRICT 1 - ELAINE BOYER	<u>X</u>			
DISTRICT 2 - JEFF RADER	<u>X</u>			
DISTRICT 3 - LARRY JOHNSON	<u>X</u>			
DISTRICT 4 - BURRELL ELLIS	<u>X</u>			
DISTRICT 5 - LEE MAY	<u>X</u>			
DISTRICT 6 - KATHIE GANNON	<u>X</u>			
DISTRICT 7 - CONNIE STOKES	<u>X</u>			

PROJECT NAME

PROPOSED ADDITION TO THE:
COOTE SINGLE FAMILY RESIDENCE

4397 FLAT SHOALS PKWY,
DECATUR, GA 30034

CONTACTS

OWNER:
OMAR COOTE
4379 FLAT SHOALS PKWY,
DECATUR, GA 30034
PHONE#- (678) 858-3382
Email: Omarga22@gmail.com

ARCHITECT:
Allan Graham

434 Rolfe Ct,
McDonough, GA. 30252
Tell: (404) 259-0093
Email: grahamaa33@gmail.com

CONTRACTOR:

PROPERTY ELEVATION FROM STREET



SCOPE OF WORK

THESE DOCUMENTS REFLECT EXISTING CONDITIONS TO THE BEST OF THE ARCHITECT KNOWLEDGE. THE BUILDING ADDRESS IS AN EXISTING SINGLE- FAMILY UNIT & TO REMAIN AS A SINGLE- FAMILY UNIT WITH NEW ADDITION. RE-PURPOSE EXISTING KITCHEN INTO OFFICE, NEW KITCHEN WILL BE BUILT IN THE ADDITION AT THE WEST SIDE OF THE BUILDING WITH NEW BEDROOMS, BATHROOMS, ASPHALT SHINGLE ROOFING, GUTTERS W/ DOWN SPOUT & ACCESSORIES, WINDOW UNITS, PLUMBING INSTALLATION, ELECTRICAL WIRING TO CODE W/ LIGHT FIXTURES, OUTLETS & LIGHT SWITCHES, EXTERIOR & INTERIOR DOORS & ENGINEER HARDWOOD FLOORING & INSTALLING WALL TILES & NONE SLIP FLOOR TILES IN BATHROOMS.

LIST OF ARCHITECTURAL & STRUCTURAL DWGS.

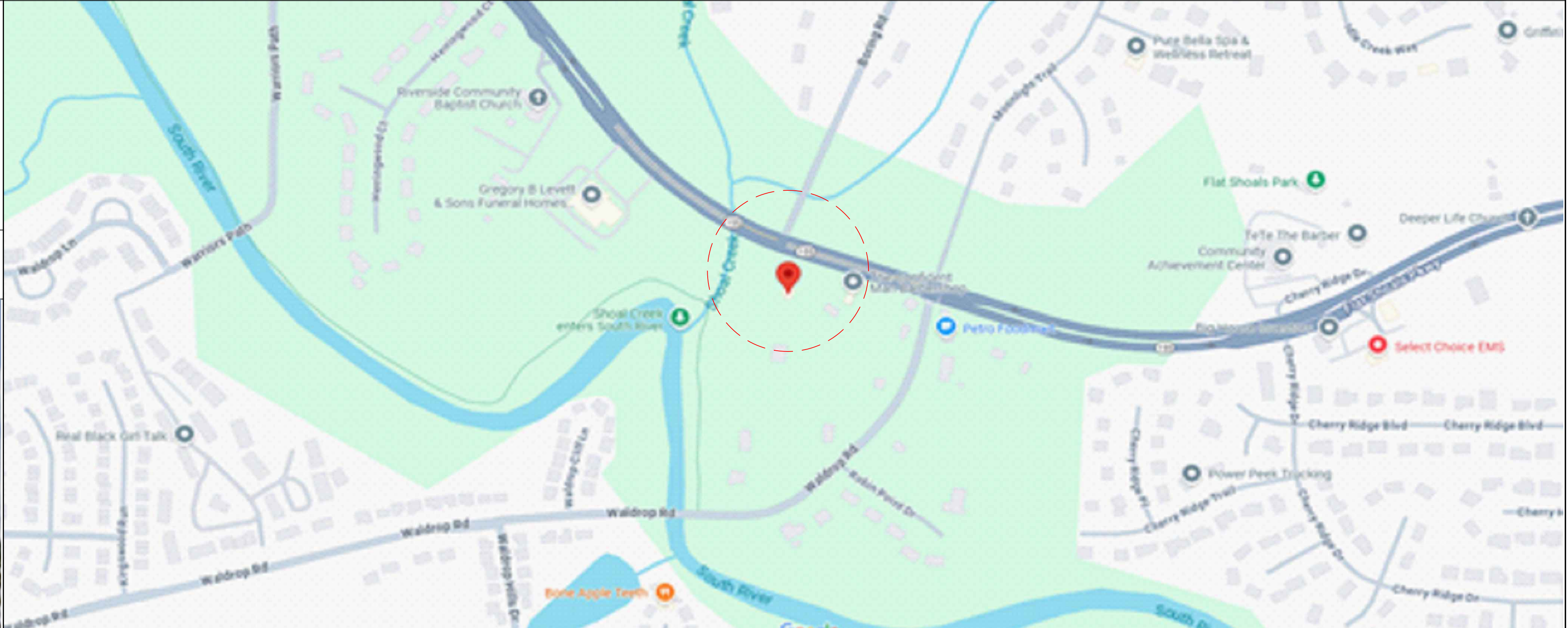
SHT. #	SHEET INDEX	SHT. #	SHEET INDEX
A01	COVER SHEET, PLOT PLAN & LEGEND	A10	PROPOSED SECTIONS 'A-A', 'B-B', WALL & DOOR JAMB DETAILS
A02	NOTES AND LEGEND	A11	PROPOSED ELEVATION #1, DOOR & WINDOW ELEVATIONS & DOOR & WINDOW HEADER SCHEDULES & NOTES
A03	SITE PLAN	A12	PROPOSED ELEVATIONS #2 & #4
A04	FOUNDATION PLAN & FOOTING & WALL DETAILS	A13	PROPOSED ELEVATIONS #3
A05	PROPOSED 1ST. FLOOR PLAN	A14	PROPOSED 1ST. FLOOR ELECTRICAL LAYOUT, LEGEND & NOTES
A06	PROPOSED 2ND. FLOOR PLAN	A15	PROPOSED 2ND. FLOOR ELECTRICAL LAYOUT, LEGEND & NOTES
A07	PROPOSED 2ND. FLOOR FRAMING PLAN & FLOOR TRUSS PAN CHART	A16	PROPOSED 1ST. FLOOR PLUMBING LAYOUT, LEGEND & NOTES
A08	PROPOSED ROOF FRAMING PLANS & ROOF DETAILS	A17	PROPOSED 2ND. FLOOR PLUMBING LAYOUT, LEGEND & NOTES
A09	PROPOSED ROOF PLAN	A18	PLUMBING RISER DIAGRAM & PIPE DETAILS

AUTHORITIES HAVING JURISDICTION

JURIDICITION: CITY OF DECATUR, DEKALB COUNTY
DEPARTMENT: PLANNING AND ZONING DEPARTMENT

Address: 330 W Ponce de Leon Ave,
Decatur, GA 30030 Phone: (404) 371-2155

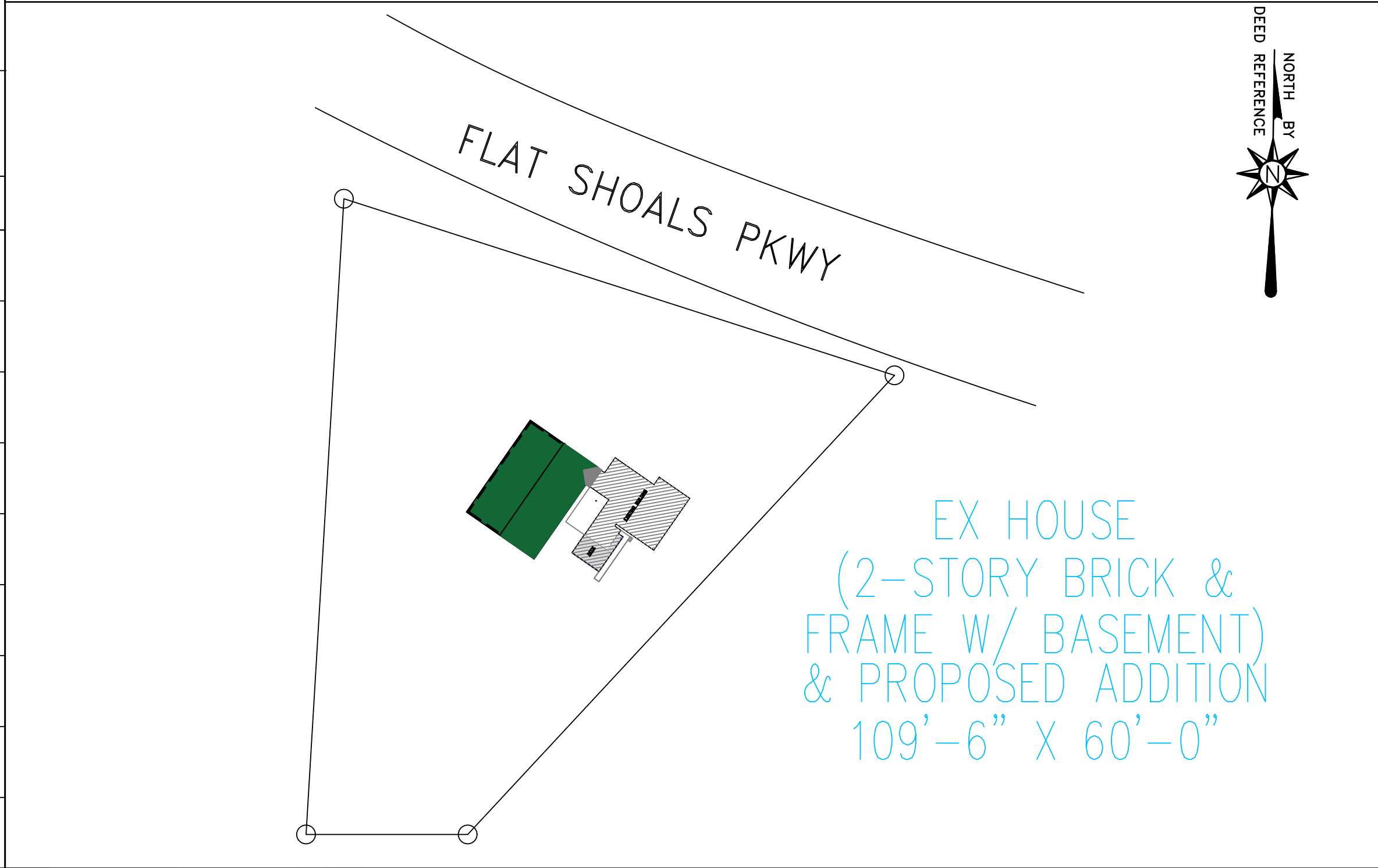
STREET LOCATOR



AREA LOCATOR



SITE PLAN DIAGRAM



PROJECT DATA

ADDRESS	4379 FLAT SHOALS PKWY, GA 30034,
APN:	1507003005
Valuation	
ZONING	C1
YEAR BUILT	1940
OCCUPANCY	R3
HEIGHT LIMIT	N/A
LEGISLATIVE SETBACKS	N/A
STORY'S	2
RESTRICTIONS	NONE
TYPE	VB/ WOOD FRAME
PROJECT FEATURES	
SINGLE FAMILY DWELLING	YES
GARAGE PARKING SPACES	DRIVEWAY
NUMBER OF BUILDINGS	1
HEIGHT OF BUILDING(S)	NA
NUMBER OF STORIES	2
GROSS SQUARE FOOTAGE	
	EXISTING
MAIN FLOOR	0000 Sq Ft
UPPERFLOOR	000 Sq Ft
(GARAGE & ENTRY)	NO
CRAWLSPACE	N/A
FOUNDATION SLAB ON GRADE	YES
TOTAL CONDITIONED SPACED	000 Sq Ft
SUMMARY	
TOTAL GROSS SQUARE FOOTAGE	XXXX Sq Ft
LOT ACREAGE	2.401 ACRES
LOT SIZE	104,584 Sq. Ft
IMPERVIOUS AREA	00 Sq Ft

H.G.C
&
A.S, LLC

HODAVIAH GENERAL CONSTRUCTION
AND ARCHITECTURAL SERVICE, LLC
4304 Rolfe Court, McDonough, GA.30252
OFFICE NO: (404) 259-0093

REVISIONS

CONSULTANTS

PROJECT / CLIENT

Mr. Omar Coote
4379 Flat Shoals Pkwy, Decatur, GA. 30034

Mr. Omar Coote
4378 Flat Shoals Pkwy, Decatur, GA 30034
PHONE#- (678) 858-3382

DRAWN BY

A.A.GRAHAM

CHECK BY

DATE

SCALE

AS SHOWN

JOB NO:

DWG. TITLE

OMAR COOTE RESIDENCE

COVER SHEET, SITE
DIAGRAM & NOTES

01
OF
18

SHEET NO:

