

Chief Executive Officer

Lorraine Cochran-Johnson

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Interim Director

Cedric W. Hudson, MCRP

**Application for Certificate of Appropriateness**

Date submitted: 11/23/2025 Date Received: \_\_\_\_\_

Address of Subject Property: 1036 Oxford Road, Atlanta Georgia 30306

Applicant: Alan Clark, AIA E-Mail: alan@alanclarkarchitects.com

Applicant Mailing Address: Alan Clark Architects, LLC 424 Manor Ridge Drive, NW  
Atlanta GA 30305

Applicant Phone: (404) 219-4642

Applicant's relationship to the owner: Owner ☐ Architect ☒ Contractor/Builder ☐ Other ☐

Owner(s): Harry and Denise Rowland Email: hrowland21@gmail.com

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Mailing Address: 1036 Oxford Road, Atlanta GA 30306

Owner(s) Telephone Number: (404) 862-2215 / Harry - Cell

Approximate date of construction of the primary structure on the property and any other structures affected by this project: \_\_\_\_\_

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input checked="" type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input checked="" type="checkbox"/>	Fence/Wall	<input type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

Remove windows in front elevation of house and replace with new appropriate double hung windows. New addition in back of house (covered porch and enlarged bedroom suite), renovation of existing primary bedroom

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) and [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov). An incomplete application will not be accepted.

Signature of Applicant:

Alan P. Clark, AIA



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/ We: Harry and Denise Rowland

being owner(s) of the property at: 1036 Oxford Road Atlanta GA 30306

hereby delegate authority to: Alan Clark Architects, LLC

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):

Date:

Harry Rowland  
11/21/25

**Please review the following information**

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



A RENOVATION FOR  
**ROWLAND FAMILY**  
1036 OXFORD ROAD NE, ATLANTA GEORGIA 30306  
**DEKALB COUNTY HISTORIC PRESERVATION COMMISSION**  
**NOVEMBER 24, 2025**



**CODE COMPLIANCE INFORMATION**

CURRENT STATE MINIMUM CODES FOR CONSTRUCTION  
THE FOLLOWING ARE THE CURRENT STATE MINIMUM STANDARD CODES FOR CONSTRUCTION AS ADOPTED BY THE BOARD OF COMMUNITY AFFAIRS.  
CURRENT MANDATORY CODES AS ADOPTED BY DCA:

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL FIRE CODE, 2018 EDITION
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENT
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- NATIONAL ELECTRICAL CODE, 2023 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS

FOR INFORMATION AND QUESTIONS REGARDING THE LIFE SAFETY CODE (NFPA 101), IFC GEORGIA AMENDMENTS OR THE GEORGIA ACCESSIBILITY CODE PLEASE CONTACT THE STATE FIRE MARSHAL'S OFFICE.

CURRENT PERMISSIVE CODES AS ADOPTED BY DCA

- DISASTER RESILIENT BUILDING CODE IBC APPENDIX
- DISASTER RESILIENT BUILDING CODE IRC APPENDIX
- INTERNATIONAL PROPERTY MAINTENANCE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL EXISTING BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- NATIONAL GREEN BUILDING STANDARD, 2008 EDITION, WITH GEORGIA AMENDMENTS

**PROJECT TEAM**

ARCHITECT  
**ALAN CLARK ARCHITECTS, LLC**  
CONTACT: **ALAN P. CLARK, AIA**  
**424 MANOR RIDGE DRIVE NW**  
**ATLANTA, GEORGIA 30305**  
CELL (404) 219-4642  
EMAIL **ALAN@ALANCLARKARCHITECTS.COM**

CONTRACTOR:  
TBD

STRUCTURAL ENGINEERING  
TDB

**OWNER CONTACT**

HARRY AND DENISE ROWLAND  
  
HARRY ROWLAND (EMAIL) hrowland21@gmail.com

**SCOPE OF WORK**

RENOVATION OF EXISTING TWO STORY SINGLE FAMILY RESIDENCE, ADDING NEW PRIMARY SUITE ON SECOND FLOOR AND OPEN PORCH ON MAIN FLOOR.  
REMOVAL OF EXISTING WINDOWS AND REPLACEMENT WITH NEW DOUBLE HUNG WINDOWS IN EXISTING OPENINGS.

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A-6 PROPOSED REAR AND SIDE EXTERIOR ELEVATIONS

**SQUARE FOOTAGE CALCS**

HEATED AREA	
FIRST FLOOR	2,283
SECOND FLOOR	1,444
THIRD FLOOR	603
TOTAL HEATED	
4,330	
UNHEATED	
FRONT STOOP	85 S.F.
POOL DECK	260 S.F.
PATIO	188 S.F.
BALCONY	259 S.F.
UNFINISHED ATTIC	160 S.F.
BASEMENT	463 S.F.

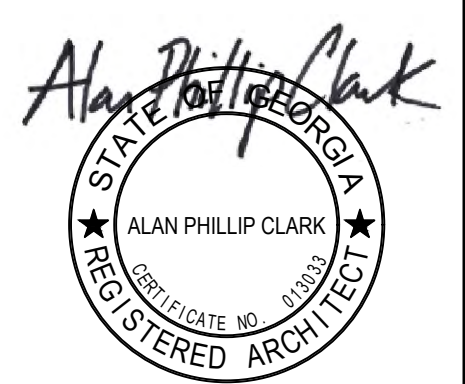
TOTAL UNHEATED 1,415 S.F.

TOTAL OVERALL (HEATED + UNHEATED) 5,745 S.F.

FOR HPC REVIEW ONLY - NOT FOR CONSTRUCTION

REVISIONS	DATE

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AND IS NOT  
TO BE REPRODUCED OR COPIED IN  
WHOLE OR IN PART. THE DIMENSION  
OF WHICH ARE 24" X 36"  
IT IS ONLY TO BE USED FOR THE PROJECT  
AND SITE SPECIFICALLY IDENTIFIED HEREIN  
AND IS NOT TO BE USED ON ANY OTHER  
PROJECT WITHOUT WRITTEN PERMISSION  
FROM THE ARCHITECT. THE CONTRACTOR  
IS RESPONSIBLE FOR VERIFYING ALL FIELD  
MEASUREMENTS, QUANTITIES, DIMENSIONS  
AND RELATED FIELD CONSTRUCTION  
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THE ARCHITECT WILL PROMPTLY CORRECT  
THE SAME IN WRITING. WORK DONE BY THE  
CONTRACTOR AFTER DISCOVERY OF SUCH  
DISCREPANCIES, INCONSISTENCIES OR  
AMBIGUITIES SHALL BE DONE AT THE  
GENERAL CONTRACTOR'S RISK.



**ALAN CLARK**  
ARCHITECTS  
WWW.ALANCLARKARCHITECTS.COM  
@ALANCLARKARCHITECTS [INSTAGRAM]

A RENOVATION FOR  
ROWLAND FAMILY  
1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	TITLE SHEET

**T-1**  
SHEET NUMBER



# ARCHITECTURAL SYMBOLS

5

—

Wall Type

A

Window Type

100

Door Type

ELEVATION

—

Elevation height

Room Name

Floor Finish

Room Name  
(and Finish Material)

1

A1

—

Elevation designation

1

A1

—

Section designation

X

X

—

Detail bubble

1

ROOM NAME

SCALE

Drawing tag

# ZONING INFORMATION

DEKALB COUNTY R-85

MINIMUM LOT WIDTH: 85 FEET

MINIMUM LOT AREA: 12,000 SQUARE FEET

FRONT SETBACK (MJR. THGHFARE.): 50 FT

FRONT SETBACK (MNR. THGHFARE.): 40 FT

FRONT SETBACK (COLLECTOR ST.): 35 FT

MINIMUM SIDE SETBACK: 8.5 FEET

MINIMUM REAR SETBACK: 40 FEET

MAXIMUM LOT COVERAGE: 35%

MINIMUM FLOOR AREA: 2,000 SQUARE FEET

MAXIMUM BUILDING HEIGHT: 35 FEET

MUST BE APPROVED BY DEKALB COUNTY ZONING PRIOR TO CONSTRUCTION

# GENERAL NOTES

- 1) ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL

2) DO NOT SCALE DRAWINGS

3) THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM ARCHITECT.

4) IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.

5) DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF FOUNDATION OR FACE OF FRAMING, UNLESS NOTED OTHERWISE.

6) IT IS THE RESPONSIBILITY OF THE OWNER AND/ OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.

7) ANY DISCREPANCIES CONTAINED WITHIN THE FOLLOWING DRAWINGS/DOCUMENTS ARE TO BE IMMEDIATELY REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION.

8) ANY DEVIATIONS FROM THE FOLLOWING DOCUMENTS SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT.

9) ALL STRUCTURAL MEMBERS TO BE VERIFIED, DESIGNED, AND SIGNED AND SEALED BY STRUCTURAL ENGINEER LICENSED IN THE STATE WHICH THE PROJECT IS BEING CONSTRUCTED.

10) ALL WOOD IN CONTACT WITH CONCRETE AND/OR EXPOSED TO THE EXTERIOR ELEMENTS TO BE PRESSURE TREATED.

11) ALL SHEATHING AND DECKING USED ON EXTERIOR ENVELOPE TO BE OF "EXTERIOR GRADE"

12) CERTIFIED U.L. FIRE SEPARATION/RATED ASSEMBLIES TO BE USED WHERE REQUIRED BY CODE.

13) G.C. TO VERIFY & ADHERE TO FIREPLACE MANUFACTURER AND CODE REQUIREMENTS FOR MIN. CLEARANCES OF COMBUSTIBLE MATERIALS AROUND FIREPLACE, INCLUDING, BUT NOT LIMITED TO, FRAMING, SURROUNDING MATERIAL, HEARTH, & FLUE.

14) ALL TOILETS MUST HAVE VENTILATION FAN ABOVE IN CEILING IN ACCORDANCE WITH GOVERNING BUILDING CODE.

15) ALL BEDROOMS MUST HAVE SMOKE DETECTORS LOCATED OUTSIDE BEDROOM DOOR IN ACCORDANCE W/ GOVERNING BUILDING CODE.

16) TEMPERED GLASS TO BE USED IN DOORS & WINDOWS AS REQUIRED BY GOVERNING BUILDING CODE. G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO FINAL ORDER.

17) EXTERIOR PORCHES SHOULD BE SLOPED 1/8" PER FOOT MINIMUM TO ALLOW FOR DRAINAGE OF WATER & TO PREVENT PONDING OF WATER.

