

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted: October 23, 2025

Date Received: _____

Address of Subject Property: 1042 Lullwater Rd., Atlanta, GA 30307

Applicant: Michael DeCarlo, DeCarlo Hawker Architects E-Mail: mike@decarlohawker.com

Applicant Mailing Address: 2470 Hosea L. Williams Drive, Atlanta, GA 30317

Applicant Phone: 678-595-9002

Applicant's relationship to the owner: Owner ☐ Architect ☒ Contractor/Builder ☐ Other ☐

Owner(s): Scott Shuman Email: scott.shuman@agg.com

Owner(s): Kimberly Shuman Email: theshuman.family@gmail.com

Owner(s) Mailing Address: 1042 Lullwater Rd., Atlanta, GA 30307

Owner(s) Telephone Number: 404-271-0566

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 1926

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input checked="" type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input checked="" type="checkbox"/>	Landscaping	<input checked="" type="checkbox"/>	Other Environmental Changes	<input checked="" type="checkbox"/>
Addition	<input type="checkbox"/>	Fence/Wall	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

- Construct a new detached Guest House & Garage building behind the existing historic home.
- Demolish the existing non-historic guest house (early 1970's), non-historic carport (1980's or 1990's), and non-historic pool in the back yard.
- Implement a new landscape design, primarily in the rear and side yards of the house (new site walls, hardscapes, and plantings).
- Reconfigure the existing driveway in the back yard and widen the existing layout in the front yard.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pvjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____

M De Carlo

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Scott Shuman
being owner(s) of the property at: 1042 Lullwater Rd., Atlanta, GA 30307
hereby delegate authority to: Michael DeCarlo
to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): Scott Shuman
Date: Oct 22, 2025

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



DeKalb County
G E O R G I A

Government Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

DEPARTMENT OF PLANNING & SUSTAINABILITY

DEKALB COUNTY HISTORIC PRESERVATION COMMISSION
2025 Calendar

This calendar is subject to change. Please visit the Department of Planning and Sustainability website for the current calendar, agenda, and applications.

<u>Applications Accepted</u>	<u>Filing Deadline</u>	<u>Sign Must Be Posted</u>	<u>HPC Meeting Date</u>	<u>Last Date to File Appeal (approximate)</u>
December 16	December 30	January 10	January 21	February 5
January 13	January 27	February 7	February 18	March 5
February 10	February 24	March 7	March 18	April 2
March 10	March 24	April 11	April 21	May 6
April 7	April 28	May 9	May 19	June 3
May 12	May 26	June 6	June 16	July 2
June 9	June 23	July 11	July 21	August 5
July 14	July 28	August 8	August 18	September 2
August 11	August 25	September 5	September 15	September 30
September 8	September 22	October 10	October 20	November 4
October 13	October 27	November 7	November 17	December 2
November 10	November 24	December 5	December 15	January 2
December 15	December 29	January 9	January 20	February 5

Tuesday meeting due to holiday

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by emailing **plansustain@dekalbcountyga.gov** AND **pvjennings@dekalbcountyga.gov**.
2. Complete and submit the application via email. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3(HPC Calendar). **Email the application and supporting documents to plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov**. If all documents are not provided the application will not be complete and will not be accepted.
3. Once the application has been received, the Administrative Specialist for the Department of Planning and Sustainability will provide a sign template and instructions on how to post the required signage on the property at least ten days before the preservation commission meeting. If the applicant does not post the required signage and provide evidence of posting within ten days before the preservation commission meeting, their application may be deferred or denied due to improper public notification.
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.



DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945 or via e-mail at pvjennings@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale



10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.

DETACHED GARAGE & GUEST HOUSE ADDITION TO THE SHUMAN RESIDENCE

DECARLO
HAWKER

ARCHITECTURE & DESIGN
2470 H.L. WILLIAMS DRIVE NE
ATLANTA, GEORGIA 30317
TELEPHONE: 678-595-9002
www.decarlohawker.com



23 OCT 2025 CERT. OF APPROPRIATENESS

SHUMAN RESIDENCE

ADDITION & RENOVATION

1042 LULLWATER RD.
ATLANTA, GA 30307

JOB NO. 2515

TITLE SHEET CODE INFO

T1.1

NOT RELEASED FOR CONSTRUCTION

PROJECT DESCRIPTION:

- Construct a new detached Guest House & Garage building behind the existing historic home.
- Demolish the existing non-historic guest house, non-historic carport, and non-historic pool in the back yard.
- Implement a new landscape design, primarily in the rear and side yards of the house (new site walls, hardscapes, and plantings).
- Reconfigure the existing driveway in the back yard and widen the existing layout in the front yard.