A01

LIST OF ABBREVIATIONS		LEGEND OF MATERIALS		LIST OF SYMBOLS		GENERAL NOTES:																																																																																																																																																																																																																									
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CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY FLASHING INCLUDED, BUT NOT LIMITED TO THRU FLASHING, STEP FLASHING, COUNTER FLASHING, CAP FLASHING, BASE FLASHING AND FLEXIBLE FLASHING WHERE NECESSARY TO MAKE A WATER TIGHT BUILDING. PROTECT MATERIAL WHICH ARE SENSITIVE TO DETERIORATION, AND TO MAKE TRANSITION AT DISSIMILAR MATERIALS. 4. CONTRACTOR TO SEAL WITH THE APPROPRIATE TYPE OF CAULK AT ALL LOCATIONS NECESSARY TO PREVENT THE PENETRATION OF MOISTURE AND AT THE TRANSITION OF DISSIMILAR MATERIALS. 5. CONTRACTOR TO PROVIDE AND INSTALL ALL LOCKING AND SECURITY DEVICES REQUIRED BY FEDERAL, STATE & LOCAL LAWS, REGULATIONS AND REQUIREMENTS. 6. CONTRACTOR TO PROVIDE AND INSTALL ALL GLASS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS. 7. CONTRACTOR TO MEET ALL THE REQUIREMENTS OF THE BUILDING CODE AND FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS, EVEN IF IT REQUIRES LABOR AND / OR MATERIALS NOT INDICATED ON THE PLANS. 8. CONTRACTOR MUST CONSTRUCT THIS PROJECT FROM WRITTEN DIMENSIONS ON THE PLANS. DO NOT SCALE DRAWINGS. 9. ALL MECHANICAL AND ELECTRICAL SUBCONTRACTORS SHALL HAVE A CURRENT MASTER'S LICENSE IN STANDINGS WITH THE LOCAL GOVERNING BODY WITH A MINIMUM OF 5 YEARS EXPERIENCE. 10. ALL BEDROOM WINDOWS SHALL COMPLY WITH THE BUILDING CODE WHEN USED AS A MEANS OF ESCAPE OR RESCUE. MINIMUM NET CLEAR OPENING SHALL BE NO LESS THAN 5.7 SQ. FT. MINIMUM CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24", MINIMUM CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20". THE FINISHED SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR. 11. ALL GLASS SLIDING DOORS AND SIDELIGHTS SUBJECT TO IMPACT SHALL BE TEMPERED AND COMPLY WITH THE BUILDING CODE. 12. CONTRACTOR TO PROVIDE VENTILATION AT ALL BATH AND UTILITY ROOMS THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH THE BUILDING CODE. 13. CONTRACTOR SHALL APPLY 5/8" FIRE CODE GYPSUM BOARD TO WALLS AND CEILINGS OF USABLE SPACE UNDER STAIR AND TO WALL AND CEILING OF ATTACHED GARAGE ADJOIN LIVING SPACES WHERE GARAGE EXISTS WITHIN THE DESIGN. 14. PROVIDE 5/8" FIRE RETARDANT PLYWOOD ON EXPOSED PANEL OF ATTIC ACCESS. OPENING SHALL BE A MINIMUM OF 6'-0" MEASURED ON HORIZONTAL PLANE FROM A GAS WATER HEATER OR GAS PER IRC R309.2. 15. FIRE STOP ALL PENETRATIONS IN WALLS, FLOORS, AND CEILINGS REQUIRING PROTECTED OPENINGS AS PER THE LOCAL BUILDING CODE OR IRC 2009. 16. LABEL ALL FIRE RATED AND TREATED DOORS WITH THE MANUFACTURER'S LABEL DESIGNATING THE PROTECTION RATING. 17. USE FIRE RETARDANT TREATED WOOD IN ALL NEW CONSTRUCTION. 18. VENTILATE ALL ROOMS AND SPACES IN ACCORDANCE WITH THE IRC 2009. 19. ALL ENTRY DOORS TO BE SOLID CORE 1-3/4" THICK (REFER TO DOOR SCHEDULE FOR SIZE).	
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		PROVIDE DUST ABATEMENT BY SPRAYING DURING EXCAVATION MAINTAIN A CLEAN JOBSITE IN GENERAL TO MINIMIZE INCONVENIENCE TO NEIGHBORS CONSTRUCTION NOISE TO BE LIMITED TO 8AM-6PM WHENEVER POSSIBLE POWER TOOLS NOT TO START UNTIL 9AM PORTABLE TOILET TO BE PROVIDED AND CONCEALED WITH DECORATIVE HOUSING NOISY WORK IS TO BE AVOIDED ON WEEKENDS UNLESS COMPLETELY NECESSARY AND DEFINATELY NOT ON A SUNDAY PROVIDE 24-HOUR NOTIFICATION BY SLIPPING A NOTE IN THEIR MAIL SLOT TO DIRECT NEIGHBORS IF NOISY WORK IS TO TAKE OUTSIDE OF NORMAL CONSTRUCTION HOURS OR WHENEVER PARTICULAR NOISY PERIOD ARE TO TAKE PLACE (SO NEIGHBORS CAN MAKE ARRANGEMENTS TO BE AWAY IF THEY WISH)		INTERNATIONAL RESIDENTIAL BUILDING CODES 2018 INTERNATIONAL RESIDENTIAL CODE with LOCAL AMMENDMENTS 2015 INTERNATIONAL ENERGY CODE with LOCAL AMMENDMENTS 2018 INTERNATIONAL PLUMBING CODE with LOCAL AMMENDMENTS 2020 INTERNATIONAL ELECTRICAL CODE with LOCAL AMMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE with LOCAL AMMENDMENTS 2018 INTERNATIONAL FIRE CODE with LOCAL AMMENDMENTS																																																																																																																																																																																																																											
		DISCLAIMER		MANUFACTURER'S NOTES																																																																																																																																																																																																																											
		TO THE BEST OF OUR KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE LOCAL BUILDING CODES AND THE APPLICABLE FIRE STANDARDS AS DETERMINED IN ACCORDANCE WITH LOCAL STANDARDS.		ALL PART NUMBERS SHOWN ON DRAWING ARE FOR REFERENCE ONLY. THE KITCHEN CABINET MANUFACTURER SHALL BE RESPONSIBLE FOR COORDINATING THE ACTUAL PART NUMBERS REQUIRED WITH THE DETAILS SHOWN AND THE ACTUAL CABINETS SERIES PROVIDED.																																																																																																																																																																																																																											

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Mr. Omar Coote
4378 Flat Shoals Pkwy, Decatur, GA 30034
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DATE
SCALE AS SHOWN
JOB NO:

DWG. TITLE
OMAR COOTE RESIDENCE
COVER SHEET, NOTES & LEGEND

02
OF
18

SHEET NO:
A02

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DATE _____

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JOB NO:

DWG. TITLE

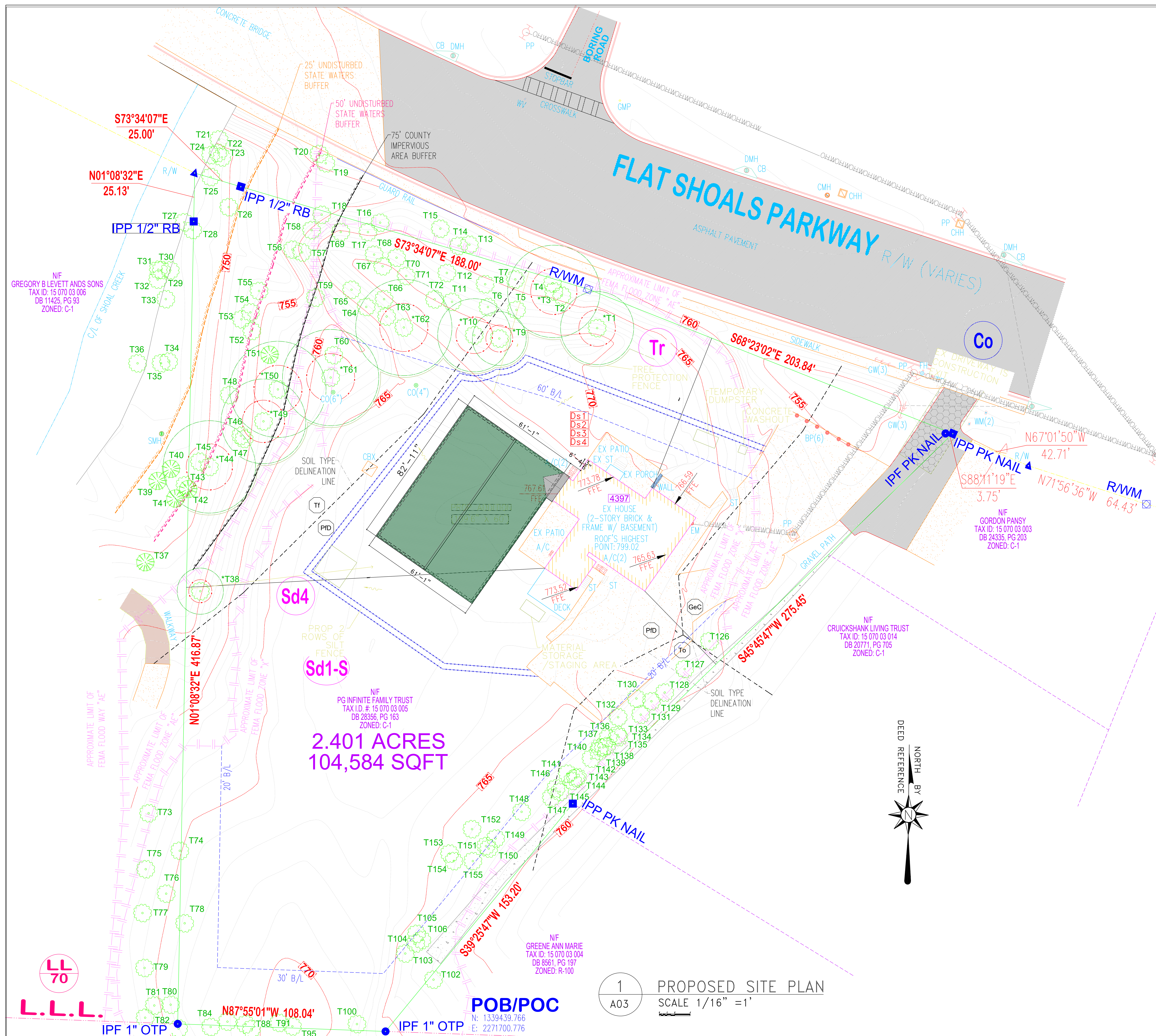
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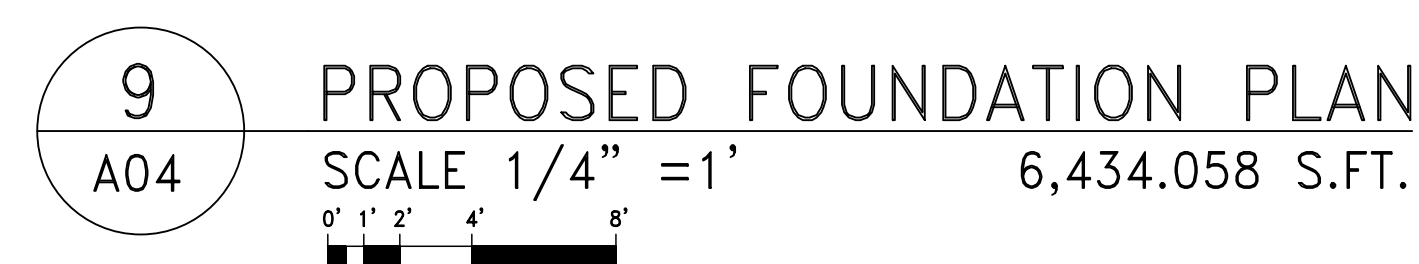
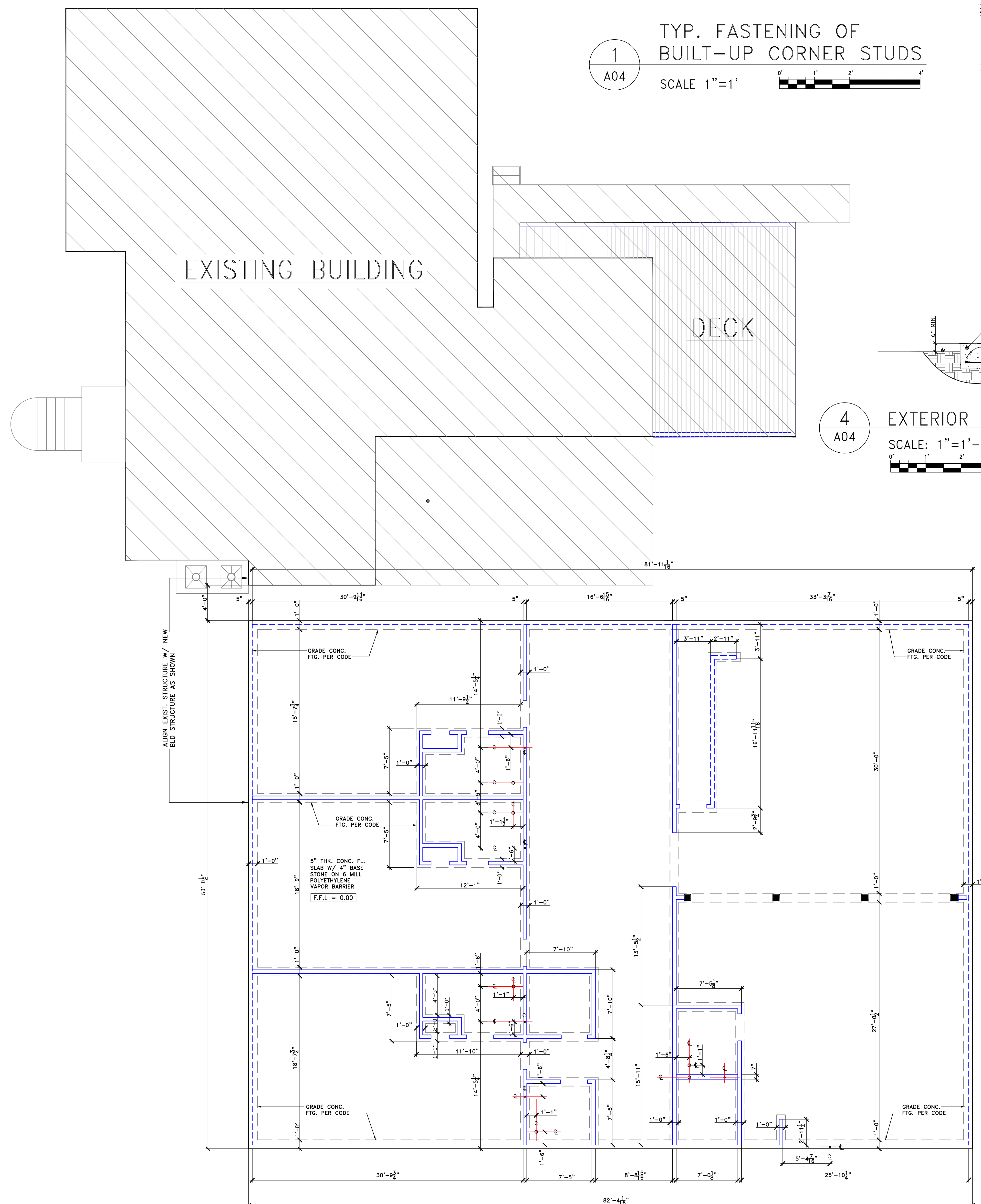
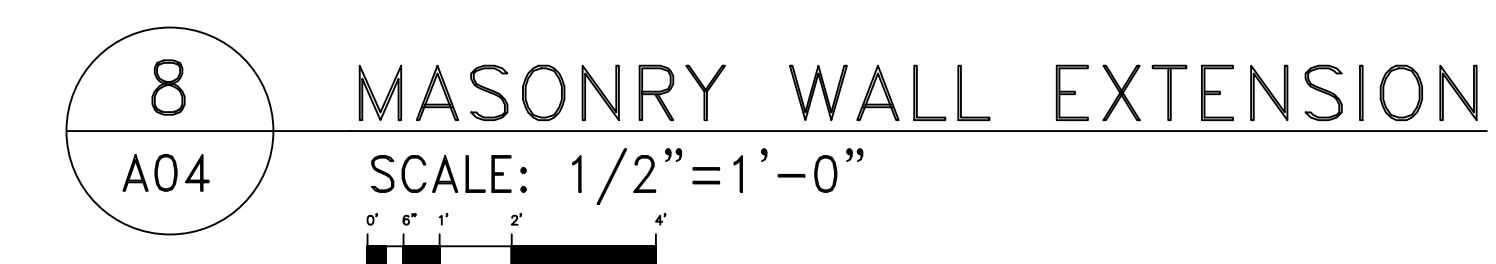
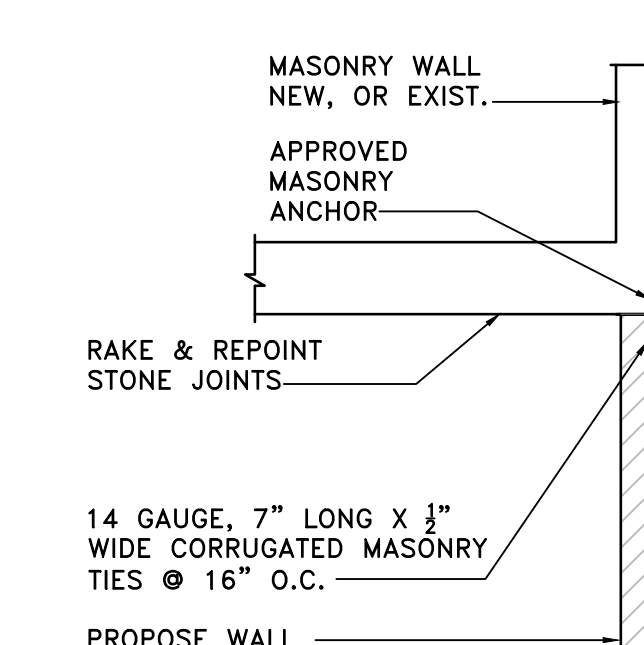
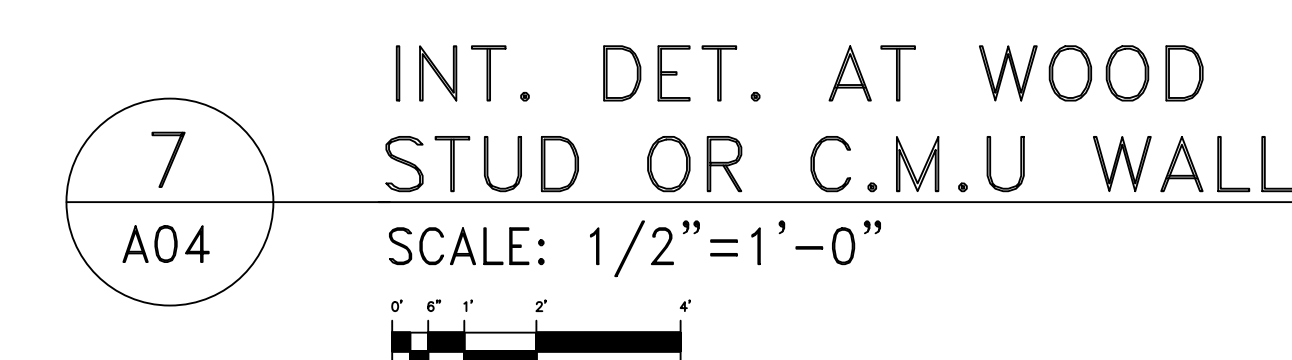
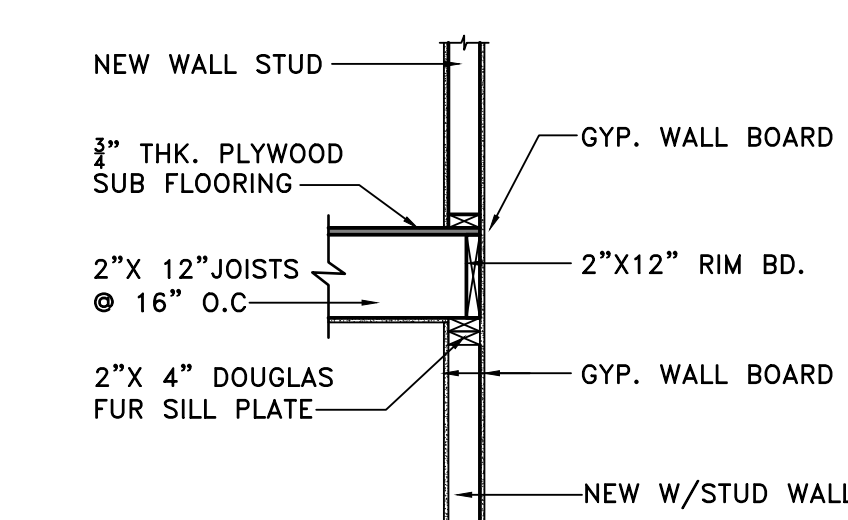
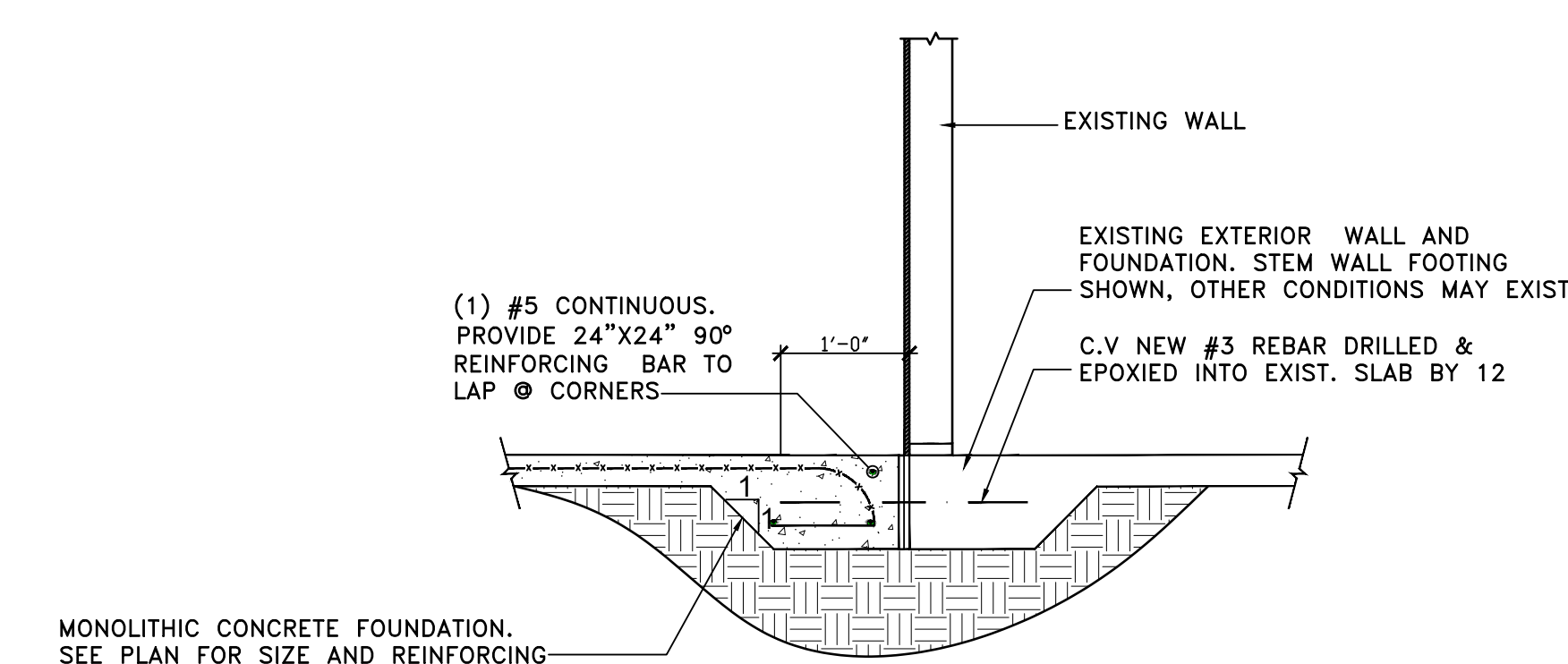
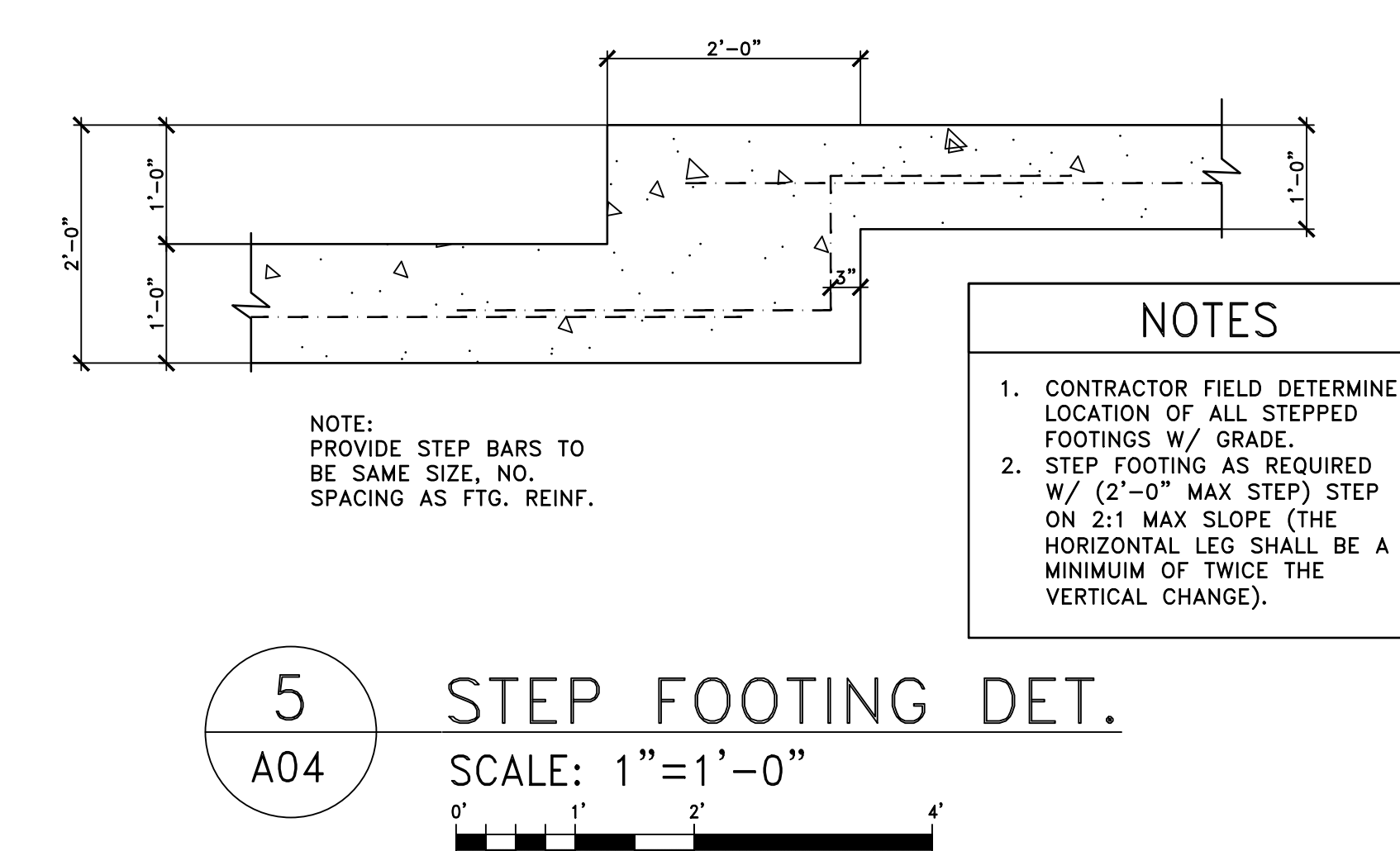
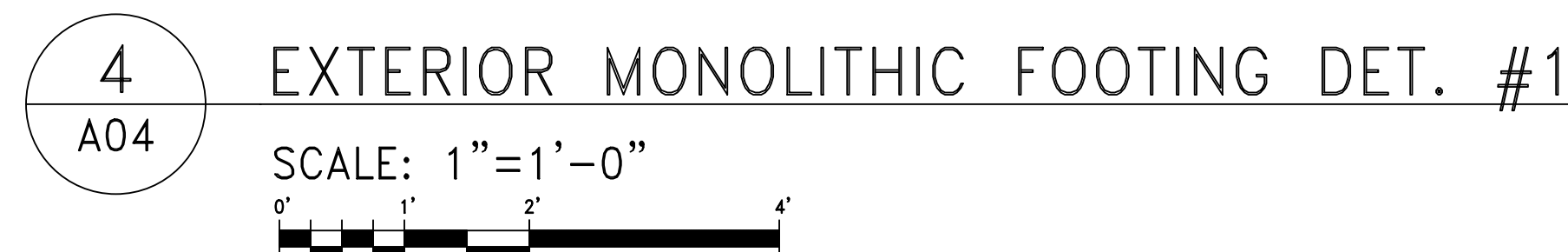
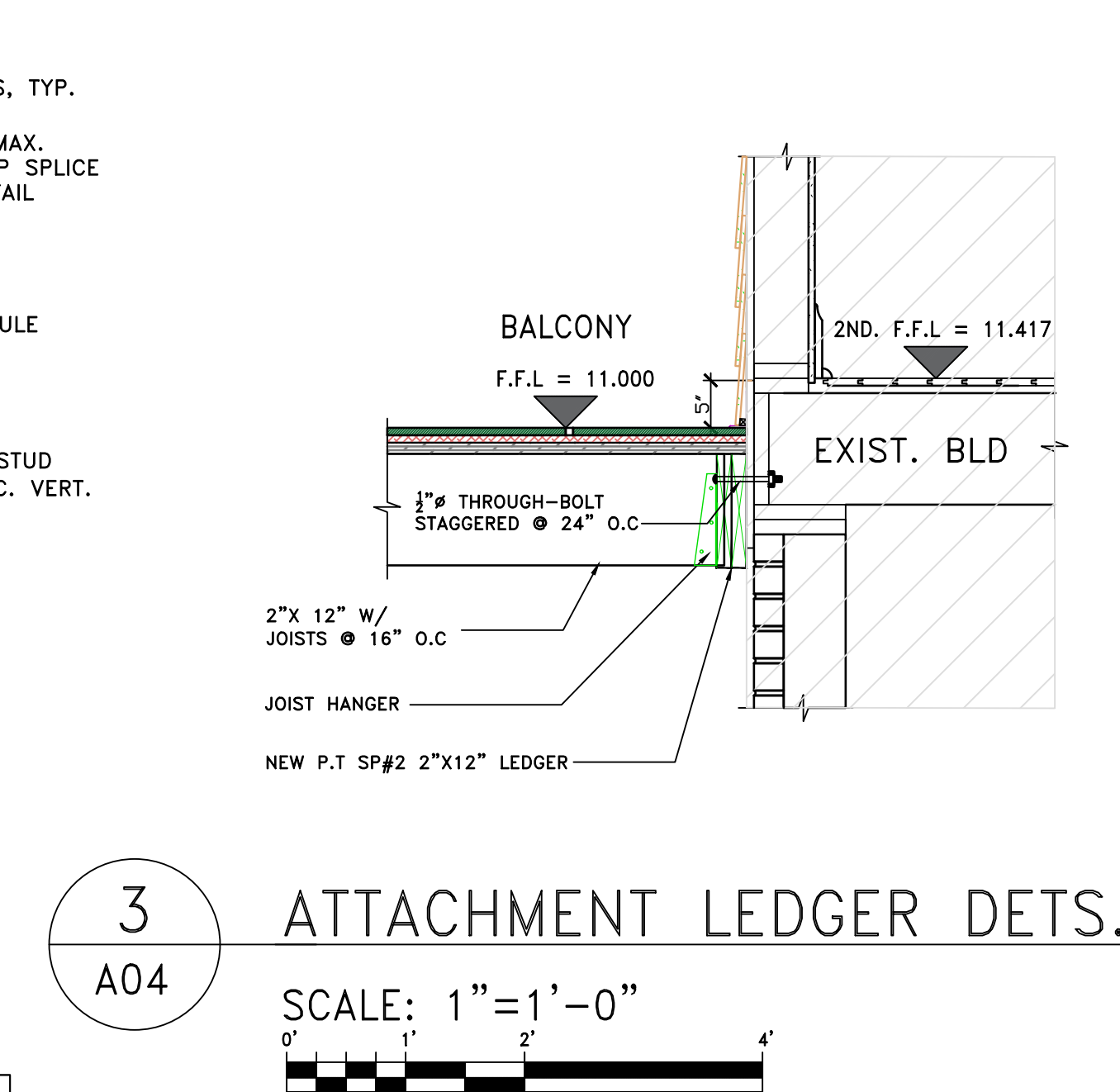
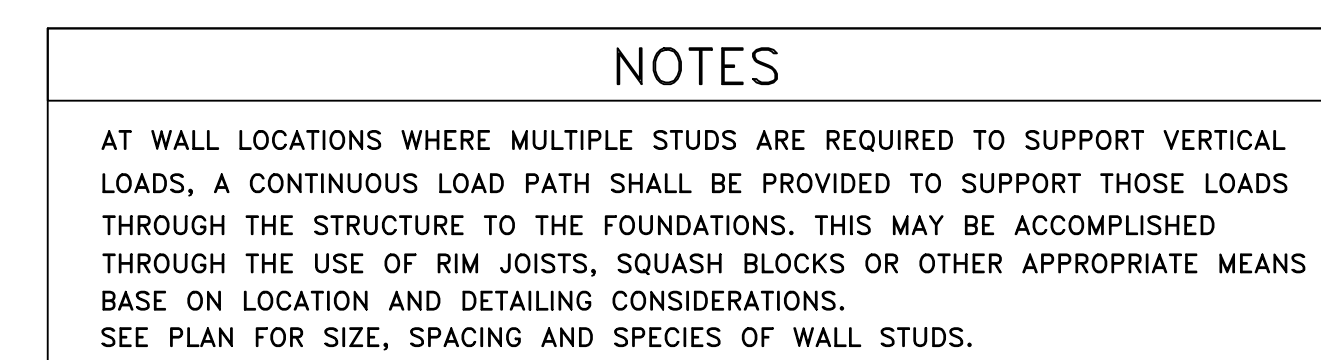
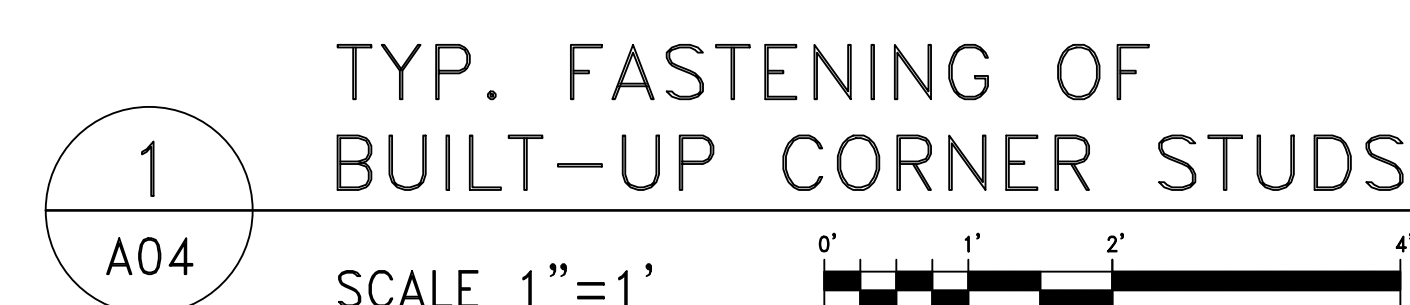
PRO. SITE PLAN