18) G.C. TO VERIFY W/ ELEVATOR AND/OR LIFT MANUFACTURING COMPANIES REQUIREMENTS INCLUDING BUT NOT LIMITED TO STRUCTURAL & ELECTRICAL, PERTAINING TO SPECIFIED ELEVATOR/LIFT BEFORE CONSTRUCTION - IF G.C. SUBSTITUTES SPECIFIED ELEVATOR/LIFT FOR ANOTHER MANUF. AND/OR MODEL NOTIFY ARCHITECT IMMEDIATELY (BEFORE PROCEEDING) TO DISCUSS POSSIBLE IMPACT ON CONSTRUCTION DOCUMENTS.

19) IT IS RECOMMENDED THAT SPECIFICATIONS AND PLANS BE CONSIDERED AS COMPLIMENTARY. WHERE THE G.C. FINDS A DISCREPANCY BETWEEN THE TWO, THE G.C. SHOULD IMMEDIATELY CALL ANY/ALL DISCREPANCY (IES) TO THE ATTENTION OF THE ARCHITECT OR ENGINEER AND REQUEST THAT A WRITTEN CLARIFICATION BE ISSUED. WHERE THE ARCHITECT OR ENGINEER FINDS A DISCREPANCY, SAID DISCREPANCY SHOULD IMMEDIATELY BE CALLED TO THE ATTENTION OF THE G.C., CLARIFYING THE DISCREPANCY, AND ISSUE A WRITTEN CLARIFICATION OF THE REQUIREMENT.

20) G.C. TO VERIFY GRADE AGAINST HOUSE/STRUCTURE SLOPES AWAY TO DRAIN WATER AWAY FROM STRUCTURE.

21) G.C. TO VERIFY MASONRY WEEP-HOLES @ 33" O.C., MAX.

22) G.C. TO USE METAL MASONRY TIES. G.C. TO VERIFY W/ STRUCTURAL 0.29 x 7/8" GALV. METAL TIES TO BE USED. EACH METAL TIE MAY NOT SUPPORT AN AREA GREATER THAN 3'-0" SQUARE FEET WITH A MAXIMUM SPACING OF 16" O.C VERTICALLY AND 24" O.C. MAX. HORIZONTALLY.

23) G.C. TO VERIFY R-VALUES W/ LOCAL JURISDICTIONS AND GOVERNING CODES AND BE COMPLIANT WITH 2015 NEC CODE REQUIREMENTS AT A MINIMUM

24) G.C. TO VERIFY SOIL CONDITIONS BEFORE POURING FOUNDATION.

25) TYPICAL SLAB ON GRADE TO BE 4" P.I.P. CONCRETE SLAB W/ 6 X 6 X <sup>19</sup>/<sub>16</sub> W.W.F. OVER 6 MIL. POLY VAPOR BARRIER OVER 4" GRAVEL BED OVER COMPACTED SOIL. G.C. TO VERIFY WITH APPROVED STRUCTURAL BEFORE POURING SLAB.

26) ALL WINDOW & DOOR SHOP DRAWINGS REQUIRED TO BE REVIEWED & APPROVED BY ARCHITECT AND OWNER PRIOR TO PLACING ORDER.

27) G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO ORDERING.

28) G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF GUTTERS & DOWNSPOUTS PRIOR TO INSTALLATION.

29) G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF VENTS, INCLUDING BUT NOT LIMITED TO, DRYER VENTS / EXHAUST VENTS, WHICH ARE LOCATED ON EXTERIOR WALLS.

30) G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATION OF EXTERIOR LIGHTING PRIOR TO INSTALLATION OF JUNCTION BOXES.

31) G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATIONS OF INTERIOR AND EXTERIOR ELECTRICAL SWITCHES PRIOR TO INSTALLATION OF JUNCTION BOXES.

32) G.C. TO COORDINATE ELECTRICAL & PLUMBING REQUIREMENTS FOR APPLIANCES , INCLUDING, BUT NOT LIMITED TO REFRIGERATORS & FREEZERS, OVENS, STOVES, GRILLS, VENT HOODS, ICE MAKERS, AND DISHWASHERS.

33) G.C. TO VERIFY ALL STRUCTURAL MEMBERS NOTED IN ARCHITECTURAL DRAWINGS, INCLUDING, BUT NOT LIMITED TO STUDS, JOISTS, AND RAFTER SIZES AND SPACING, WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES CONTACT ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK IN QUESTION.

34) ALL EXTERIOR MATERIALS, COLORS, STAINS, ETC. TO BE SUBMITTED TO ARCHITECT & OWNER FOR REVIEW & APPROVAL, PRIOR TO FINAL ORDER & INSTALLATION. MATERIAL MOCK-UPS MIGHT BE NECESSARY FOR REVIEW& APPROVAL.

35) ALL SILLS & TOPS OF HEADER TRIM @ EXTERIOR WINDOWS TO SLOPE MIN. 5 DEGREES TO SHED WATER PROPERLY.

36) ALL WINDOW AND DOOR DIMENSIONS ON SCHEDULE DIMENSIONED TO SASH. IT IS THE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ROUGH OPENING SIZES AND REQUIREMENTS WITH THE CHOSEN WINDOW MANUFACTURER.

37) EACH ITEM OF MATERIAL AND EQUIPMENT SHALL EQUAL OR EXCEED THAT DESCRIBED OR INDICATED. THE CONTRACTOR IS HELD DIRECTLY RESPONSIBLE FOR ALL WORK DONE BY SUBCONTRACTORS.

38) NO VARIATIONS OR DEVIATIONS FROM THE DETAILS AS DRAWN ARE PERMITTED WITHOUT WRITTEN AUTHORIZATION OR AN ALTERNATE APPROVED DETAIL FURNISHED BY THE ARCHITECT OR OWNERS. UNLESS SPECIFICALLY STATED OTHERWISE, ALL MATERIALS PROVIDED UNDER THIS CONTRACT SHALL BE NEW AND FREE FROM DEFECTS.

39) ALL DIMENSIONS ARE WITNESSED TO THE OUTSIDE FACE OF CMU, OR STUD, CENTER OF COLUMNS, TOP OF STRUCTURAL CONCRETE SLAB OR MASONRY OPENINGS OF WINDOWS AND DOORS UNLESS NOTED OTHERWISE.

40) THE CONTRACTOR SHALL DEVELOP A COMPLETE SCHEDULE FOR COMPLETION OF THE WORK. THIS SCHEDULE SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.

41) FIELD VERIFY ALL DIMENSIONS.

42) GENERAL CONTRACTOR SHALL HOLD EXTERIOR GRADES A MINIMUM OF 6" BELOW FINISH FLOOR AND PROVIDE A 5% SLOPE OF GRADE AWAY FROM BUILDING EXTERIOR.

43) ALL CONCRETE SHALL BE PROPORTIONED TO DEVELOP 3000 PSI AT 28 DAYS AND HAVE A MAXIMUM SLUMP OF 4".

44) ALL LUMBER IN CONTACT WITH THE GROUND, CONCRETE, MASONRY, OR THE EXTERIOR SHALL BE PRESSURE TREATED.

45) PROVIDE WOOD BLOCKING SUPPORT FOR GRAB BARS, TOILET AND ACCESSORIES, AS REQUIRED BY EACH MANUFACTURER.

46) ALL DOOR AND WINDOW OPENINGS TO BE COUNTER FLASHED W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.

47) CAULK WITH SEALANT AT ALL JOINTS AT DISSIMILAR MATERIALS. CAULK PANEL ENDS OF SIMILAR MATERIALS WHEN EXPOSED TO AIR INFILTRATION.

48) METAL FLASHING SHALL BE PROVIDED AT ALL VERTICAL MATERIAL TRANSITIONS W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.

49) ALL FLOOR FINISH CHANGES TO OCCUR AT CENTERLINE OF DOORS (U.N.O.).

50) INSTALL ALL PRODUCTS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.

51) IF ASBESTOS, TRANSITE, LEAD, MERCURY, PCBS, SILICA, MOLD, OR OTHER HAZARDOUS CONSTRUCTION MATERIAL(S) IS DISCOVERED DURING CONSTRUCTION, AND/OR DEMOLITION OF EXISTING WORK, CONTRACTOR TO NOTIFY ARCHITECT AND CLIENT IMMEDIATELY. CONTRACTOR TO CONSULT HAZARDOUS MATERIAL SPECIALIST FOR REMOVAL OR ENCAPSULATION UPON FINDING ABOVE CONSTRUCTION MATERIALS. COMPANIES INVOLVED IN ANY FACET OF A DEMOLITION, A RENOVATION, OR EVEN A CURRENT CONSTRUCTION PROJECT THAT FAIL TO GRASP THIS SALIENT FACT EXPOSE THEMSELVES TO LITIGATION FROM INJURED PARTIES AS A RESULT OF CONTACT (REAL OR PERCEIVED) WITH HAZARDOUS MATERIALS.

52) CONTRACTOR TO ENSURE ALL GFCI/AFCI CIRCUIT PROTECTION TO BE INSTALLED PER 2020 NEC CODE REQUIREMENTS. REFERENCE PLANS FOR LOCATIONS.

# ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ABV	ABOVE
ARCH	ARCHITECTURAL / ARCHITECT
BYND	BEYOND
BTM	BOTTOM
B.O.	BOTTOM OF
BL	BUILD LINE
CLG	CEILING
CTR	CENTER
CL	CENTER LINE
CLO/ CLOS	CLOSET
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
COORD	COORDINATE
DEG	DEGREE
DIFF	DIFFERENCE/ DIFFERENT
DIM	DIMENSION(S)
DWG	DRAWING
DBL	DOUBLE
DN	DOWN
EA	EACH
EL	ELEVATION
ELEV	ELEVATOR
ELLIP	ELLIPTICAL
EXT	EXTERIOR
FIN	FINISH
FLR	FLOOR
GEN	GENERAL
GC	GENERAL CONTRACTOR
HGT	HEIGHT
INT	INTERIOR
LVL	LEVEL
MANUF	MANUFACTURER
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
OC	ON CENTER
OW	OPEN WEB
PL	PLATE
PIP	POURED IN PLACE
PDR	POWDER ROOM
PT	PRESSURE TREATED
R	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
REP	REPRESENTATIVE
REQ'D/ REQ	REQUIRED/ REQUIREMENTS
SECT	SECTION
SPECS	SPECIFICATIONS
ST/ STOR	STORAGE
STRUCT	STRUCTURAL/ STRUCTURE
THK	THICK
TBD	TO BE DETERMINED
TO	TOP OF
TYP	TYPICAL
T&G	TOUNGE & GROOVE
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WWF	WELDED WIRE FABRIC

\*\*\* IF ANY DISSIMILAR METALS ARE SHOWN AS BEING IN CONTACT WITH EACH OTHER, CONTRACTOR TO PROVIDE "MATERIAL" TO ELIMINATE GALVANIC ACTION.