APPLICABLE CODES:

- International Building Code, 2018 Edition, with Georgia Amendments (2020) (2022) (2024) (2025)
- International Fire Code, 2018 Edition
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020) (2022) (2023) (2024)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020) (2024)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020) (2022)
- National Electrical Code, 2023 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020) (2022) (2023)
- International Swimming Pool and Spa Code, 2018 Edition with Georgia Amendments (2020)

PROJECT GENERAL NOTES:

- Construction drawings are to show conformity to building codes and for architectural design information only. General Contractor is responsible for all final material selections and for coordination and oversight of construction process.
- Construction shall meet the requirements of all applicable building codes including any product, drawings, or specifications not provided within the scope of this drawing set.
- Construction and installation shall follow all manufacturer guidelines and recommendations, including those needed for warranties.
- All existing conditions and dimensions shall be field verified prior to commencement of construction. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.
- Dimensions noted on drawings shall take precedence over scaled dimensions.
- General Contractor is responsible for verifying engineering issues meet all applicable codes, including structural, electrical, HVAC, and plumbing work. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.

CODE INFORMATION:

Project Address: 1042 Lullwater Road
Atlanta, GA 30307

Zoning: R-35
Druid Hills Historic District

Occupancy: R-3, Single-Family Res.

Construction Type: Type VB

Site Area: 58,833 s.f.

Building Height: Main house (existing - historic): 27'-1 3/4", 2 stories + basement (existing - no change)

New Garage & Guest house 18'-3 1/2", 1 story
(Complies with 24'-0" max. for accessory structure)

(All building heights measured from front door threshold to top of highest roof peak per Zoning Code)

Building Area:	MAIN HOUSE		
	Existing:	New:	Total:
Main house (ground floor):	1,612 s.f.	0 s.f.	1,612 s.f.
Main house (2nd floor):	1,391 s.f.	0 s.f.	1,391 s.f.
TOTAL	3,003 s.f.	0 s.f.	3,003 s.f.

(Complies with 1,800 s.f. min.)
(Main house square footage measured to interior face of exterior walls as per Zoning Code)

ACCESSORY STRUCTURE			
	Existing:	New:	Total:
Existing non-historic detached guest house (demo):	1,183 s.f.	-1,183 s.f.	0 s.f.
New detached garage	0 s.f.	0 s.f.	0 s.f.
New detached guest house	0 s.f.	+822 s.f.	822 s.f.
TOTAL	1,183 s.f.	-361 s.f.	822 s.f.

(Accessory area complies with 1,200 s.f. max.)
(Garage and accessory storage space does not count as zoning square footage as per Zoning Code)

(Accessory structure square footage measured to exterior face of exterior walls as per Zoning Code)

TOTAL ON PROPERTY			
	Existing:	New:	Total:
Main house	3,003 s.f.	0 s.f.	3,003 s.f.
Accessory structure	1,183 s.f.	-361 s.f.	822 s.f.
TOTAL	4,186 s.f.	-361 s.f.	3,825 s.f.

Lot Coverage: (See landscape drawings)

ARCHITECTURAL DRAWING INDEX:

T1.1	Title Sheet & Code Information
A0.1	Key Plan & Demolition Plan and Existing Photos
A1.1	Ground Floor Plan - Proposed
A1.2	Roof Plan - Proposed
A2.0	Exterior Elevations - Overall Proposed
A2.1	Exterior Elevations - Proposed
A2.2	Exterior Elevations - Proposed
A2.3	Exterior Elevations - Existing
A2.4	Exterior Elevations - Existing

L-CO	Landscape Cover Sheet
L-EX-1	Survey
L-EX-2	Existing Conditions - Site Photos
L-1.00	Site Plan
L-5.00	Materials
L-5.20	Wall Elevation
L-5.50	Gate & Fence Elevations