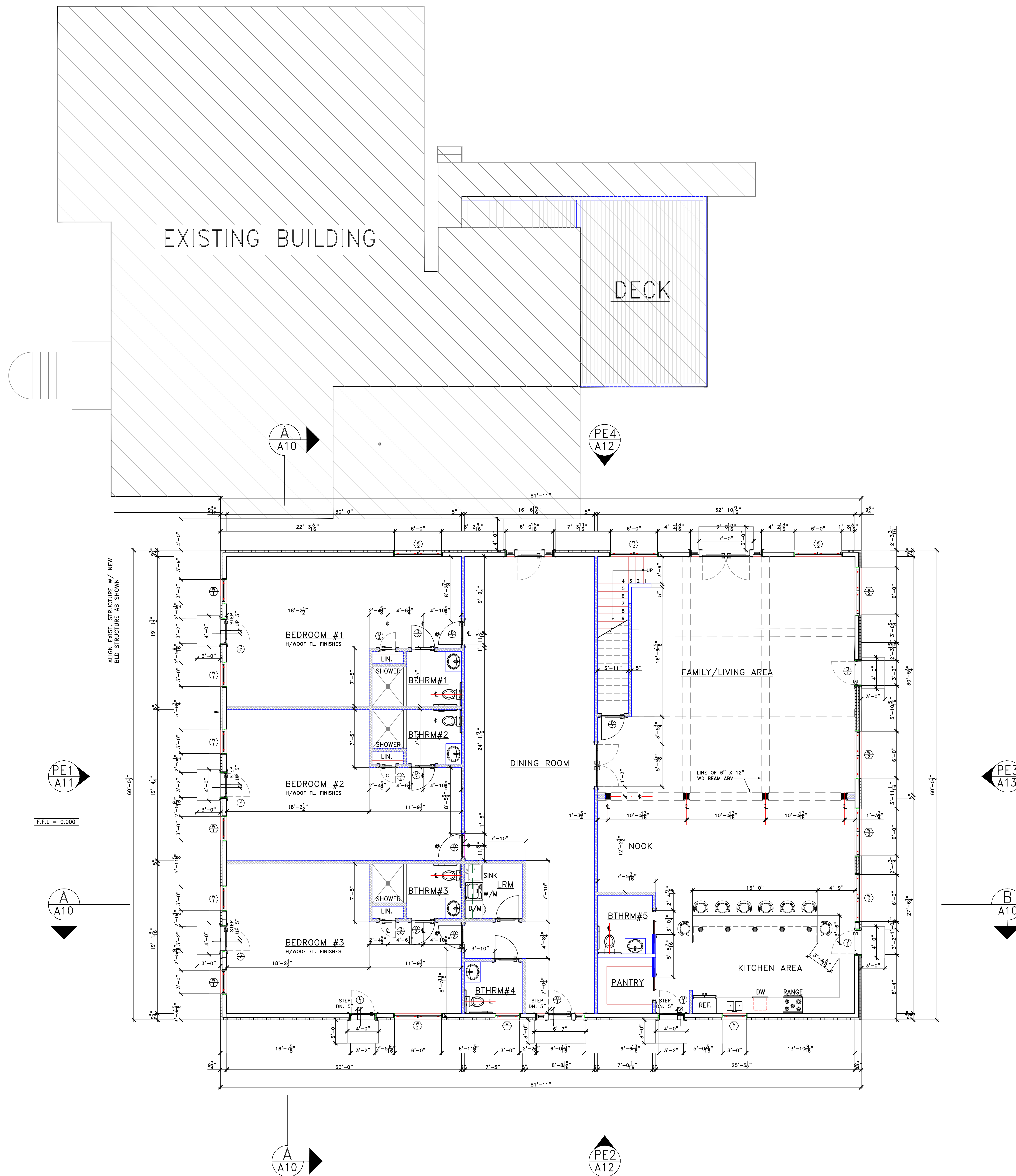
03
OF
18

SHEET NO:

A03







1
A06

PROPOSED 1ST. FLOOR PLAN
SCALE 1/4" = 1'-0" 4,691 S.F.T.

NOTES	
1. SEE SHEET A11 FOR DOOR & WINDOW SCHEDULE & TYPICAL HARD WOOD HEAD/JAM DOOR DETS.	
2. RE-PURPOSE EXIST. KITCHEN INTO AN OFFICE & NEW KITCHEN TO BE BUILT IN ADDITION.	
3. REMOVE ALL APPLIANCES FROM EXISTING KITCHEN & REUSE IN NEW KITCHEN AS SHOWN ON PROPOSE FLOOR PLANS.	
FLOOR FINISHES	
ROOM NAMES	MATERIAL FINISHES
BEDROOMS	
CLOSETS	
BATHROOMS	
HALLWAY	

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DATE

SCALE AS SHOWN

JOB NO:

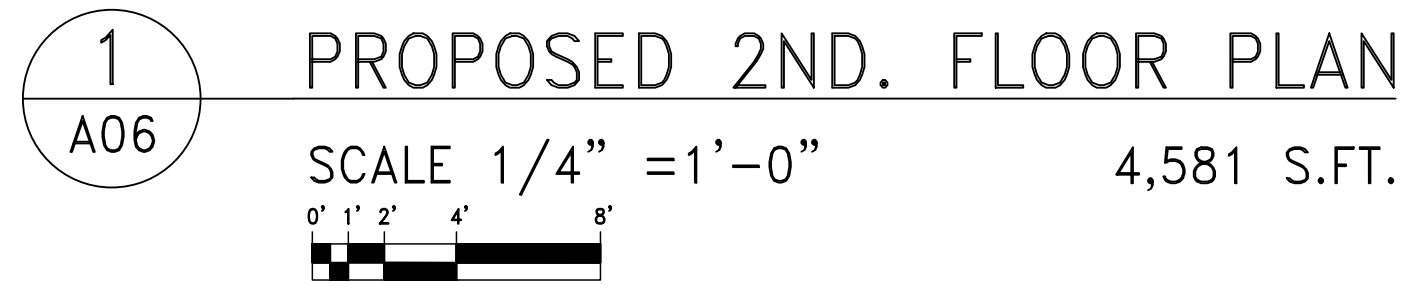
DWG. TITLE

OMAR COOTE RESIDENCE

PRO. 1ST FL. PLAN

05
OF
18

SHEET NO:
A05



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[illegible]

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CHECK BY	
DATE	
SCALE	AS SHOWN
JOB NO:	

DWG. TITLE

OMAR COOTE RESIDENCE

PRO. 2ND. FL. PLAN

06 OF 18	SHEET NO: A06
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[illegible]

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CHECK BY	
DATE	
SCALE	AS SHOWN
JOB NO:	

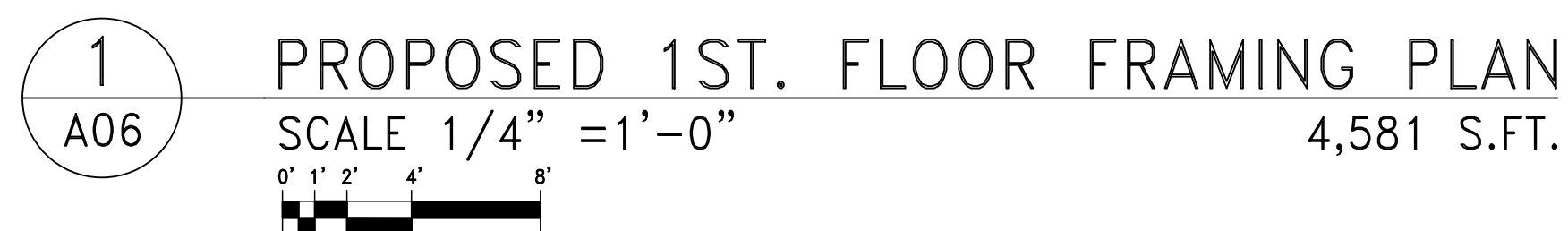
DWG. TITLE

OMAR COOTE RESIDENCE

PRO. 2ND. FL. FRAMING

PLAN & DETAILS

07 OF 18	SHEET NO: A07
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[illegible]

Figure 1 consists of four scatter plots arranged in a 2x2 grid. The top-left plot shows the relationship between the number of children (x-axis, 0 to 10) and the number of adults (y-axis, 0 to 10). The top-right plot shows the relationship between the number of adults (x-axis, 0 to 10) and the number of children (y-axis, 0 to 10). The bottom-left plot shows the relationship between the number of children (x-axis, 0 to 10) and the number of adults (y-axis, 0 to 10). The bottom-right plot shows the relationship between the number of adults (x-axis, 0 to 10) and the number of children (y-axis, 0 to 10). Each plot contains a grid of points representing different combinations of children and adults.

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DATE _____

SCALE AS SHOWN

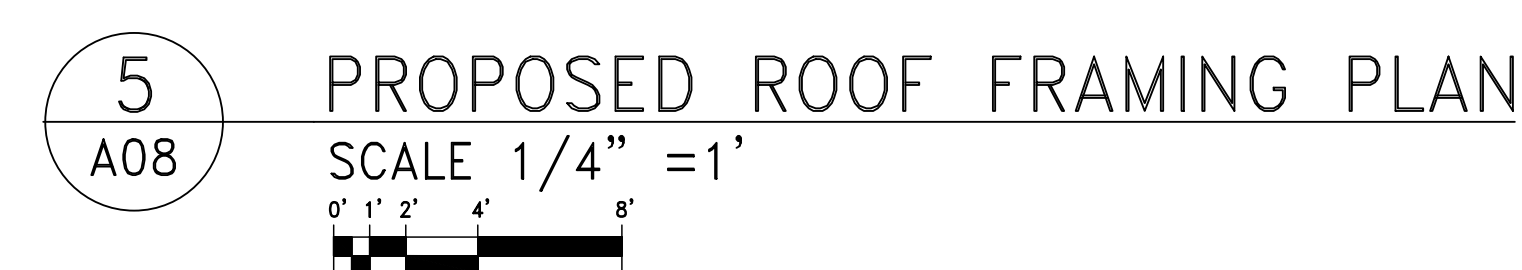
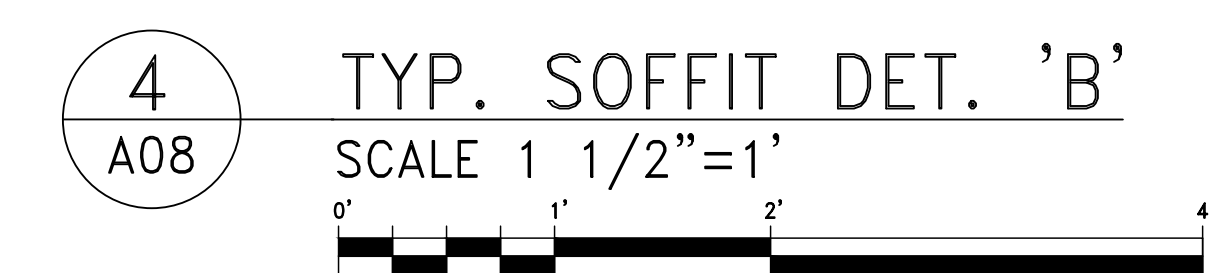
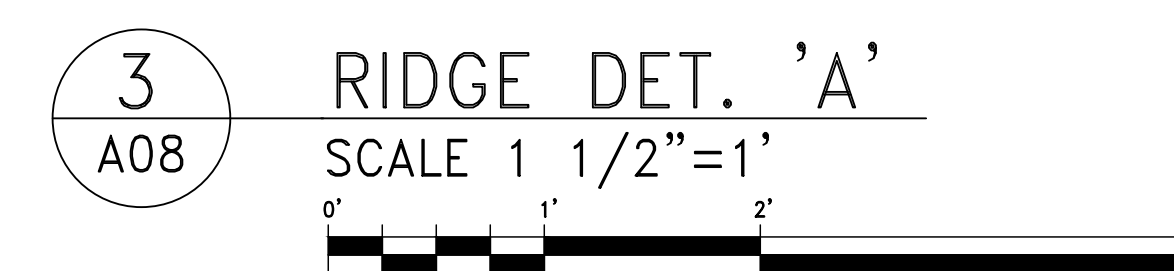
JOB NO:

DWG. TITLE

OMAR COOTE RESIDENCE
PROPOSED ROOF FRAMING
PLANS & ROOF DETAILS

SHEET NO:

A08



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AND ARCHITECTURAL SERVICE, LLC
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[illegible]

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CHECK BY

DATE _____

SCALE AS SHOWN

JOB NO:

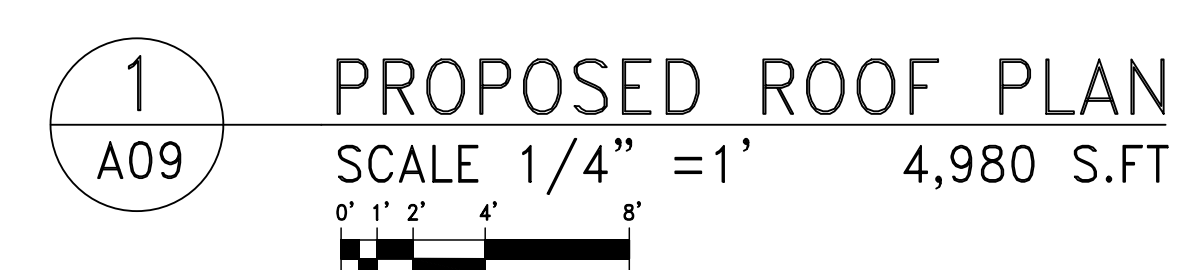
DWG. TITLE

OMAR COOTE RESIDENCE

PROPOSED ROOF PLAN

SHEET NO:

A09



HODAVIAH GENERAL CONSTRUCTION
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[illegible]

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CHECK BY _____

DATE _____

SCALE AS SHOWN

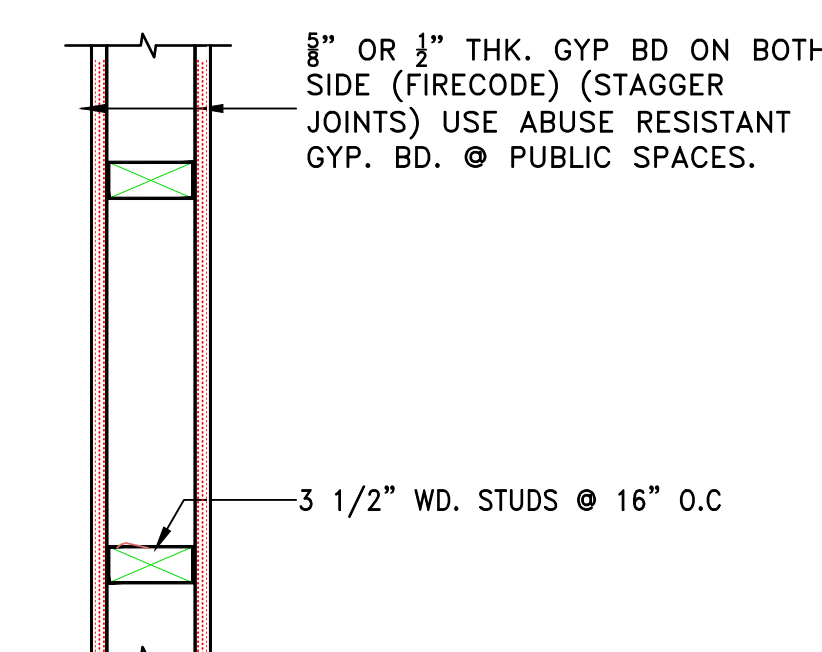
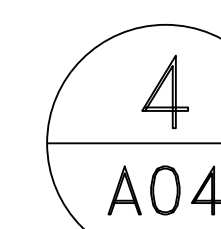
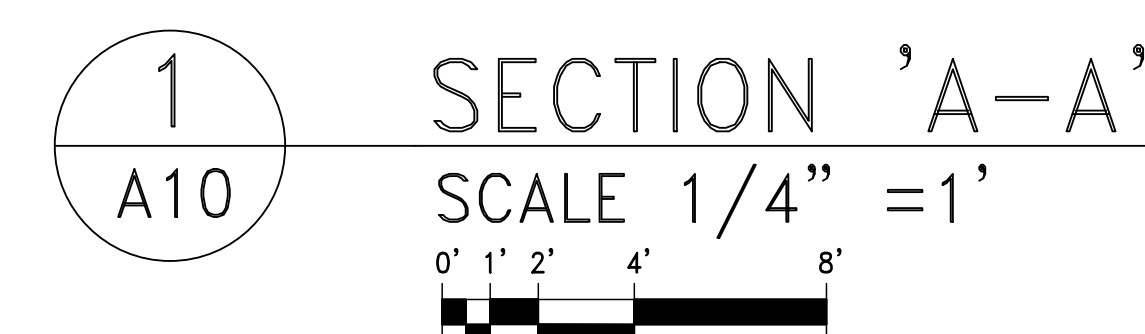
JOB NO:

DWG. TITLE

OMAR COOTE RESIDENCE
PRO. SECTIONS, NOTES,
DOOR & WINDOW HEADER
SCHEDULES & DETAILS

SHEET NO:

A10



5
A10

EXTERIOR WALL FIN. DET.

SCALE: 1"=1'-0"

0' 1' 2' 4'

6
A10

TYP INTER. WALL DET.

SCALE 1 1/2"=1' 1 HR RATED



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DATE

SCALE AS SHOWN

JOB NO:

DWG. TITLE

OMAR COOTE RESIDENCE

PROPOSED ELEVATION #1
WINDOW & DOOR
ELEVATIONS, HEADER
SCHEDULES & NOTES

SHEET NO:

11
OF
18

A11

NOTES

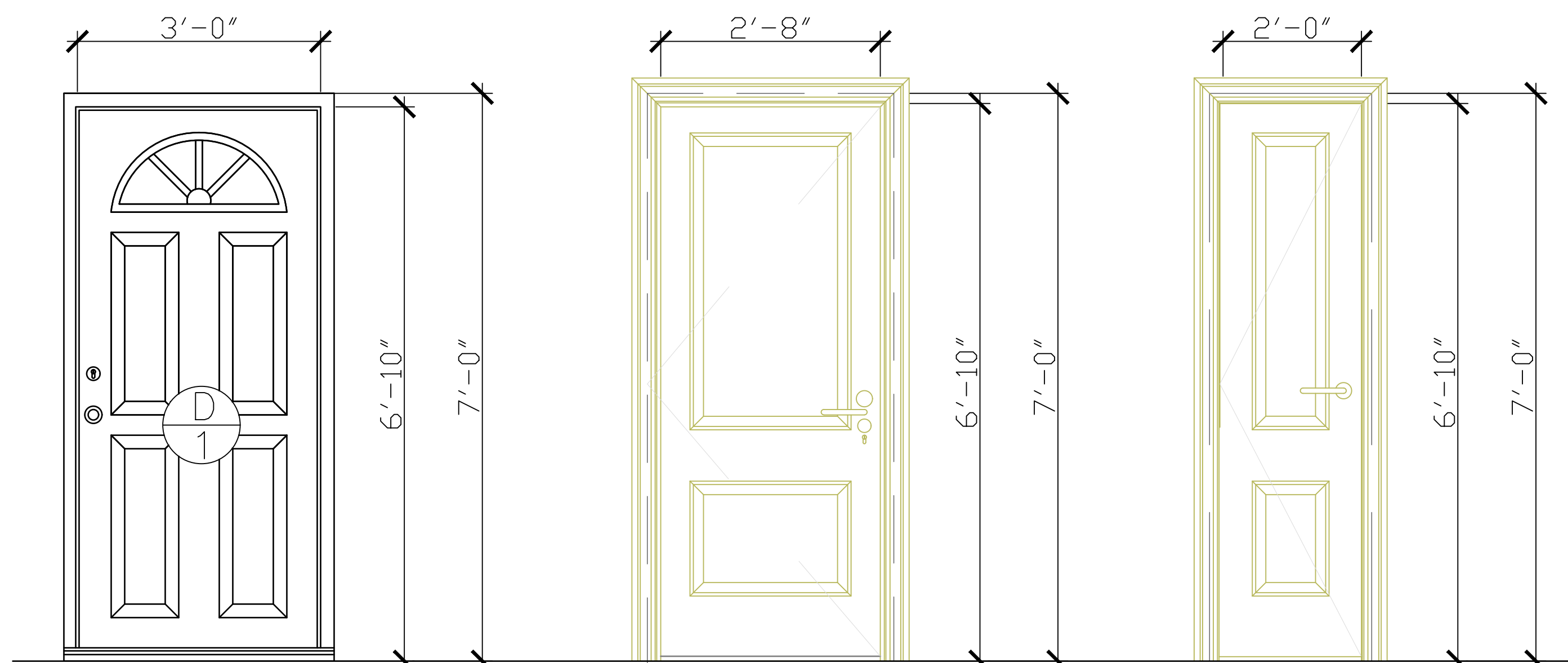
1. ALL NEW WD. FLOOR TO MATCH EXIST. FINISHES UNLESS OTHERWISE STATED.
2. ALL NEW WINDOWS & DOORS TO MATCH EXIST. WINDOWS & DOORS.
3. BATHROOMS FLOOR TILES TO BE NON-SLIP UNLESS OTHERWISE STATED.

EXT. HEADER SCHED.

SPAN (ROUGH OPENING)	HEADER REQUIRED	MINIMUM BEARING
0 TO 3'-8"	2-2X10's	3"
3'-8" TO 5'-2"	2-2X12's	4 1/2"

INT. HEADER SCHED.

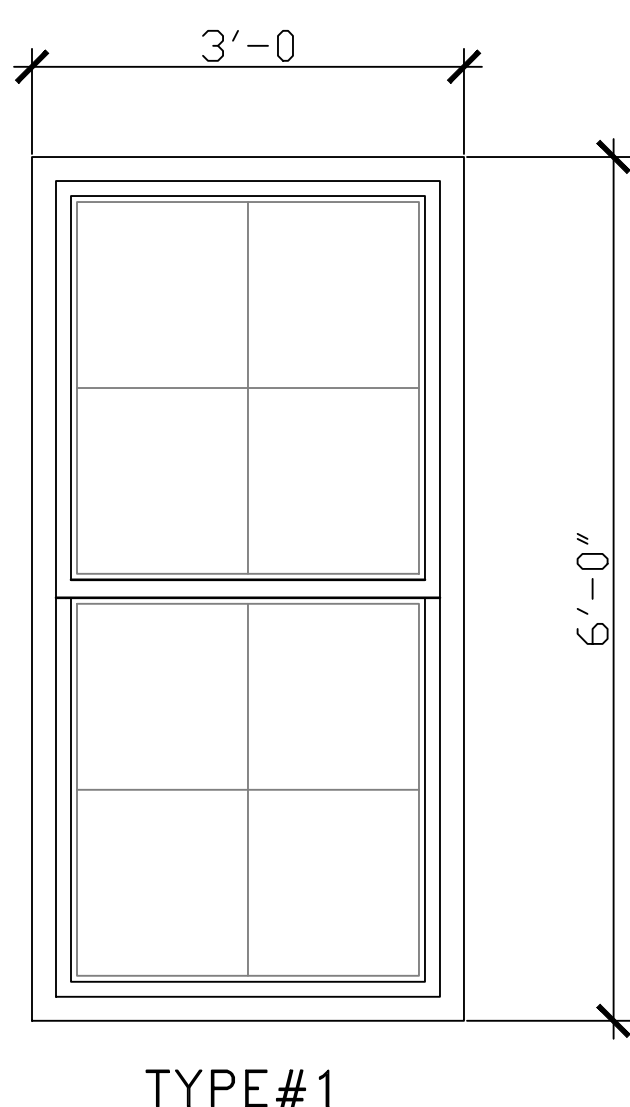
SPAN (ROUGH OPENING)	HEADER REQUIRED	MINIMUM BEARING
0 TO 3'-2"	2-2X10's	3"
3'-6" TO 4'-5"	2-2X12's	4 1/2"
4'-5" TO 6'-5"	2-1 3/4X8 1/4 LVL's	4 1/2"