REVISIONS

DATE

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AMBIGUITIES SHALL BE DONE AT THE  
GENERAL CONTRACTOR'S RISK.

Alan Phillip Clark

STATE OF GEORGIA  
REGISTERED ARCHITECT  
ALAN PHILLIP CLARK  
EXPIRATION 06-30-2025

ALAN CLARK  
ARCHITECTS  
WWW.ALANCLARKARCHITECTS.COM  
@ALANCLARKARCHITECTS [INSTAGRAM]

A RENOVATION FOR  
ROWLAND FAMILY  
1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE

11/24/2025

DRAWN BY

APC/WAC

JOB NUMBER

0281

SHEET NAME

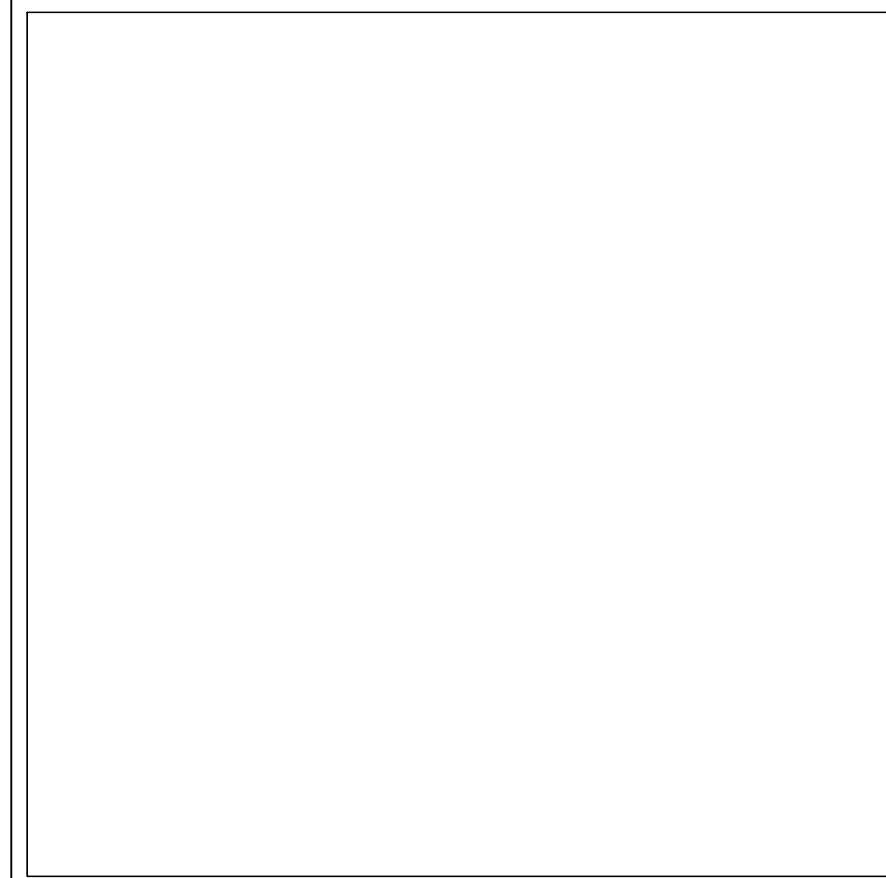
NOTES & SYMBOLS

T-2

SHEET NUMBER

FOR HPC REVIEW ONLY - NOT FOR CONSTRUCTION





REFERENCE MATERIAL

1. LIMITED WARRANTY DEED IN FAVOR OF HARRY M. ROLAND, JR. AND DENISE TILLMAN ROWLAND DEED BOOK 32211 PAGE 56-58 DEKALB COUNTY, GEORGIA

FLOOD NOTE

THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS. THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. FOR MORE ACCURATE INFORMATION, A SECOND OPINION OF THE APPLICABLE FLOOD HAZARD AREA IS RECOMMENDED. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS, AN INSURANCE COMPANY OR APPRAISER.

SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. PLEASE CALL ALL LOCAL UTILITY PROVIDERS AND OR 811 FOR FURTHER INFORMATION.
- Know whats below.  
Call before you dig.**
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE. FOR NEW PERMITS THE LOCAL ISSUING AUTHORITY MAY REQUIRE ADDITIONAL EASEMENTS NOT SHOWN.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS GATHERED BY AN OPEN TRAVERSE AND HAS A CALCULATED POSITIONAL TOLERANCE OF 0.03 FEET. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 240,855 FEET. A GEOMAX ZOOM 90 SERIES ROBOTIC TOTAL STATION WITH CARLSON SURVEY 2 DATA COLLECTOR WERE USED IN THE COLLECTION OF FIELD DATA.
5. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
6. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
7. ALL REBARS SET ARE 1/2" REBARS UNLESS OTHERWISE NOTED.
8. THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.

ZONING INFORMATION

DEKALB COUNTY R-85  
MINIMUM LOT WIDTH: 85 FEET  
MINIMUM LOT AREA: 12,000 SQUARE FEET  
FRONT SETBACK (MJR. THGHFARE.): 50 FT  
FRONT SETBACK (MNR. THGHFARE.): 40 FT  
FRONT SETBACK (COLLECTOR ST.): 35 FT  
MINIMUM SIDE SETBACK: 8.5 FEET  
MINIMUM REAR SETBACK: 40 FEET  
MAXIMUM LOT COVERAGE: 35%  
MINIMUM FLOOR AREA: 2,000 SQUARE FEET  
MAXIMUM BUILDING HEIGHT: 35 FEET  
MUST BE APPROVED BY DEKALB COUNTY ZONING PRIOR TO CONSTRUCTION

NO.	REVISIONS	DATE	DB

McClung Surveying Services, Inc.  
4833 South Cobb Drive Suite 200  
Smyrna, Georgia 30080 (770) 434-3383  
www.mcclungsurveying.com Certificate of Authorization #LSF000752

SURVEY FOR  
DENISE TILLMAN ROWLAND, JR.  
HARRY M. ROWLAND

1036 OXFORD ROAD  
ATLANTA, GEORGIA  
TOTAL AREA= 0.457± ACRES  
OR 19,895± SQ. FT.

30' 15' 0' 30' 60'

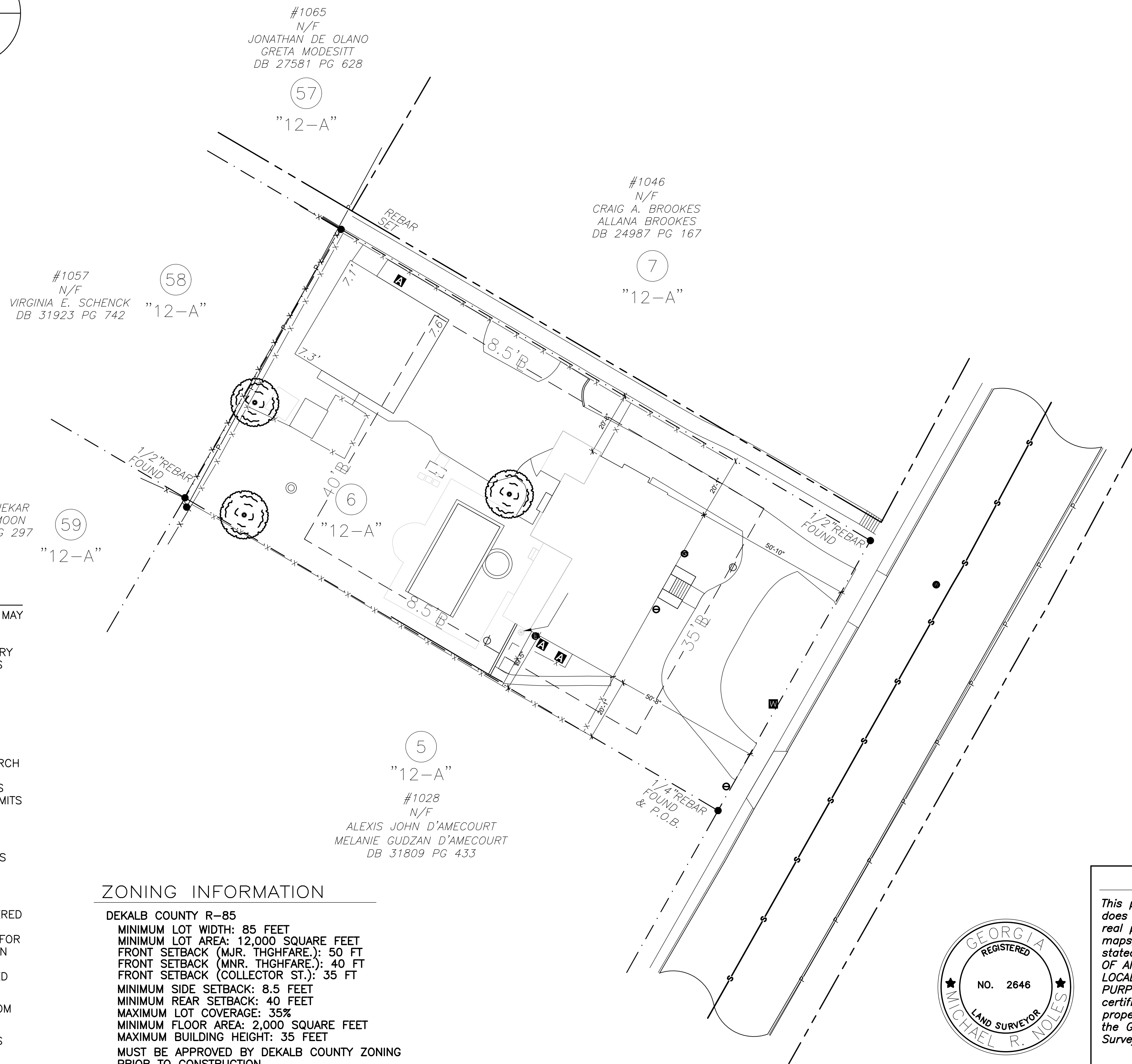
SCALE IN FEET

DB: RH

LOT 6 BLOCK "12-A"  
DRUID HILLS

LAND LOT 2  
18TH DISTRICT  
DEKALB COUNTY, GEORGIA  
PLAT PREPARED: 11-14-2025  
FIELD: 12-13-2025 SCALE: 1"=30'