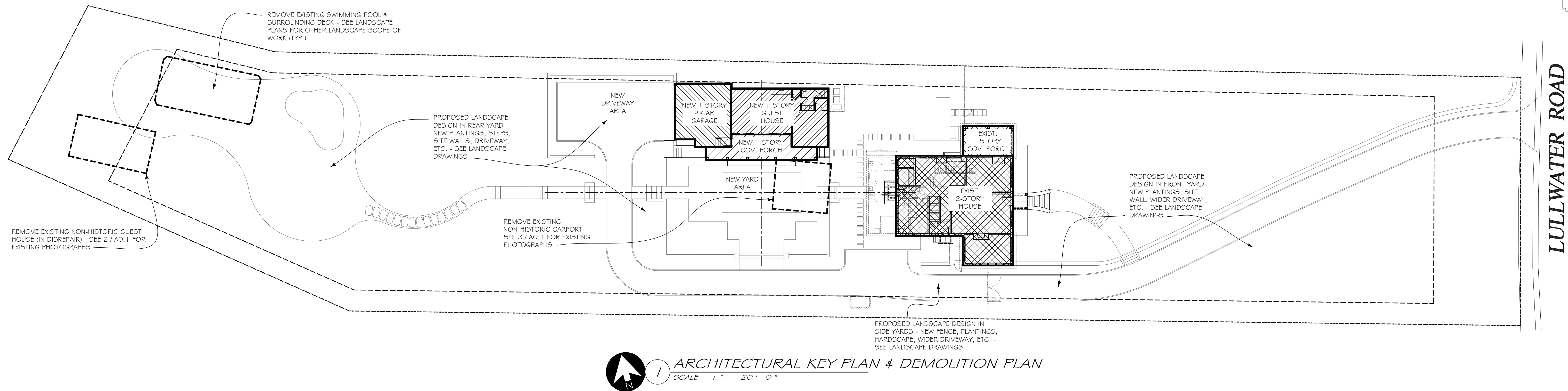
PROJECT CONTACTS:

OWNERS :
Scott & Kimberly Shuman
1042 Lullwater Road
Atlanta, GA 30307

ARCHITECT:
Mike DeCarlo
DeCarlo Hawker Architecture
2470 H. L. Williams Drive NE
Atlanta, GA 30317
(678) 595-9002
mike@decarlohawker.com

LANDSCAPE ARCHITECT:
Brian Field & Jacob Roberson
Field Landscape Architecture
(706) 461-6631 & (404) 428-2679
brian@fieldla.com & jacob@fieldla.com

GENERAL CONTRACTOR:
Dan Hanlon
Red Level Renovations
(404) 425-4325
dhanlon@red-level.com



2 EXISTING PHOTOGRAPHS - DEMO'D NON-HISTORIC GUEST HOUSE
SCALE: NO SCALE



3 EXISTING PHOTOGRAPHS - DEMO'D NON-HISTORIC CARPORT
SCALE: NO SCALE



FRONT



DRIVEWAY SIDE



REAR



SIDE

4 EXISTING PHOTOGRAPHS - EXISTING HOUSE TO REMAIN
SCALE: NO SCALE

23 OCT 2025 CERT. OF APPROPRIATENESS
13 JUN 2025 OWNER REVIEW

SHUMAN
RESIDENCE

ADDITION & RENOVATION
1042 LULLWATER RD.
ATLANTA, GA 30307

JOB NO. 2515

KEY PLAN &
DEMOLITION PLAN
- EXISTING PHOTOS

AO.1

NOT RELEASED FOR CONSTRUCTION

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23 OCT 2025 CERT. OF APPROPRIATENESS
10 JUL 2025 DIMENSIONS ADDED
13 JUN 2025 OWNER REVIEW