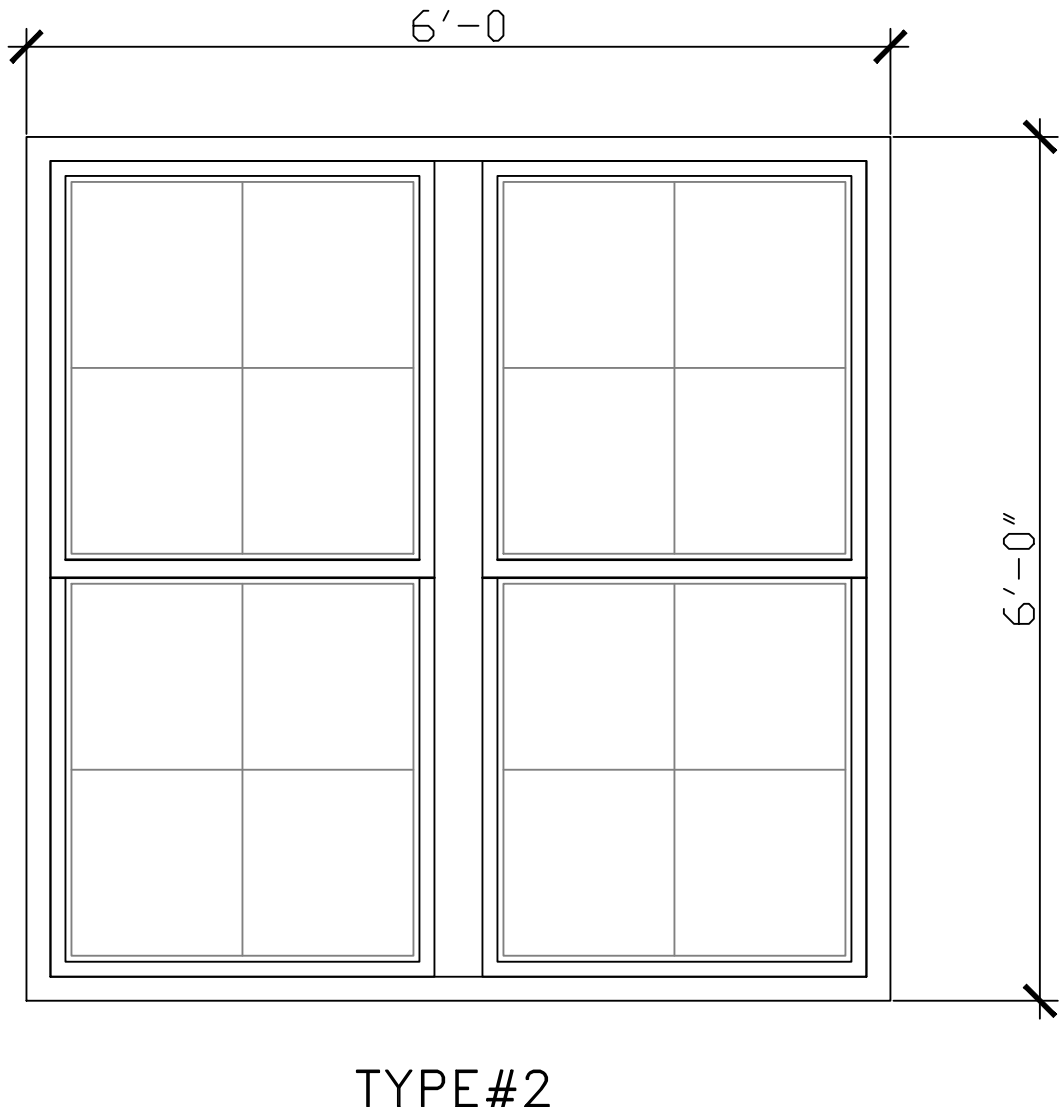
SOLID CORE EXT. DOOR
DOOR #1

HOLLOW INT. DOOR
DOOR #3

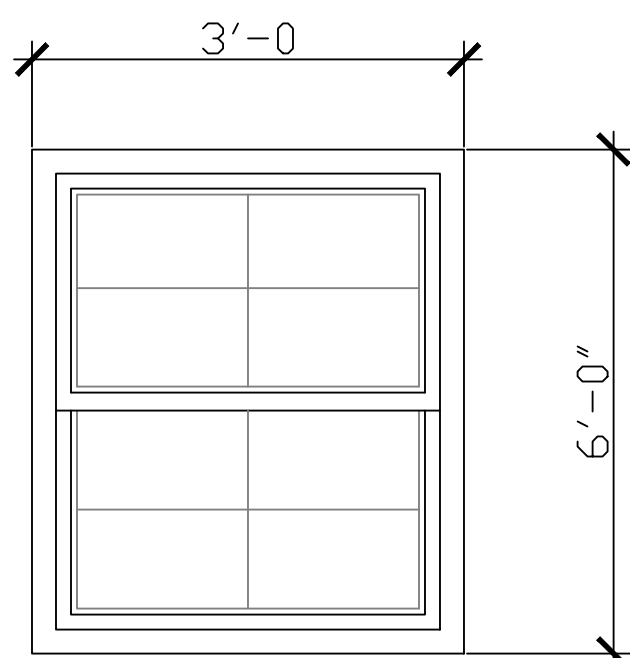
HOLLOW INT. DOOR
DOOR #4



TYPE#1

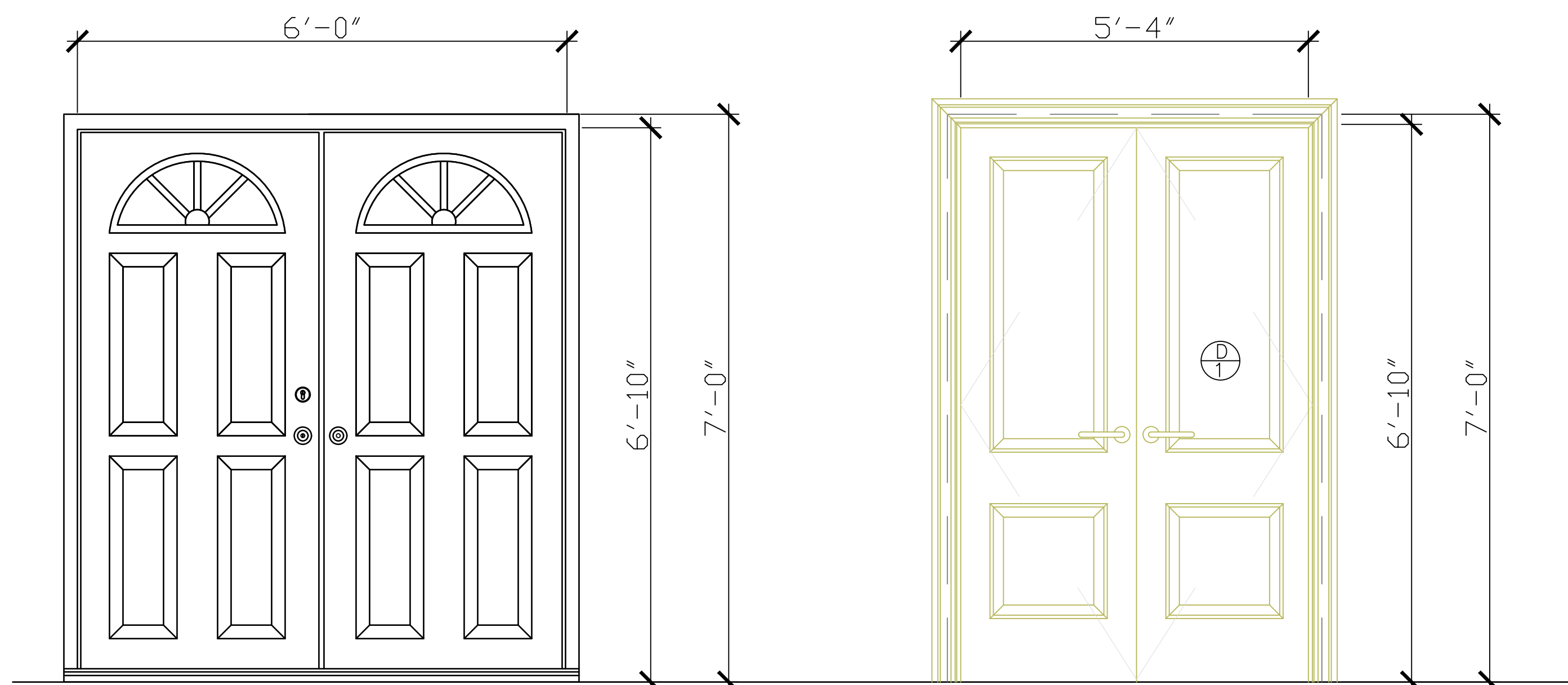


TYPE#2



TYPE#3

TYP. SINGLE HUNG VINYL WHITE
WINDOW W/ CLEAR GLASS & SCREEN



SOLID CORE EXT. DOOR
DOOR #2

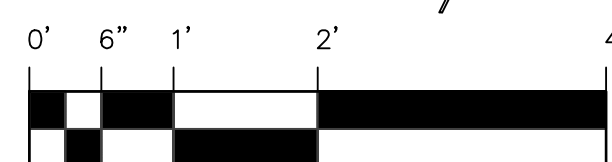
HOLLOW INT. DOOR
DOOR #5

TYP. DOOR
UNIT ELEVATIONS

SCALE 1/2"=1'

TYP. WINDOW
UNIT ELEVATIONS

SCALE 1/2"=1'



INSTALL NEW VENTED
RIDGE CAP TO MATCH
EXIST. RIDGE CAPS

NEW THREE TAB ROOF
SHINGLE OVER
UNDERPAYMENT & TO
MATCH EXIST. ASPHALT
ROOF SHINGLE FINISHES

NEW QUEEN SIZE BRICK
TO BE THE SAME AS
EXIST. BRICK FINISHES

PROPOSED GUTTER TO MATCH
EXISTING GUTTER FINISHES
W/ R/WATER DOWNSPOUT
SPLASH BLOCK LIGHT TAUPE

F.F.L = 30.50

TO OF BEAM

F.F.L = 11.417

2ND. FL. LEV.

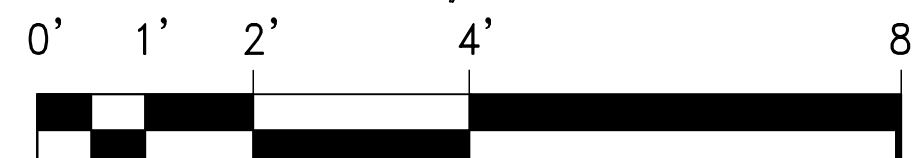
F.F.L = 0.833

1ST. FL. LEV.

NEW CONC. SLAB ON GRADE
TO FORM PATIO FL. &
APPLY STL. FLOAT FIN.

PROPOSED ELEVATION #1

SCALE 3/8"=1'



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SCALE AS SHOWN

JOB NO:

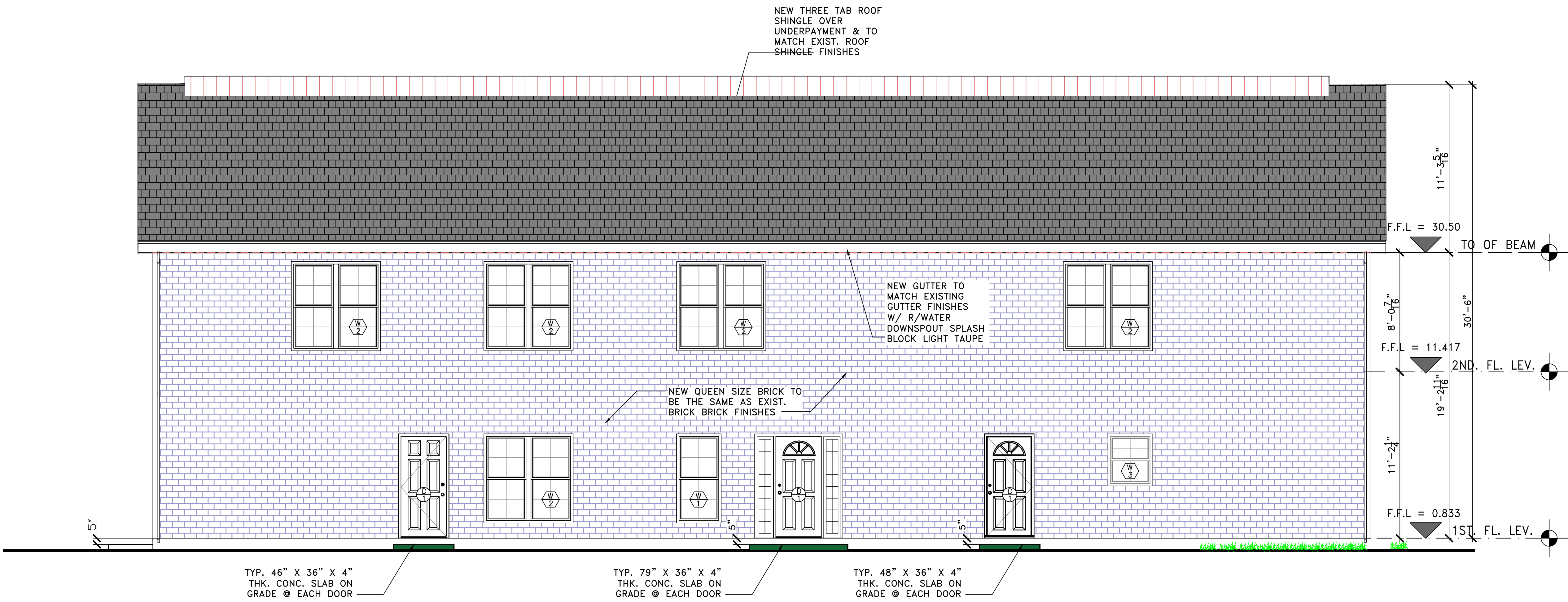
DWG. TITLE

OMAR COOTE RESIDENCE
PROPOSED ELEVATIONS
#2 & #4

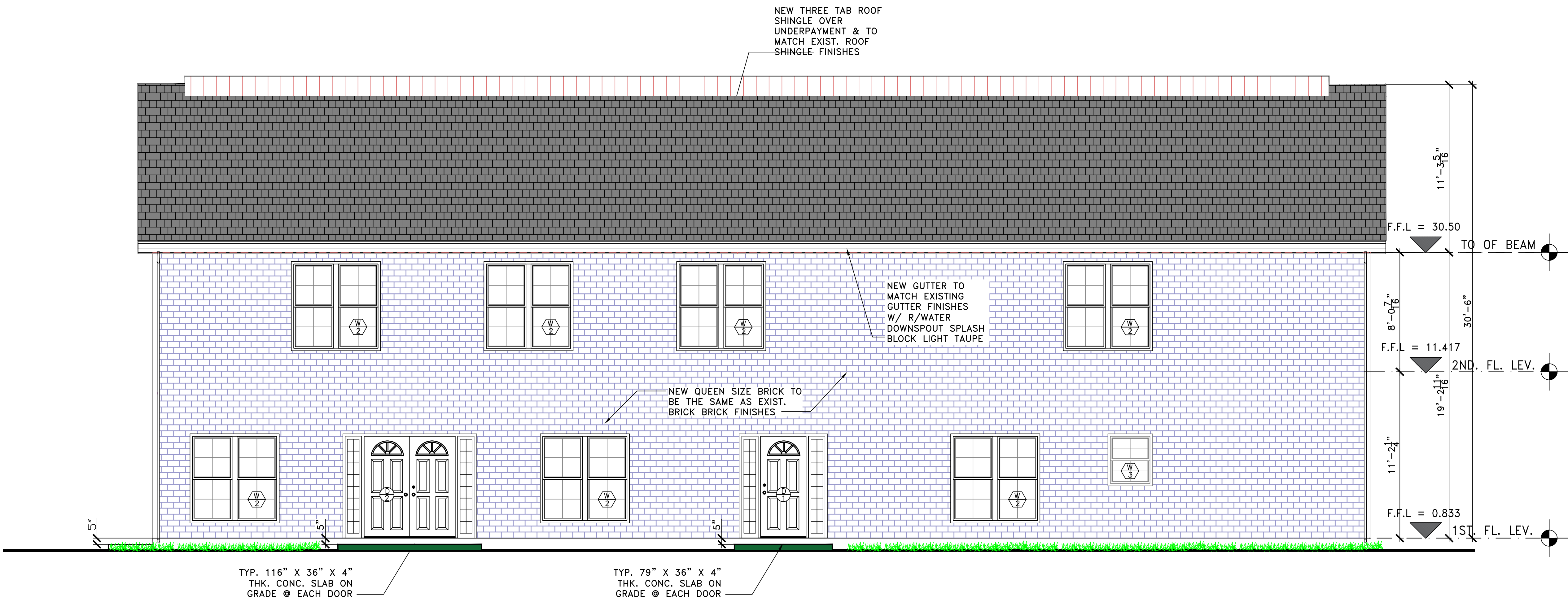
SHEET NO:

12
OF
18

A12



1
A12
PROPOSED ELEVATION #2
SCALE 1/4" = 1'
0' 1' 2' 4' 8'



2
A12
PROPOSED ELEVATION #4
SCALE 1/4" = 1'
0' 1' 2' 4' 8'

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DRAWN BY A.A.GRAHAM

CHECK BY

DATE

SCALE AS SHOWN

JOB NO:

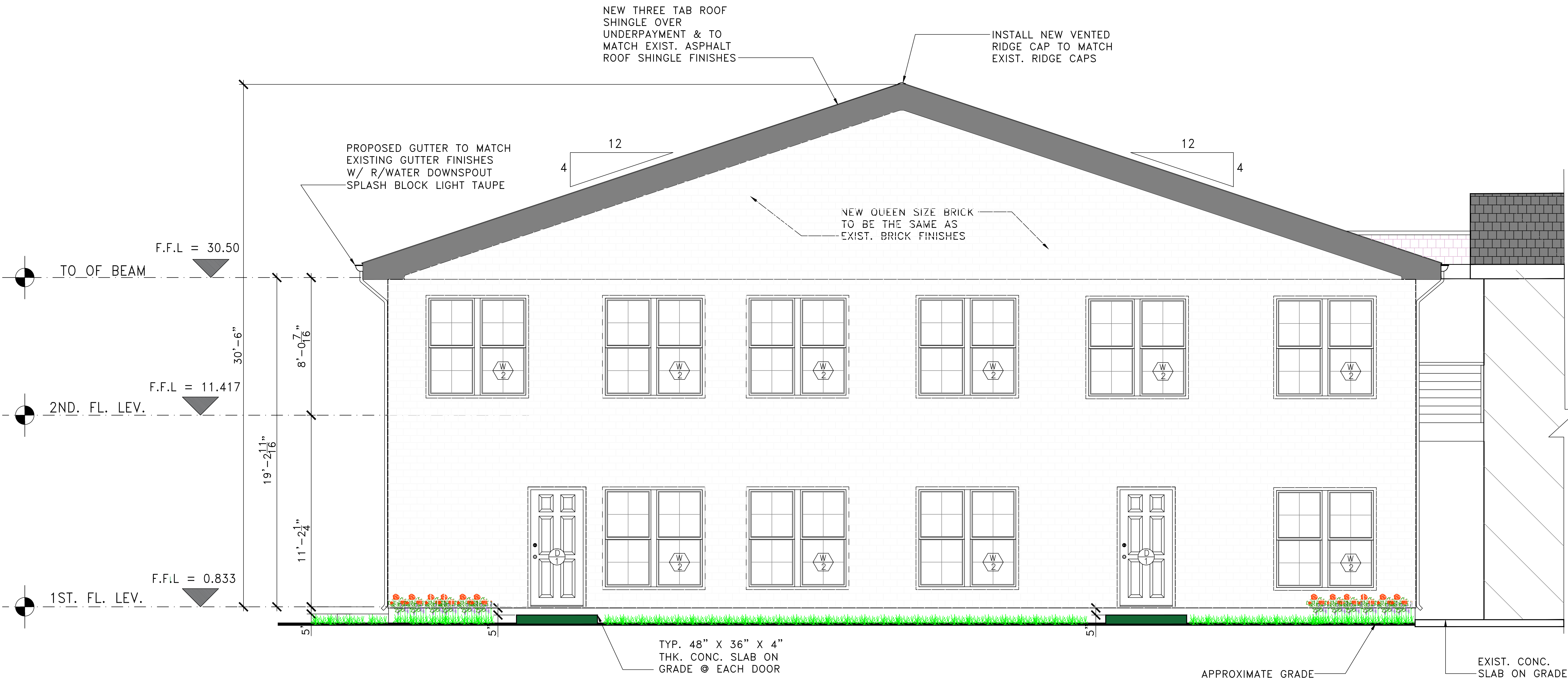
DWG. TITLE

OMAR COOTE RESIDENCE
PROPOSED ELEVATIONS #3

13
OF
18

SHEET NO:

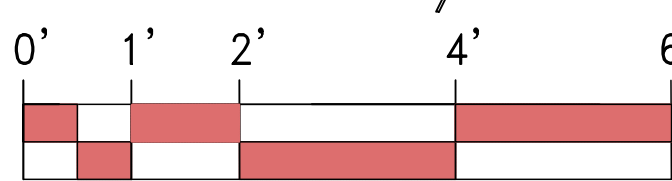
A13



1
A13

PROPOSED ELEVATION #3

SCALE 3/8" = 1'



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JOB NO:

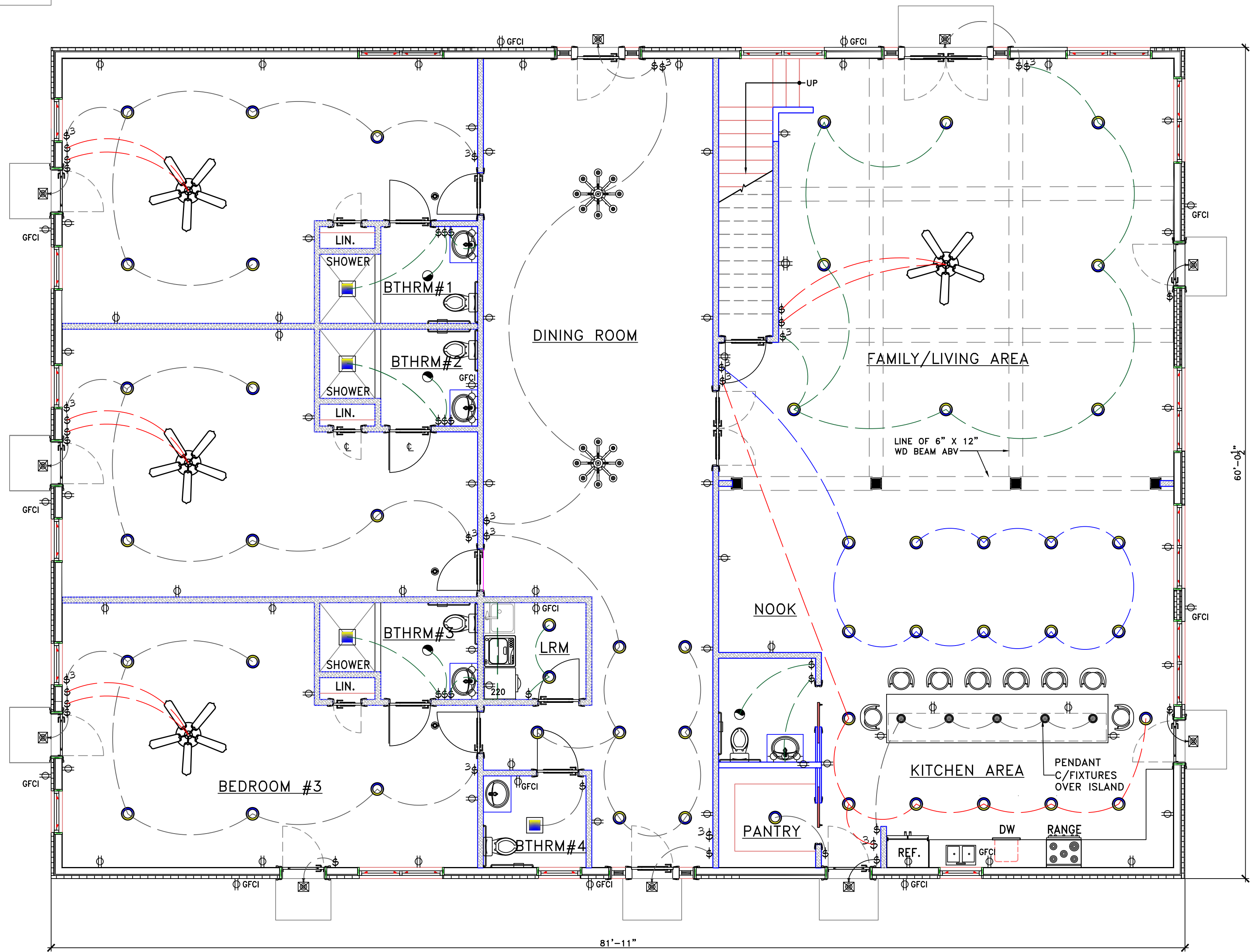
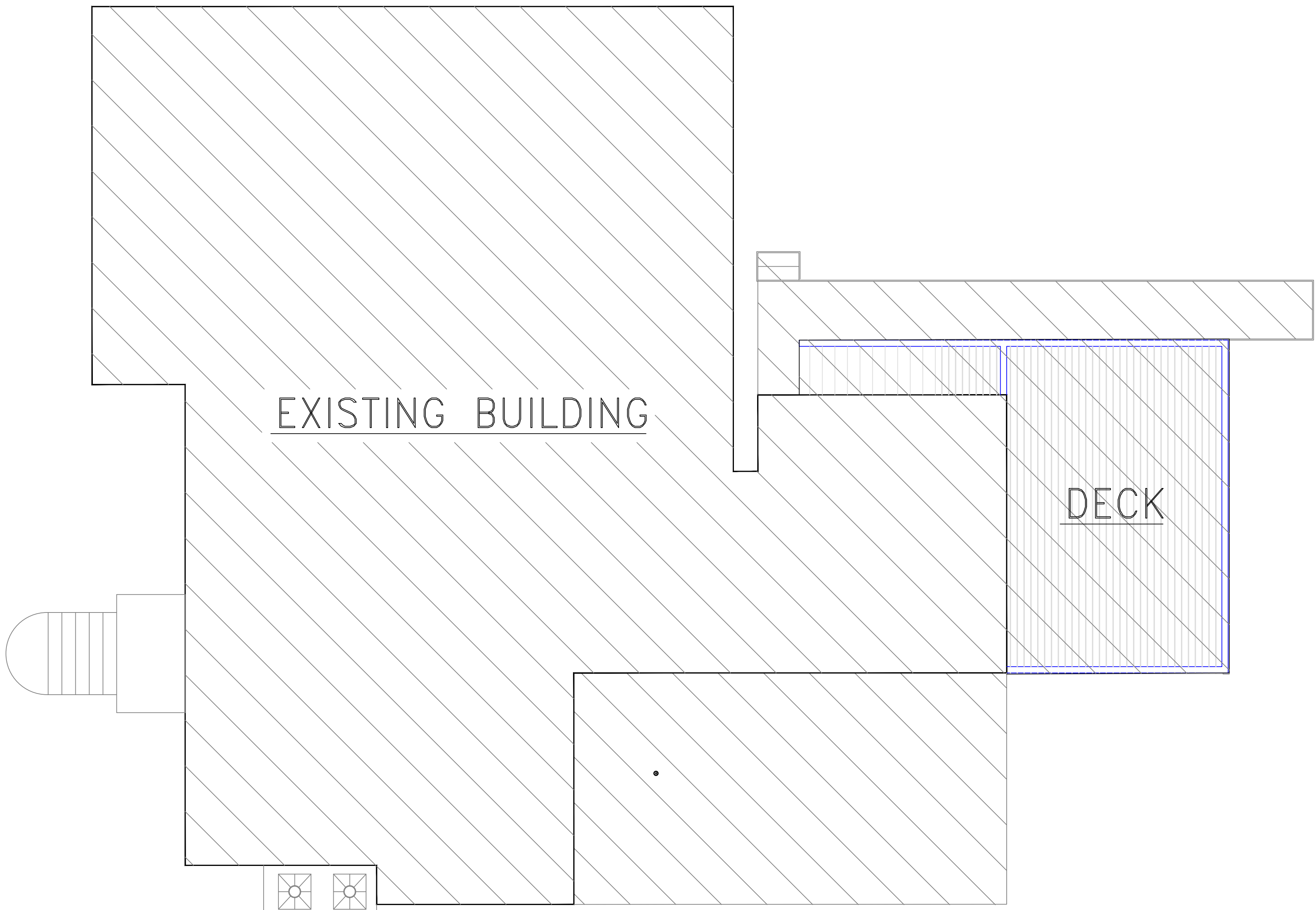
DWG. TITLE

OMAR COOTE RESIDENCE
EXIST. & PRO.
ELEVATION #4

SHEET NO:

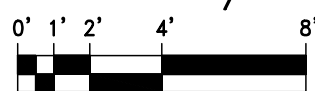
14
OF
18

E01



1
A06

PROPOSED 1ST. FLOOR ELECTRICAL LAYOUT
SCALE 1/4" = 1'-0" 4,691 S.FT



ELECTRICAL LEGEND				ELECTRICAL NOTES		
○	RECESSED CAN FIXTURE	#	QUAD OUTLET	ALL WIRING MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LOCAL CODES AND RULES AND REGULATIONS OF THE PERMITTING AUTHORITY	TELEPHONE JACK CONDUITS SHALL EXTEND ABOVE CEILING ONLY. STRAP PHONE WIRING TO FLOOR JOISTS FOR HOMERUN. NO OUTLET BOXES SHALL BE PLACED BACK TO BACK. NO OUTLET BOXES SHALL BE PLACED BACK TO BACK. ALL BREAKERS USED TO SWITCH CIRCUITS SHALL BE 'GWD' SWITCHING DUTY BREAKERS.	ALL EXPOSED ELECTRICAL DEVICES AND COVERS SHALL BE WHITE. PROVIDE POWER DISCONNECT AT CONDENSING UNIT. ALL SMOKE DETECTORS SHALL BE 36" MINIMUM AWAY FROM HVAC SUPPLY DIFFUSERS OR RETURN AIR GRILLS.
◇	INCANDESCENT FIXTURE	\$	SWITCH			
≡	FLUORESCENT FIXTURE	3\$	3 WAY SWITCH			
⊕	DUPLEX OUTLET (FM) INDICATES FLOOR MOUNT	\$2	4 WAY SWITCH	ALL TRADES PEOPLES SHALL BE STATE LICENSED. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, TYPE THHN OR BETTER, OF #12 AWG MINIMUM, IN 1/2" CONDUIT MINIMUM.		
⊕ GFCI	GROUND FAULT OUTLET	△	PHONE/DATA			
●	EXHAUST FAN	□	CABLE TV			
⊕	FLOOD LIGHT FIXTURE	⊕	DIMMER SWITCH			
⊕	CEILING FAN/LIGHT	⊖	WALL WASHER			
		□	JUNCTION BOX			

HODAVIAH GENERAL CONSTRUCTION
AND ARCHITECTURAL SERVICE, LLC
4304 Rolfe Court, McDonough, GA.30252
OFFICE NO: (404) 259-0093

This image shows a single sheet of white paper with horizontal red ruling lines. The lines are evenly spaced and run across the width of the page. There is no text or other markings on the paper.

Mr. Omar Coote
4379 Flat Shoals Pkwy, Decatur, GA. 30034

Mr. Omar Coote
4378 Flat Shoals Pkwy, Decatur, GA 30034
PHONE#- (678) 858-3382

CHECK BY _____

DATE _____

SCALE AS SHOWN

JOB NO:

DWG. TITLE

OMAR COOTE RESIDENCE

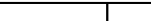
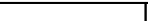
PROPOSED 2ND. ELECTRICAL LAYOUT, NOTES & LEGEND

SHEET NO

15
OF
18

E02



ELECTRICAL LEGEND				ELECTRICAL NOTES	
	RECESSED CAN FIXTURE		QUAD OUTLET	ALL WIRING MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LOCAL CODES AND RULES AND REGULATIONS OF THE PERMITTING AUTHORITY	TELEPHONE JACK CONDUITS SHALL EXTEND ABOVE CEILING ONLY, STRAP PHONE WIRING TO FLOOR JOISTS FOR HOMERUN.
	INCANDESCENT FIXTURE		SWITCH		
	FLUORESCENT FIXTURE		3 WAY SWITCH	ALL TRADES PEOPLES SHALL BE STATE LICENSED.	NO OUTLET BOXES SHALL BE PLACED BACK TO BACK.
	DUPLEX OUTLET (R) INDICATES FLOOR MOUNT		4 WAY SWITCH		
	GROUND FAULT OUTLET *		PHONE/DATA		
	EXHAUST FAN		CABLE TV		
	FLOOD LIGHT FIXTURE		DIMMER SWITCH	UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, TYPE THWN OR BETTER OF #12 AWG MINIMUM, IN 1/2" CONDUIT MINIMUM.	NO OUTLET BOXES SHALL BE PLACED BACK TO BACK.
	CEILING FAN/LIGHT		WALL WASHER		
			JUNCTION BOX		
				ALL BREAKERS USED TO SWITCH CIRCUITS SHALL BE 'SWD' SWITCHING DUTY BREAKERS.	ALL EXPOSED ELECTRICAL DEVICES AND COVERS SHALL BE WHITE. PROVIDE POWER DISCONNECT AT CONDENSING UNIT. ALL SMOKE DETECTORS SHALL BE 36" MINIMUM AWAY FROM HVAC SUPPLY DIFFUSERS OR RETURN AIR GRILLS.