C&B-IT  
PB  
PG



LEGEND	
B	BUILDING LINE
P	PROPERTY LINE
R/W	RIGHT-OF-WAY
C	CENTERLINE
BC	BACK OF CURB
G	GUTTER
EP	EDGE OF PAVING
TW	TOP OF WALL
BW	BOTTOM OF WALL
X	FENCE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
PP	POWER POLE
LP	LIGHT POLE
GW	GUY WIRE
P	POWER LINE
PM	POWER METER
PB	POWER BOX
FO	FIBER OPTIC
A/C	AIR CONDITION
CB	CABLE BOX
TB	TELEPHONE BOX
GM	GAS METER
GV	GAS VALVE
GLM	GAS LINE MARKER
WM	WATER METER
WV	WATER VALVE
FH	FIRE HYDRANT
MW	MONITORING WELL
HW	HEADWALL
JB	JUNCTION BOX
DI	DROP INLET
S	SANITARY SEWER LINE
SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
D.E.	DRAINAGE EASEMENT
S.S.E.	SANITARY SEWER EASEMENT

IMPERVIOUS CALCULATIONS

SURVEYOR'S CERTIFICATE

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulation for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Michael R. Noles Georgia RLS No. 2646 Date

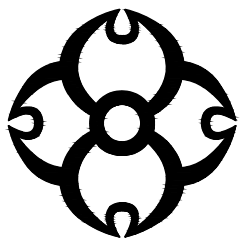
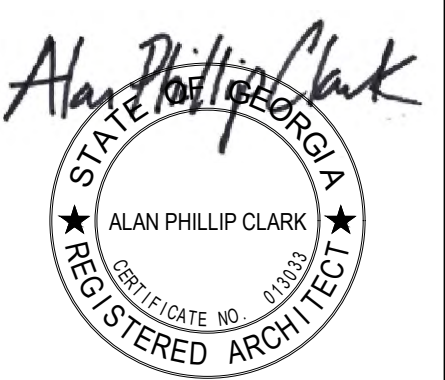


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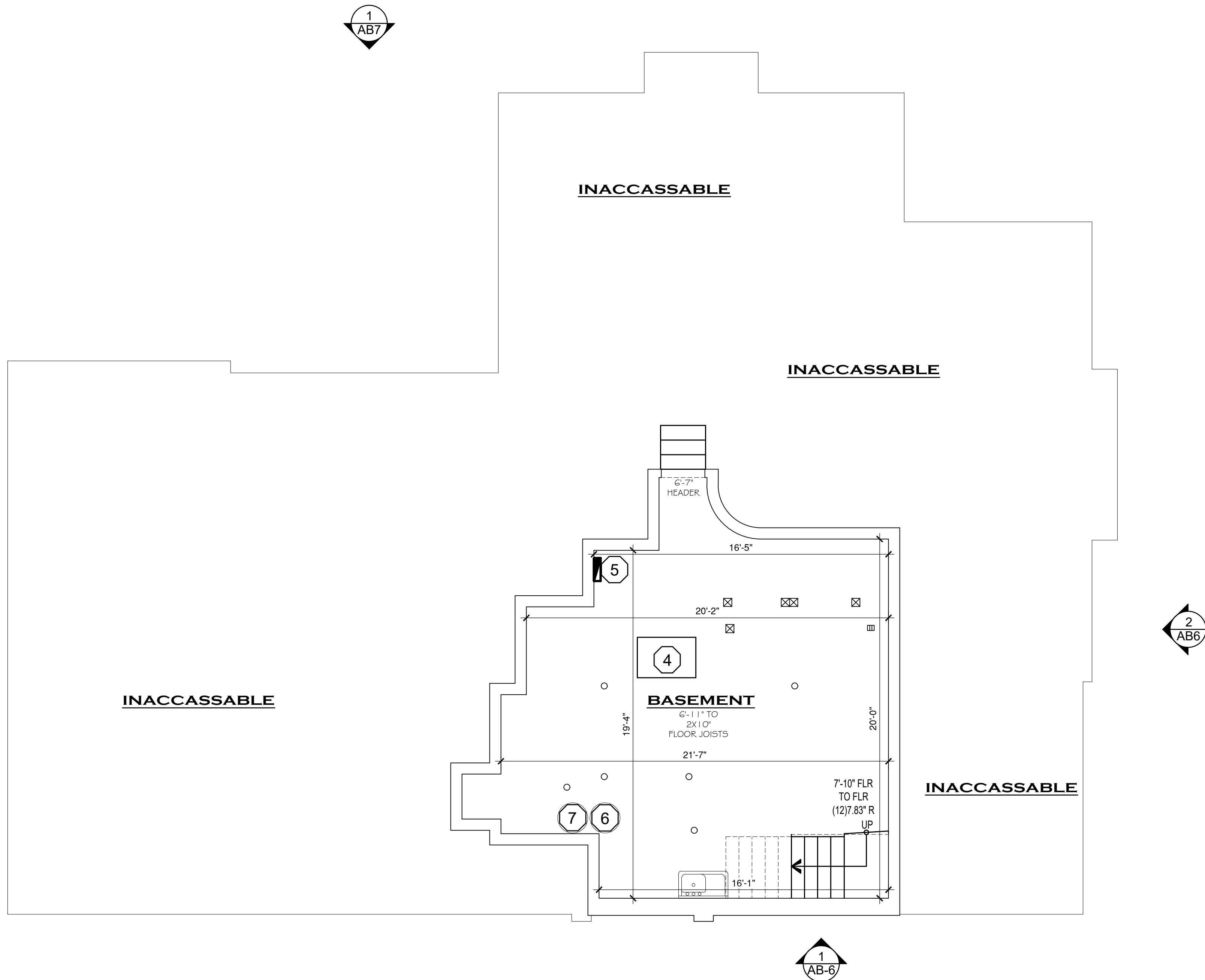


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A RENOVATION FOR  
ROWLAND FAMILY  
1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING BASEMENT FLOOR PLAN