SHUMAN
RESIDENCE

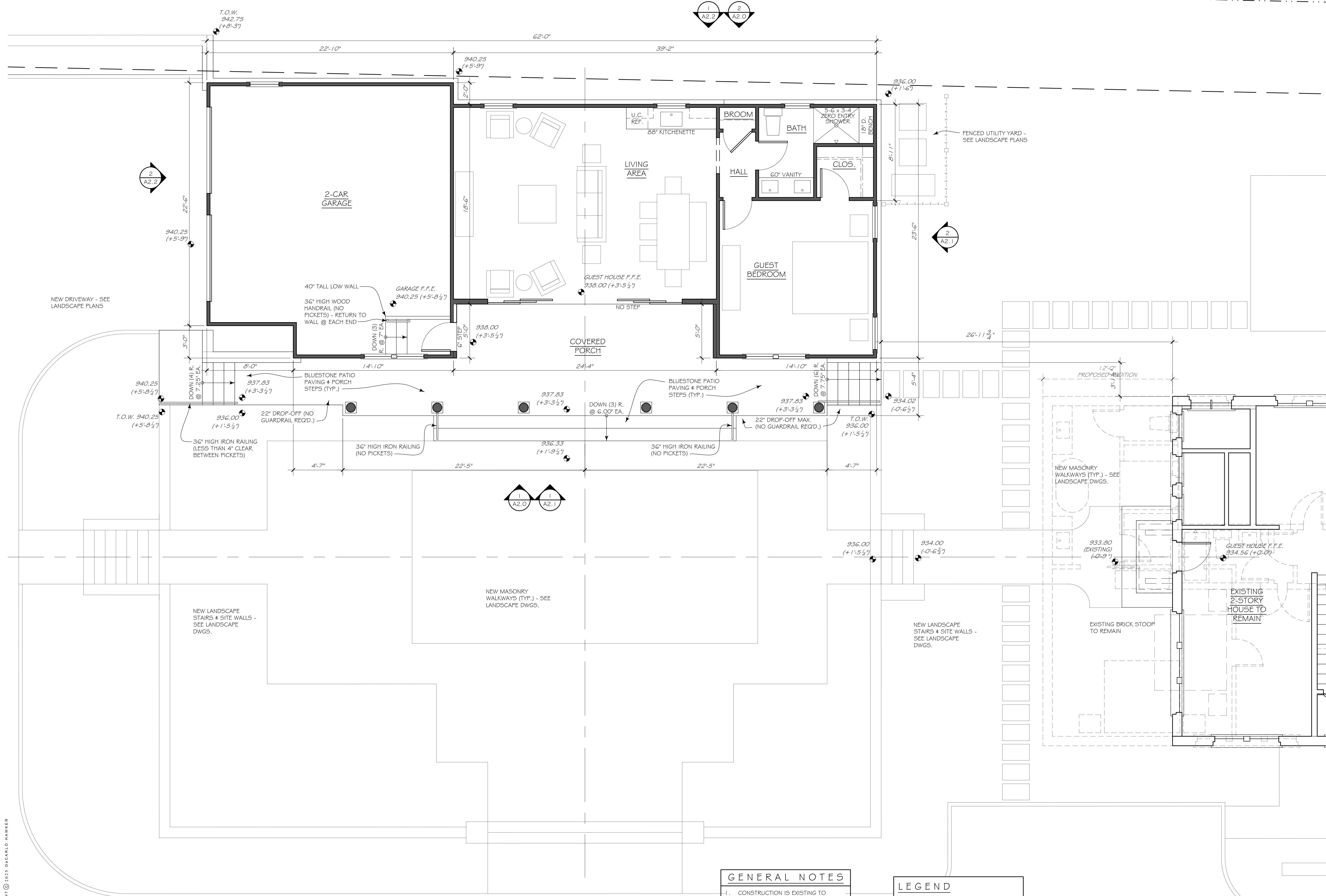
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1042 LULLWATER RD.
ATLANTA, GA 30307

JOB NO. 2515

GROUND FLOOR
PLAN - GARAGE &
GUEST HOUSE

A1.1

NOT RELEASED FOR CONSTRUCTION



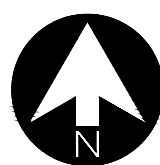
GENERAL NOTES

- CONSTRUCTION IS EXISTING TO REMAIN - UNLESS NOTED OTHERWISE.
- MATCH EXISTING DOOR & CASED OPENING HEIGHTS - UNLESS NOTED OTHERWISE.
- SEE EXTERIOR ELEVATIONS FOR EXTERIOR WINDOW & DOOR INFORMATION.

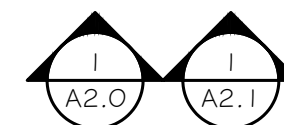
LEGEND

- EXISTING WOOD FRAMED WALL
- NEW WOOD FRAMED WALL - 2x4 @ 16" O.C.
- NEW BRICK VENEER WALL

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GROUND FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



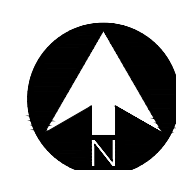
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ATLANTA, GA 30307