H.G.C
&
A.S, LLC

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AND ARCHITECTURAL SERVICE, LLC
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REVISIONS

CONSULTANTS

PROJECT / CLIENT

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PHONE# (678) 858-3382

DRAWN BY A.A.GRAHAM

CHECK BY

DATE

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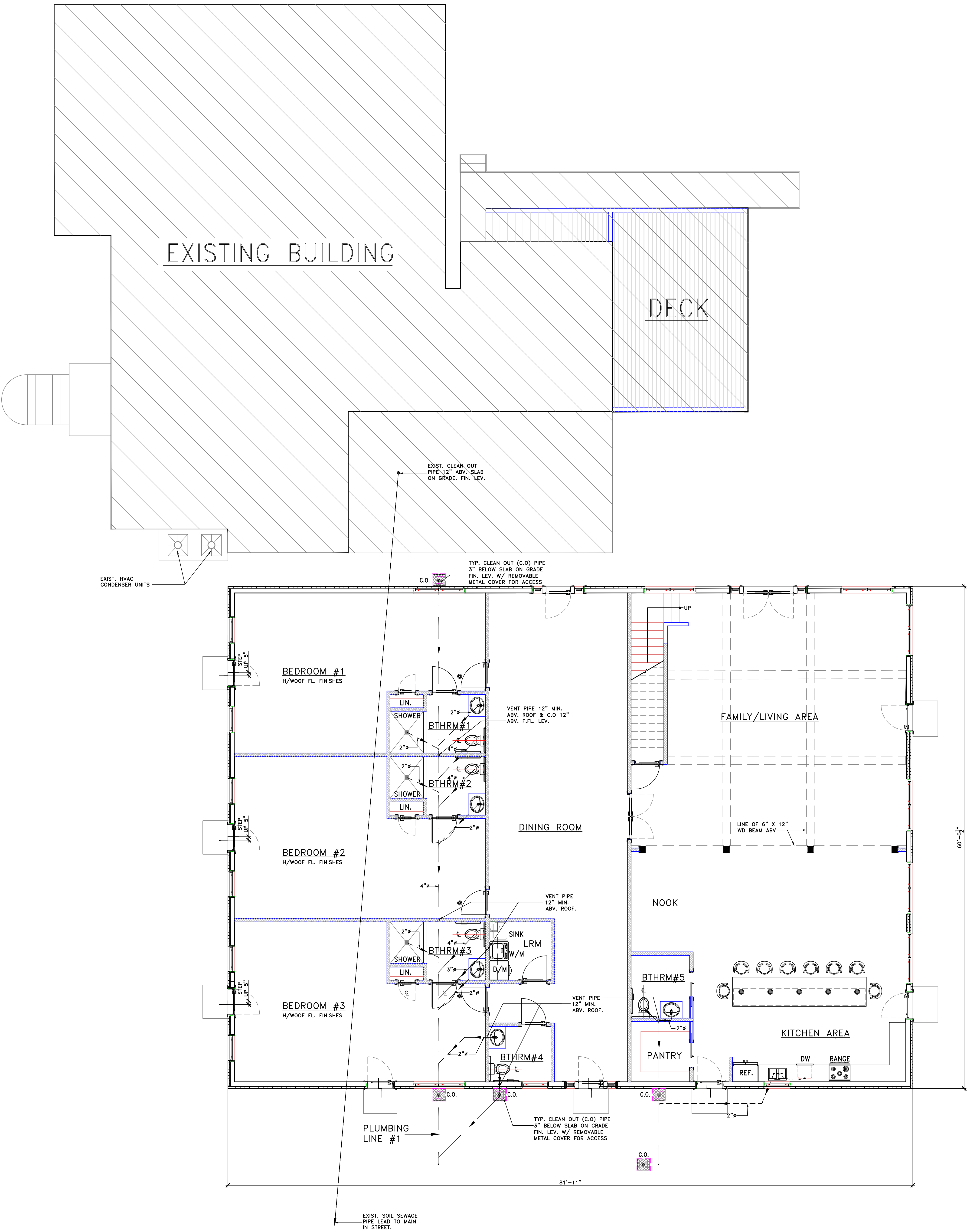
OMAR COOTE RESIDENCE

PROPOSED 1ST. FL.
PLUMBING LAYOUT

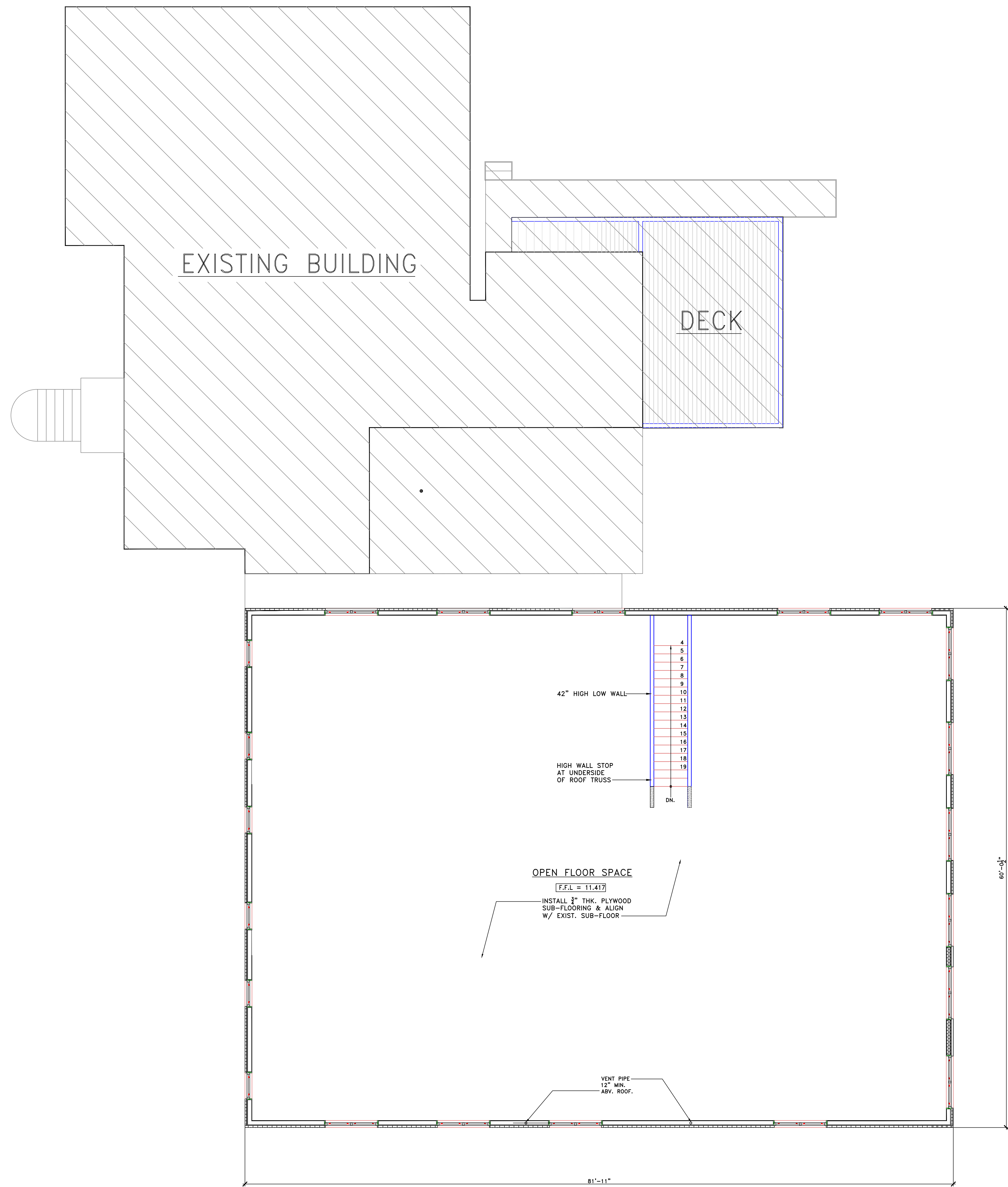
16
OF
18

SHEET NO:

P01



1
A06 PROPOSED 1ST. FLOOR PLUMBING LAYOUT
SCALE 1/4" = 1'-0"
4,691 S.F.T.



1
A06 PROPOSED 2ND. FLOOR PLUMBING LAYOUT
SCALE 1/4" = 1'-0" 4,581 S.FT.
0' 1' 2' 4' 8'

H.G.C
&
A.S, LLC

HODAVIAH GENERAL CONSTRUCTION
AND ARCHITECTURAL SERVICE, LLC
4304 Rolfe Court, McDonough, GA 30252
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REVISIONS

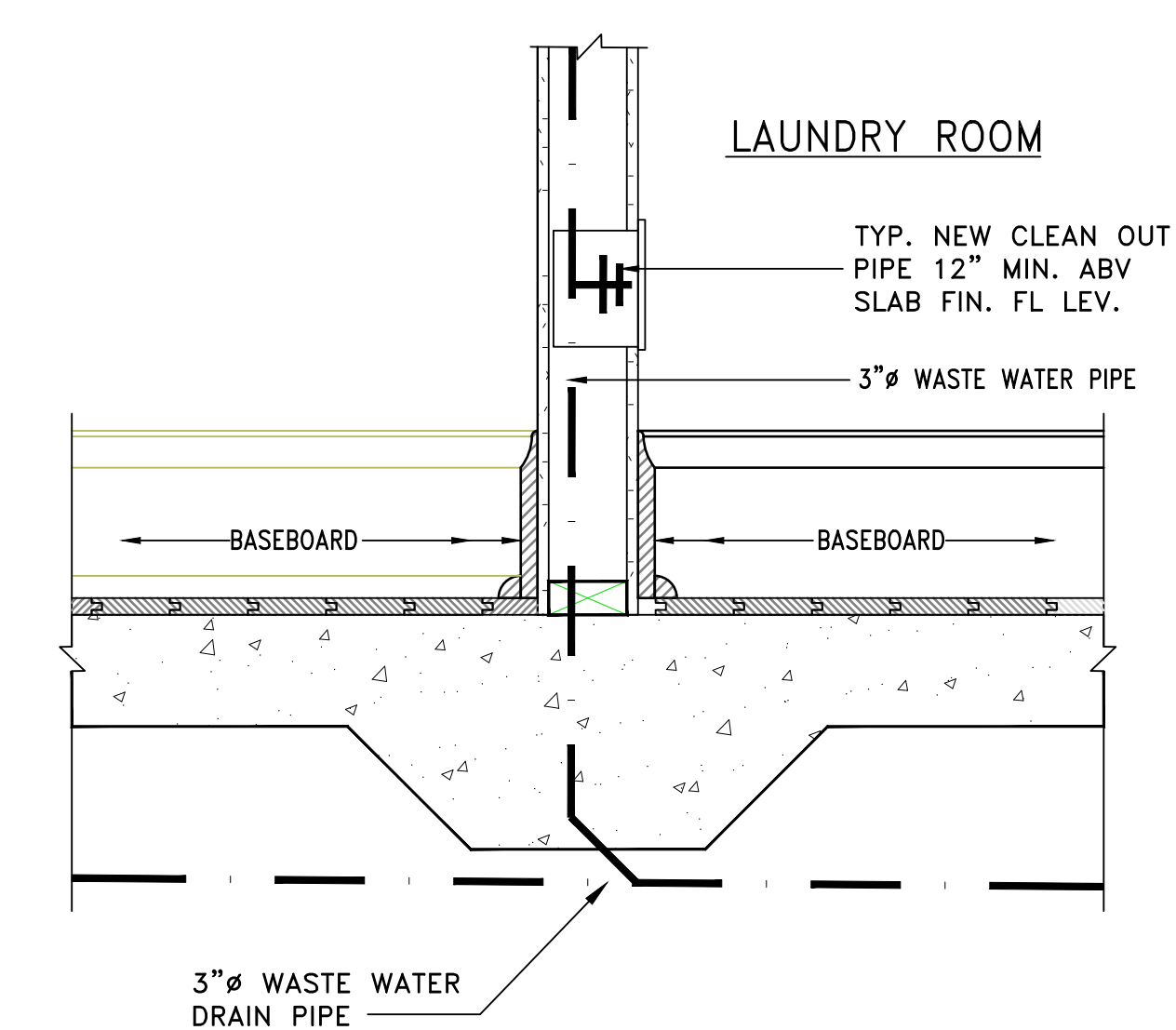
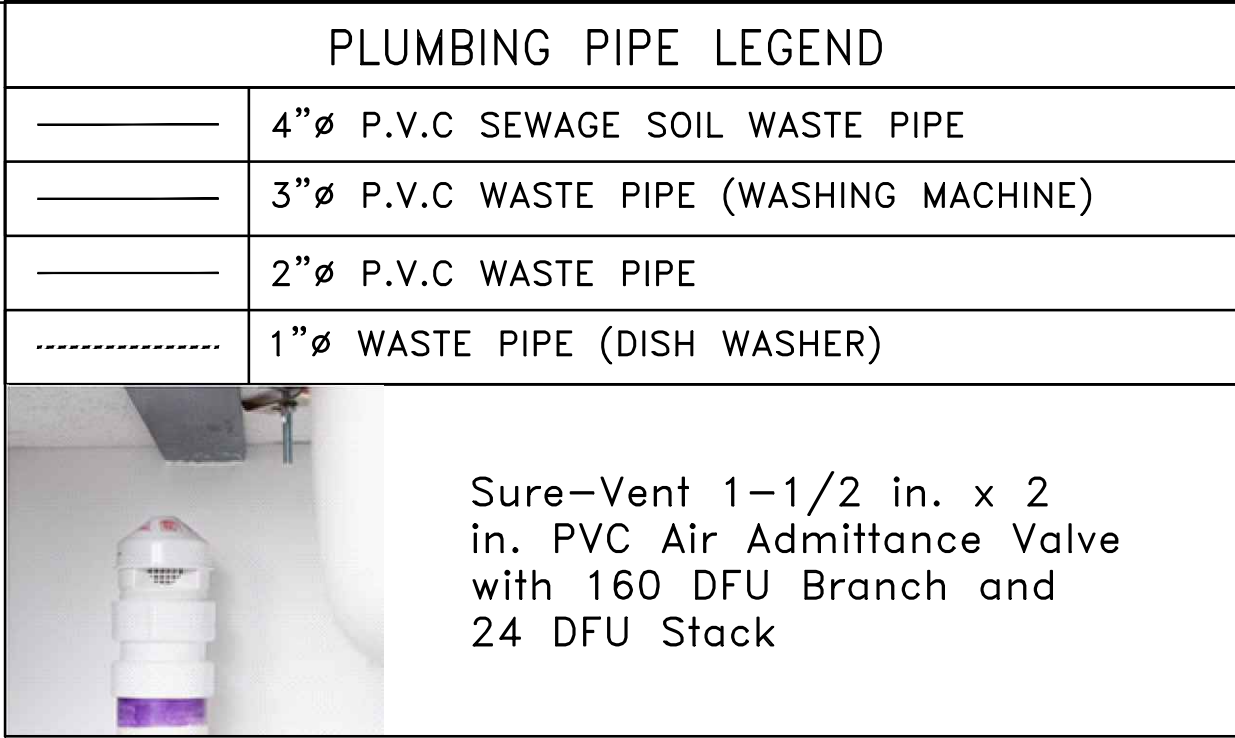
CONSULTANTS

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Mr. Omar Coote 4378 Flat Shoals Pkwy, Decatur, GA 30034 PHONE#- (678) 858-3382

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DATE	
SCALE	AS SHOWN
JOB NO:	

DWG. TITLE
OMAR COOTE RESIDENCE
PROPOSED 2ND. FL. PLUMBING LAYOUT

17 OF 18	SHEET NO: P02
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P03