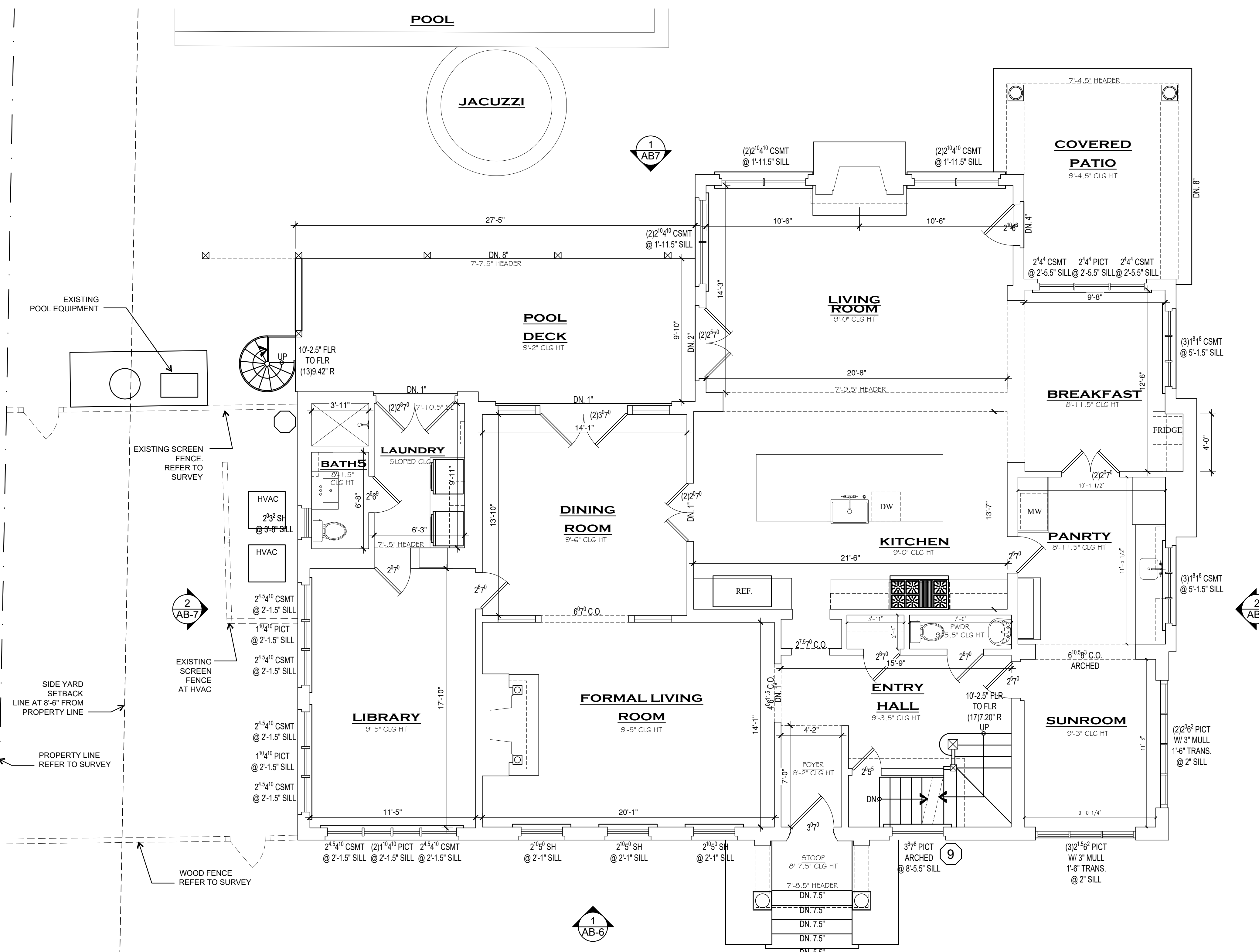
AB-1  
SHEET NUMBER



1 EXISTING BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"

FOR HPC REVIEW ONLY - NOT FOR CONSTRUCTION





1 EXISTING MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"

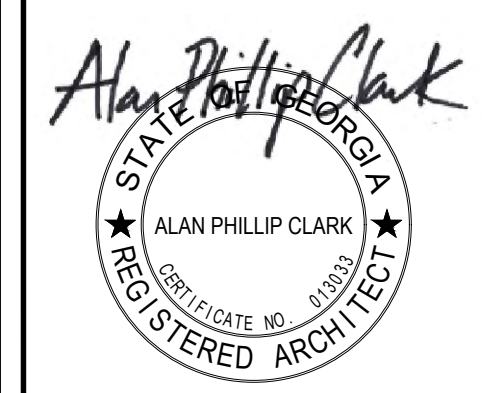
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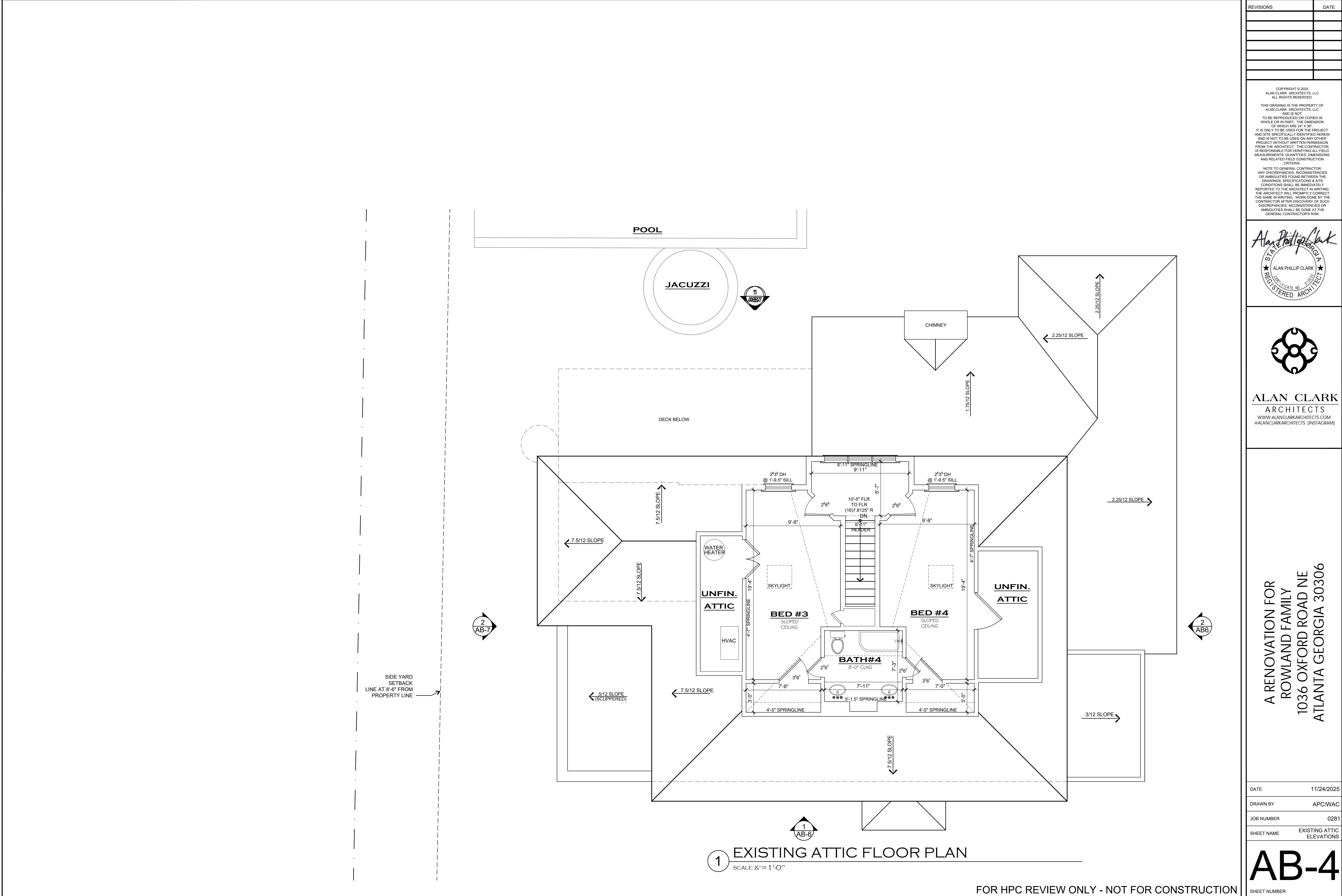
DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING MAIN FLOOR PLAN

**AB-2**  
SHEET NUMBER







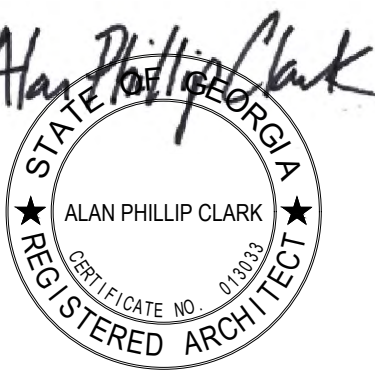


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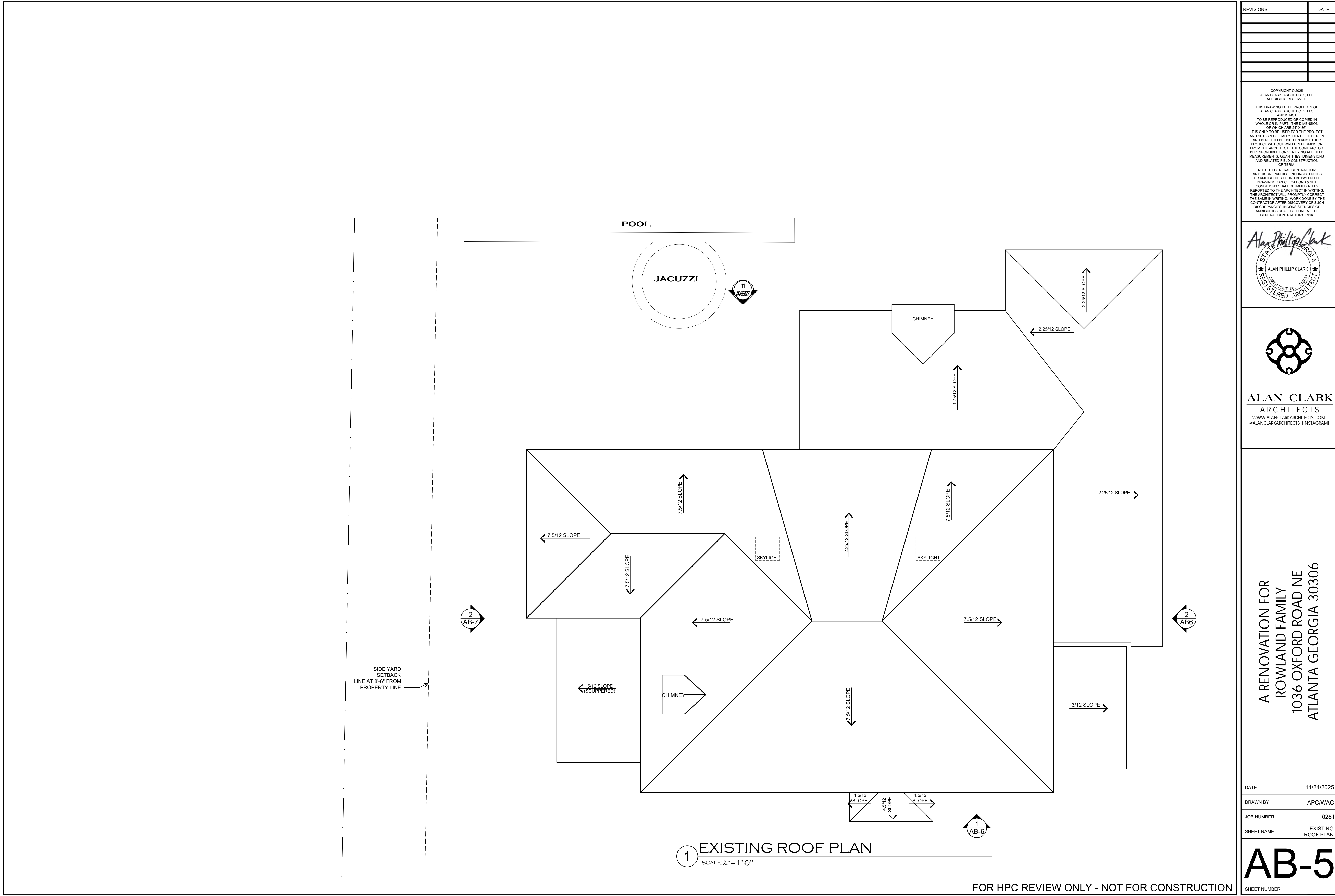
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A RENOVATION FOR  
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1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING ATTIC ELEVATIONS

**AB-4**  
SHEET NUMBER



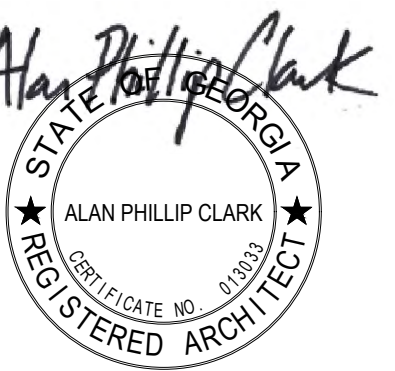


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1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING ROOF PLAN

**AB-5**  
SHEET NUMBER





2 EXISTING EXTERIOR ELEVATION - DRIVE SIDE  
SCALE:  $\frac{1}{4}" = 1'-0"$



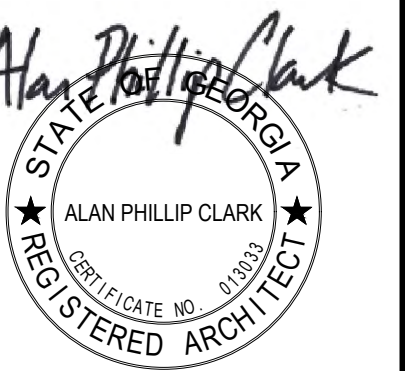
1 EXISTING EXTERIOR ELEVATION - FRONT  
SCALE:  $\frac{1}{4}" = 1'-0"$

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1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING EXTERIOR ELEVATIONS

AB-6  
SHEET NUMBER





2 EXISTING EXTERIOR ELEVATION - SIDE YARD  
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - REAR  
SCALE: 1/4" = 1'-0"

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ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING EXTERIOR ELEVATIONS

**AB-7**  
SHEET NUMBER



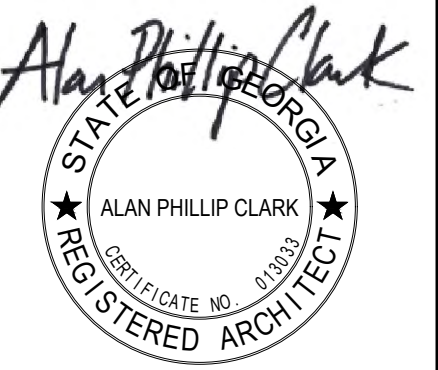


# 1036 OXFORD ROAD RECENT PHOTOGRAPHS (OCT/NOV 2025)

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A RENOVATION FOR  
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1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE	11/24/2025
DRAWN BY	APC/WAC
JOB NUMBER	0281
SHEET NAME	EXISTING PHOTOGRAPHS
<b>AB-8</b>	SHEET NUMBER