JOB NO. 2515

ROOF PLAN -
GARAGE &
GUEST HOUSE

A1.2

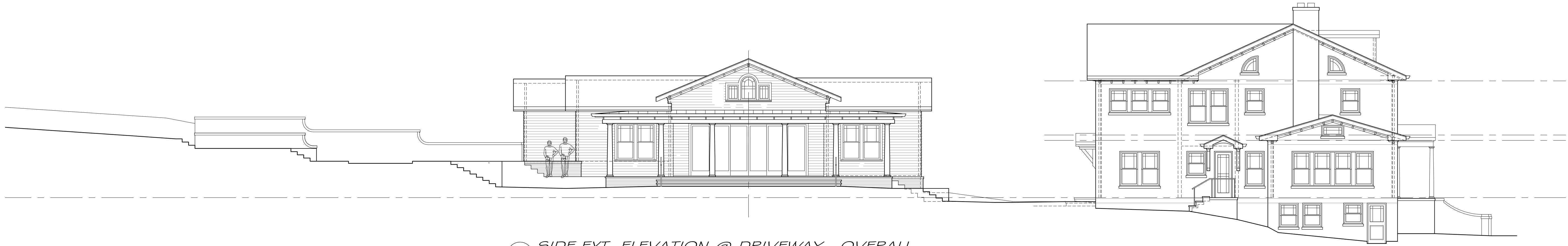
NOT RELEASED FOR CONSTRUCTION



ROOF PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

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1 SIDE EXT. ELEVATION @ DRIVEWAY - OVERALL
SCALE: 1/8" = 1'-0"

23 OCT 2025 CERT. OF APPROPRIATENESS
13 JUN 2025 OWNER REVIEW

SHUMAN
RESIDENCE

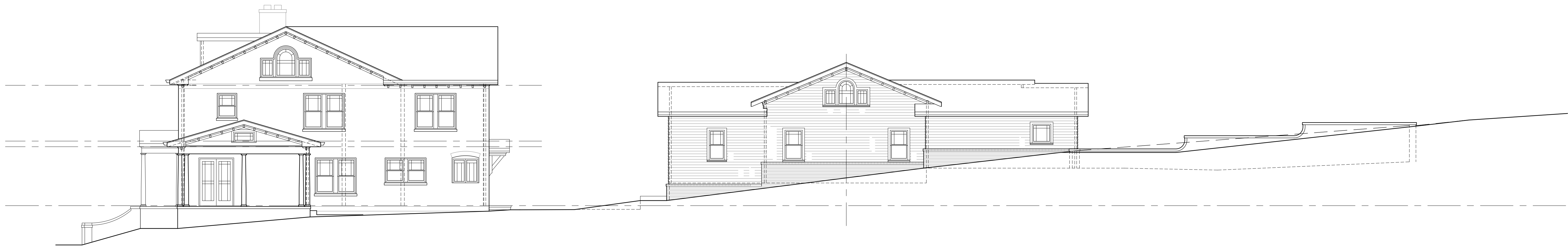
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JOB NO. 2515