**A-0**

SHEET NUMBER



GENERAL NOTES

1. EXISTING WOOD STUD WALL

2. NEW 2 x 4 & 2 x 6 WOOD STUD WALL

3. NEW BRICK VENEER

4. NEW STONE VENEER

5. ALL DIMENSIONS ARE PLUS OR MINUS

6. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS

7. FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

EXHAUST FAN

GROUND FAULT INTERRUPTER

SQUARE FOOTAGE

HEATED AREA

FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

TOTAL HEATED

UNHEATED

FRONT STOOP

POOL DECK

PATIO

BALCONY

UNFINISHED ATTIC

BASEMENT

TOTAL UNHEATED

TOTAL OVERALL (HEATED + UNHEATED)

REVISIONS

DATE

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ALAN PHILLIP CLARK  
STATE OF GEORGIA  
REGISTERED ARCHITECT  
CERTIFICATE NO. 11953

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A RENO VATION FOR  
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1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE 11/24/2025

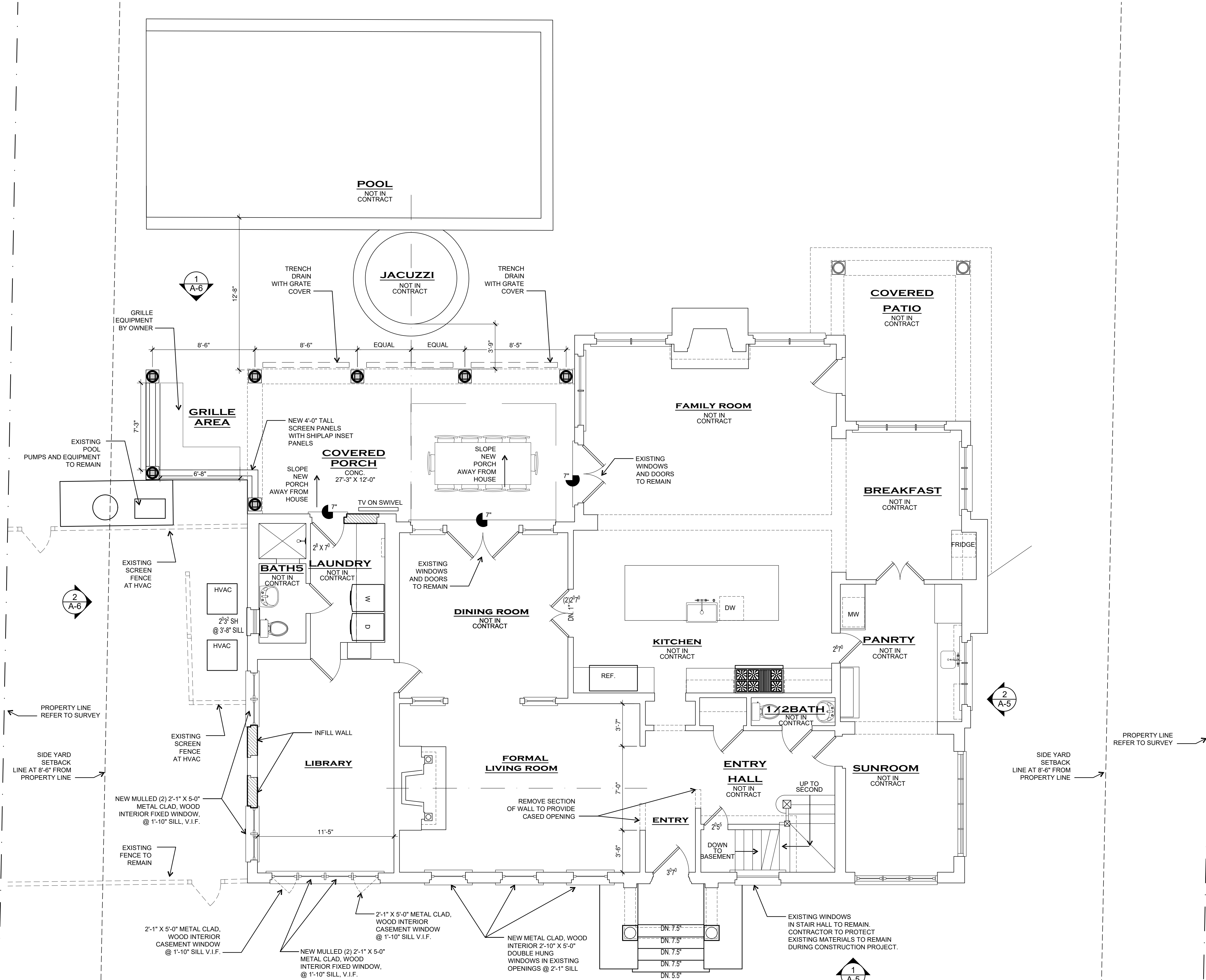
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JOB NUMBER 0281

SHEET NAME PROPOSED  
MAIN FLOOR PLAN

A-1

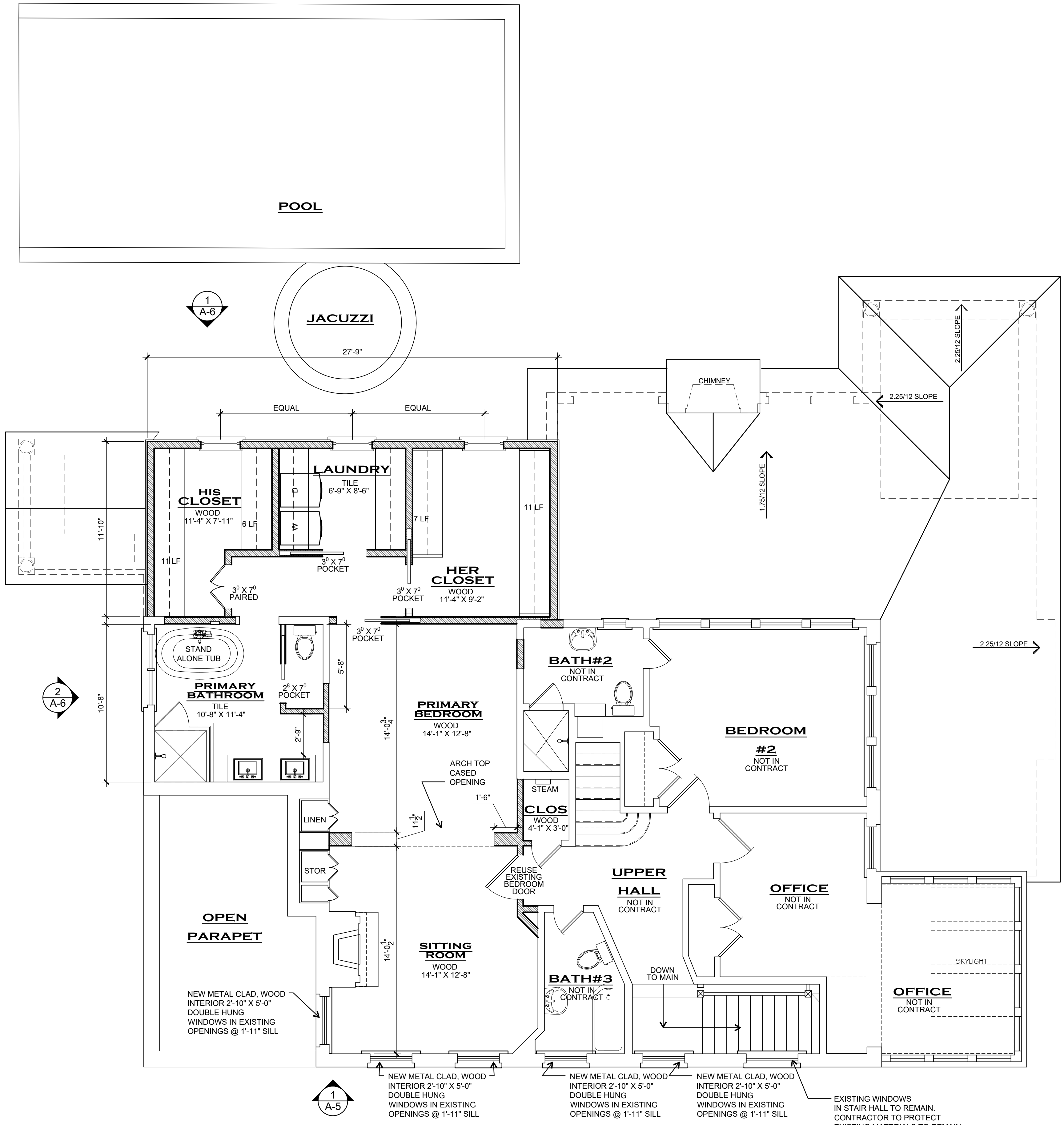
SHEET NUMBER



1 PROPOSED MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

GENERAL NOTES

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2. NEW 2 x 4 & 2 x 6 WOOD STUD WALL

3. NEW BRICK VENEER

4. NEW STONE VENEER

5. ALL DIMENSIONS ARE PLUS OR MINUS

6. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS

7. FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

EXHAUST FAN

GROUND FAULT INTERRUPTER

SQUARE FOOTAGE

HEATED AREA

FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

TOTAL HEATED

UNHEATED

FRONT STOOP

POOL DECK

PATIO

BALCONY

UNFINISHED ATTIC

BASEMENT

TOTAL UNHEATED

TOTAL OVERALL (HEATED + UNHEATED)

2,283

1,444

603

4,330

85 S.F.

260 S.F.

188 S.F.

259 S.F.

160 S.F.

463 S.F.

1,415 S.F.

5,745 S.F.

REVISIONS

DATE

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A RENOVATION FOR  
ROWLAND FAMILY  
1036 OXFORD ROAD NE  
ATLANTA GEORGIA 30306

DATE

11/24/2025

DRAWN BY

APC/WAC

JOB NUMBER

0281

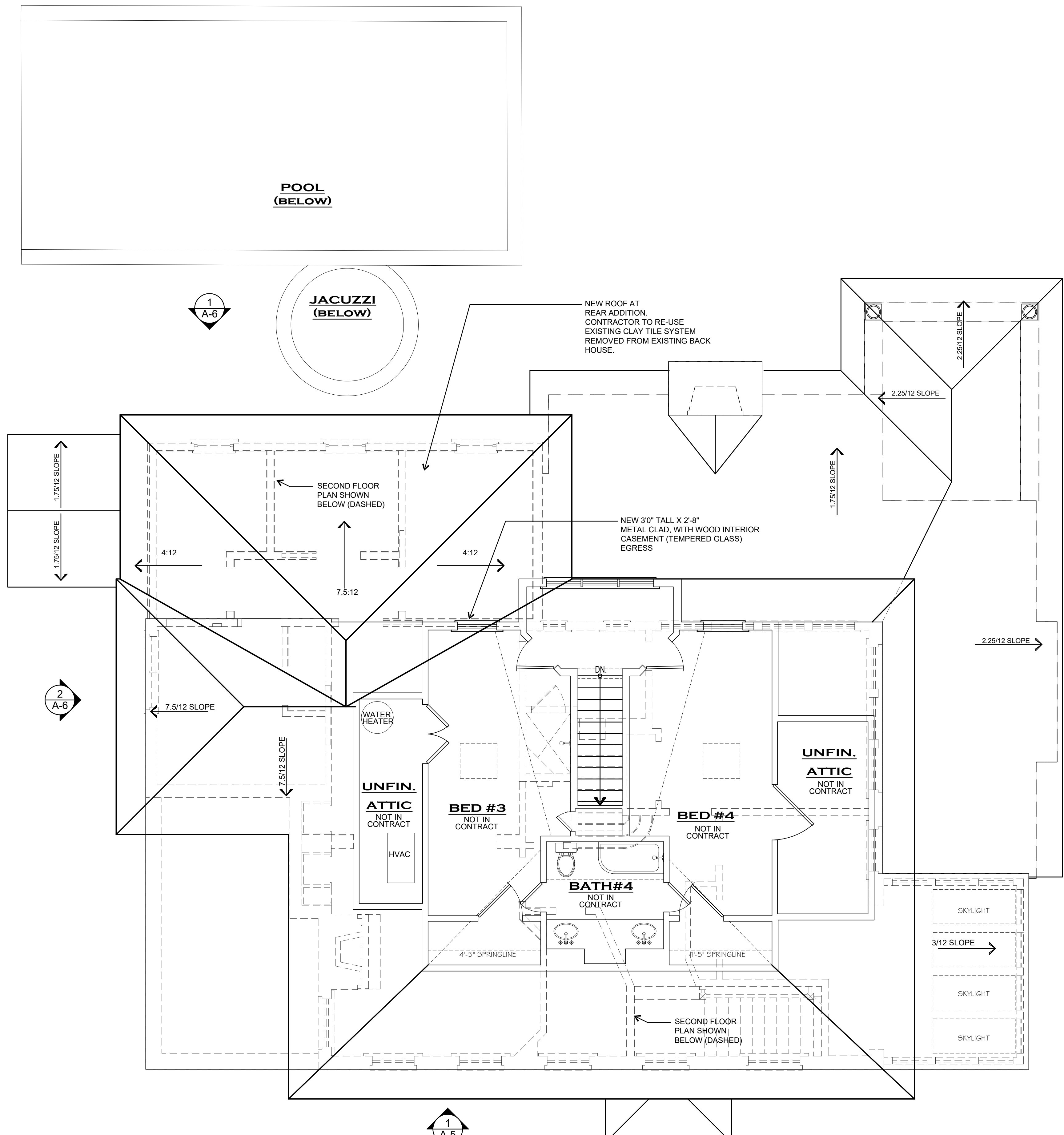
SHEET NAME

SECOND FLOOR PLAN

A-2

SHEET NUMBER





1 PROPOSED ATTIC PLAN  
SCALE: 3/4" = 1'-0"

GENERAL NOTES

- EXISTING WOOD STUD WALL
- NEW 2 x 4 & 2 x 6 WOOD STUD WALL
- NEW BRICK VENEER
- NEW STONE VENEER
- ALL DIMENSIONS ARE PLUS OR MINUS
- CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS
- FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

SMOKE DETECTOR	SD
CARBON MONOXIDE DETECTOR	CM
EXHAUST FAN	F
GROUND FAULT INTERRUPTER	GFI

SQUARE FOOTAGE

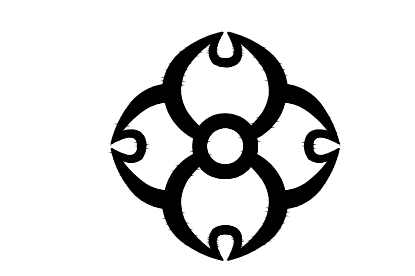
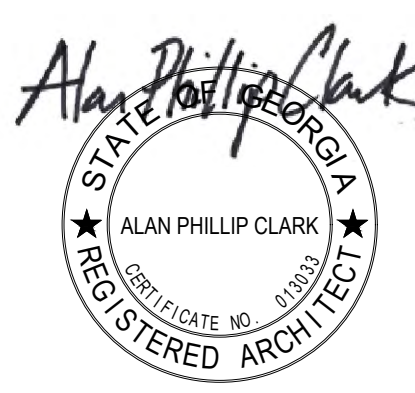
HEATED AREA	2,283
FIRST FLOOR	1,444
SECOND FLOOR	603
THIRD FLOOR	
TOTAL HEATED	4,330
UNHEATED	
FRONT STOOP	85 S.F.
POOL DECK	260 S.F.
PATIO	188 S.F.
BALCONY	259 S.F.
UNFINISHED ATTIC	160 S.F.
BASEMENT	463 S.F.
TOTAL UNHEATED	1,415 S.F.
TOTAL OVERALL (HEATED + UNHEATED)	5,745 S.F.

REVISIONS	DATE

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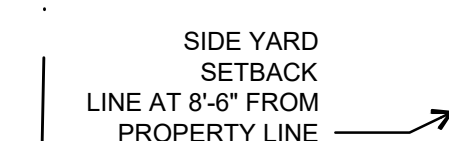
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SHEET NAME	ATTIC LEVEL PLAN

A-3  
SHEET NUMBER



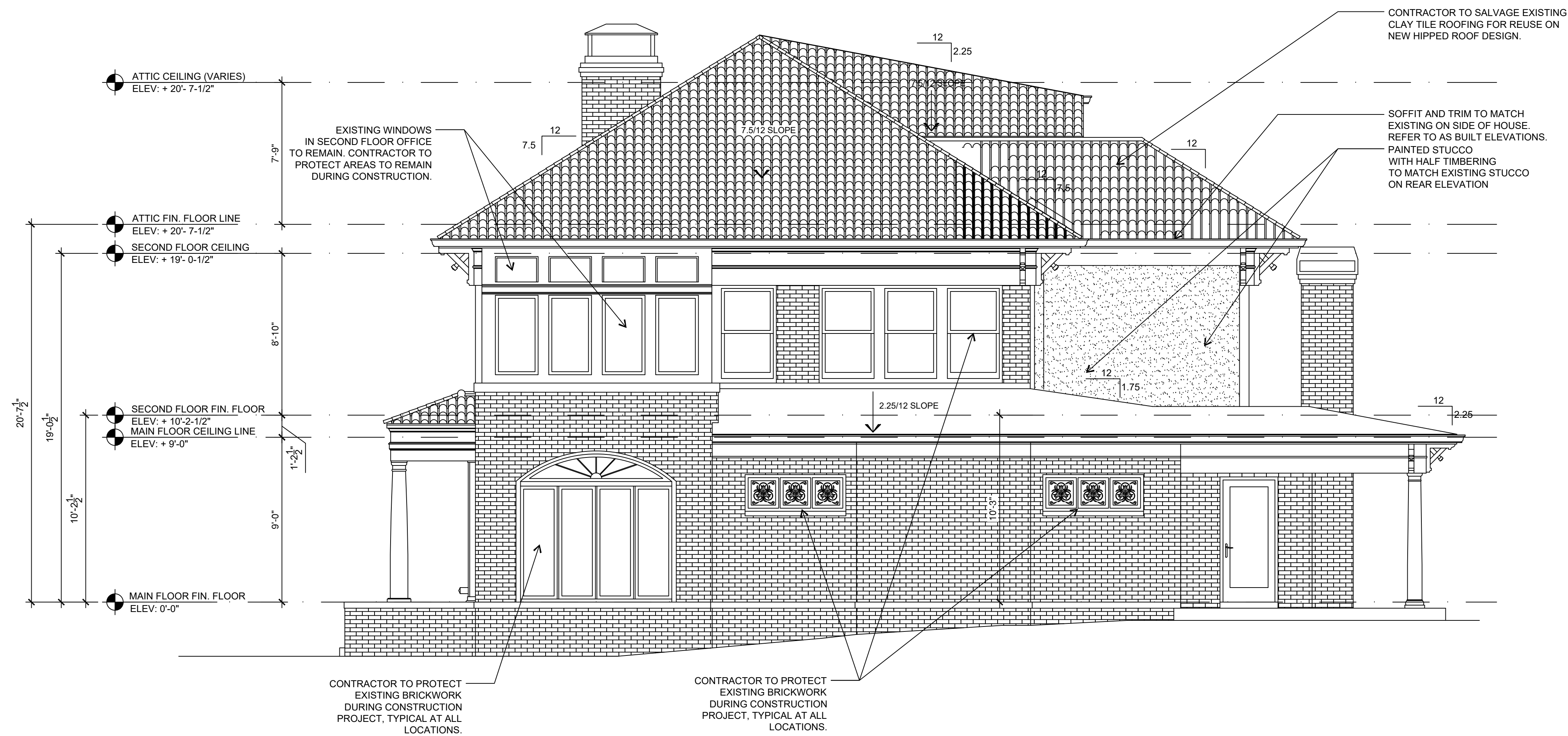


SCALE:  $\frac{1}{4}" = 1'-0"$

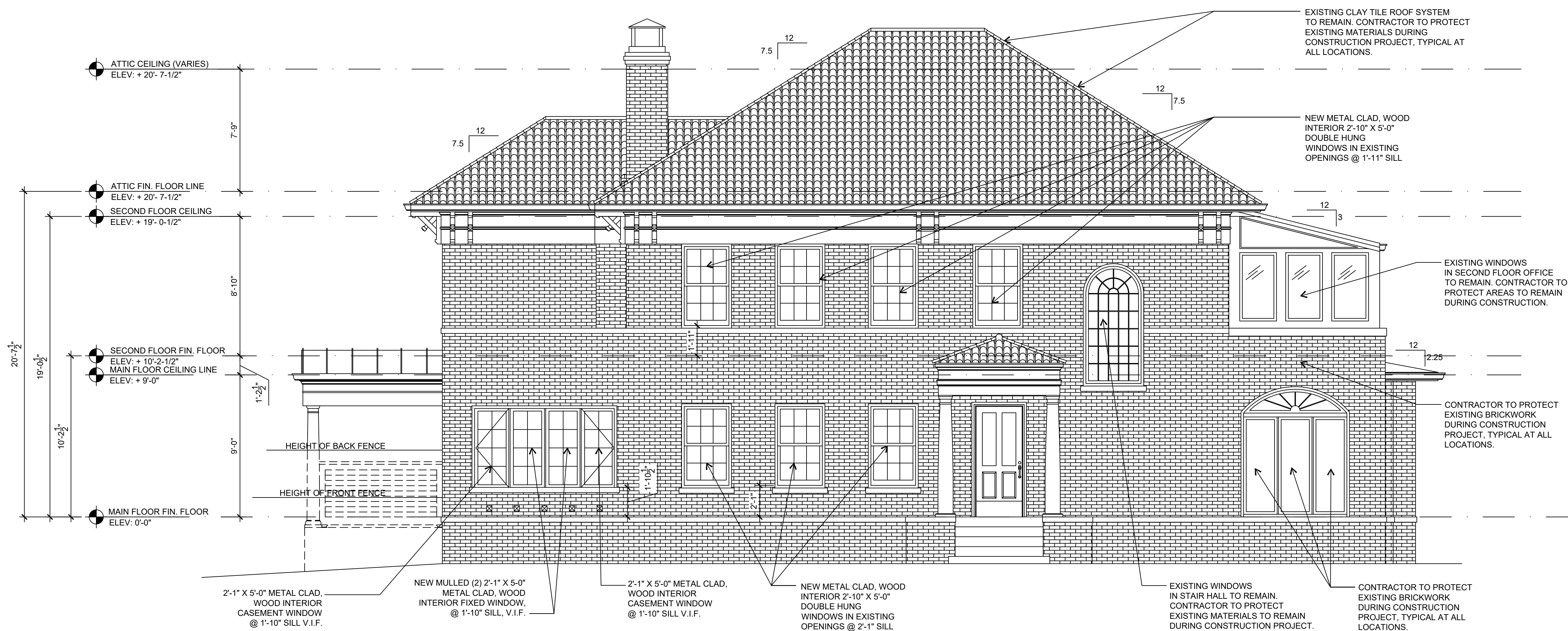
SHEET NUMBER

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2 PROPOSED EXTERIOR ELEVATION - DRIVE SIDE  
SCALE: 1/4" = 1'-0"



1 PROPOSED EXTERIOR ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"

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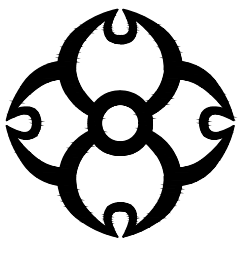
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*Alan Phillip Clark*  
STATE OF GEORGIA  
★ ALAN PHILLIP CLARK ★  
REGISTERED ARCHITECT  
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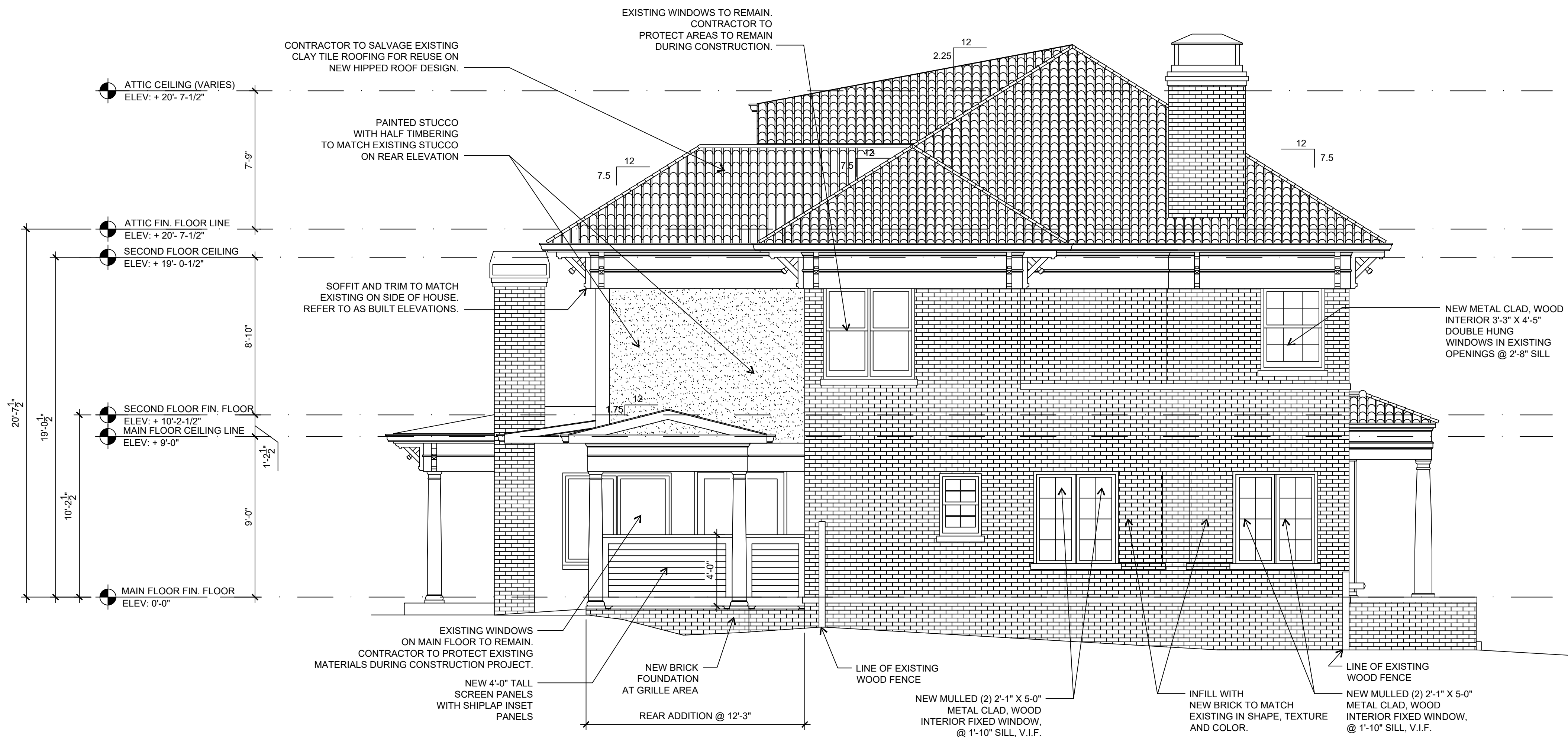
  
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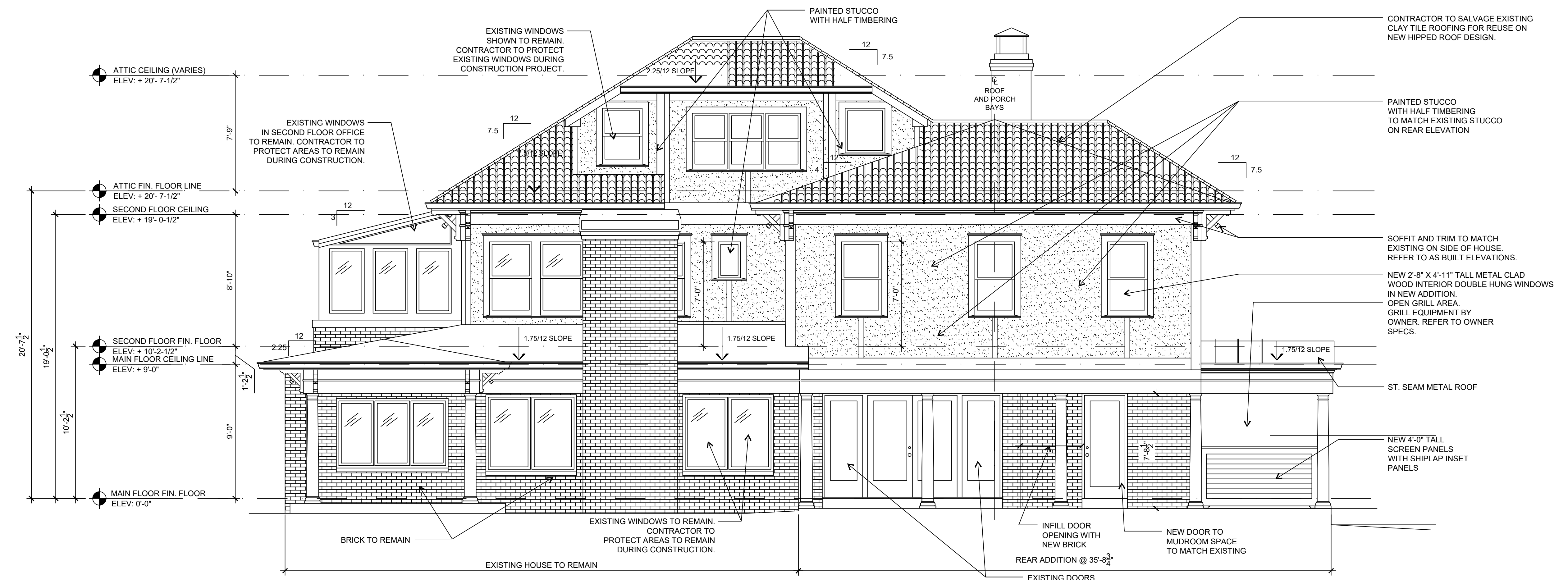
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JOB NUMBER	0281
SHEET NAME	PROPOSED FRONT EXT. ELEVATION

**A-5**  
SHEET NUMBER





2 PROPOSED EXTERIOR ELEVATION - SIDE YARD  
SCALE: 1/4" = 1'-0"



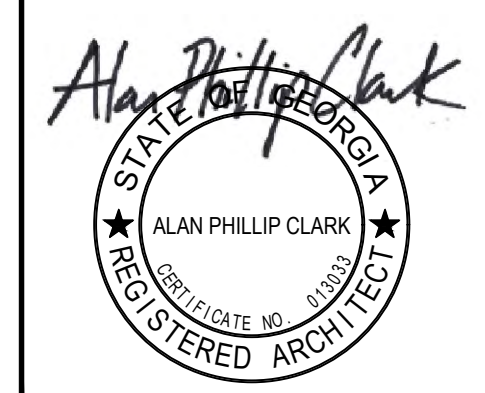
1 PROPOSED EXTERIOR ELEVATION - REAR ELEVATION  
SCALE: 1/4" = 1'-0"

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SHEET NAME	PROPOSED FRONT EXT. ELEVATION

A-6  
SHEET NUMBER