EXTERIOR
ELEVATIONS
- OVERALL

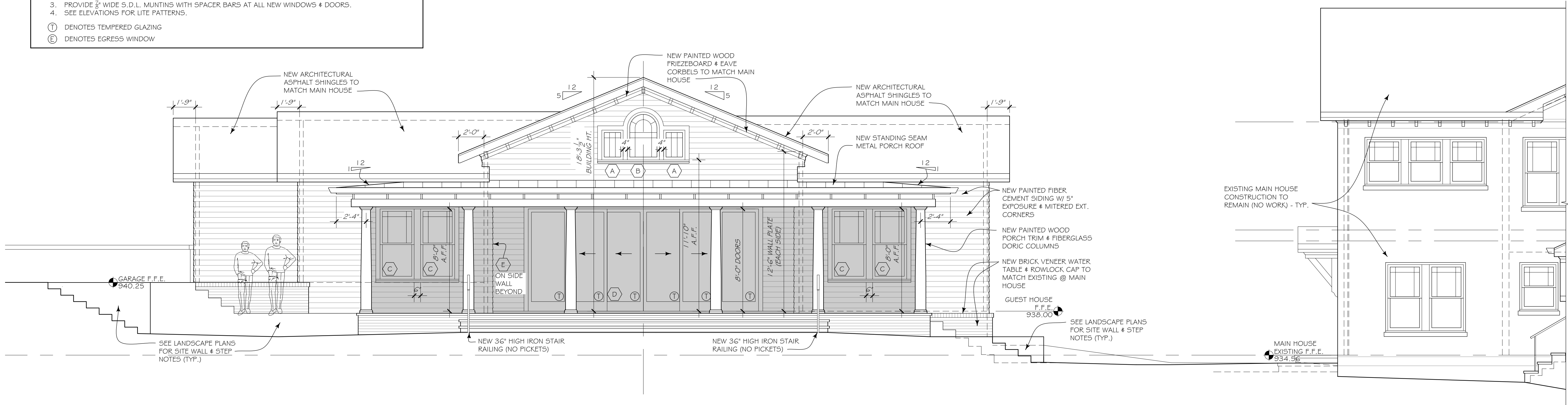
A2.0

NOT RELEASED FOR CONSTRUCTION

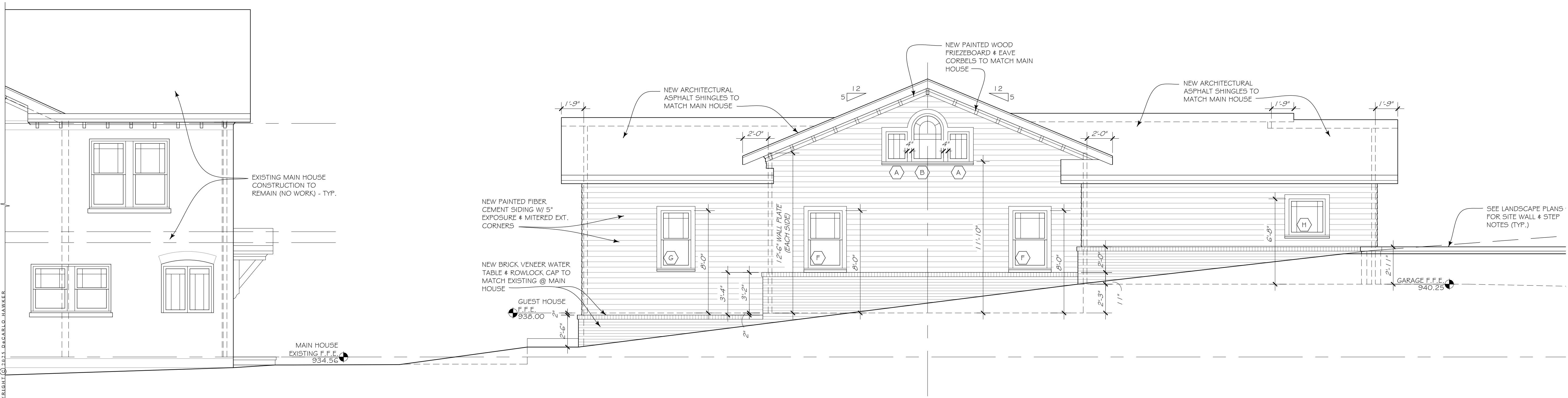


2 SIDE EXT. ELEVATION - OVERALL
SCALE: 1/8" = 1'-0"

WINDOW & EXT. DOOR SCHEDULE						
ITEM	WIDTH x HT. (SASH SIZE)	MATERIAL	QTY.	TYPE	LOCATION	NOTES
A	1'-10" W. x 2'-6" H. (UNIT SIZE)	PTD. WOOD	4	FIXED CASEMENT	GABLE END	
B	2'-8" W. x 3'-11" H. ARCH (UNIT SIZE)	PTD. WOOD	2	FIXED CASEMENT	GABLE END	
C	2'-8" x 5'-6" (SASH SIZE)	PTD. WOOD	4	DOUBLE-HUNG WINDOW	GARAGE & BR. @ PORCH	
D	1'-8"0" x 3'-0" (LEAF SIZE)	PTD. WOOD	1	6-PANEL FRENCH SLIDING DOOR	LIVING AREA @ PORCH	
E	2'-8" x 8'-0" (LEAF SIZE)	PTD. WOOD	1	1-PANEL EXT. DOOR	GARAGE @ PORCH	
F	2'-8" W. x 4'-6" H. (SASH SIZE)	PTD. WOOD	2	DOUBLE-HUNG WINDOW	LIVING AREA	
G	2'-4" W. x 4'-6" H. (SASH SIZE)	PTD. WOOD	1	DOUBLE-HUNG WINDOW	BATHROOM	
H	3'-0" W. x 3'-0" H. (UNIT SIZE)	PTD. WOOD	1	FIXED CASEMENT WINDOW	GARAGE	
J	3'-0" x 5'-6" (SASH SIZE)	PTD. WOOD	2	DOUBLE-HUNG WINDOW	BEDROOM	
K	8'-0" x 8'-0" (LEAF SIZE)	PTD. WOOD	2	OVERHEAD DOOR	GARAGE	GLAZED UPPER PANELS
NOTES:						
1. PROVIDE PAINTED WOOD UNITS WITH PAINTED INTERIORS AT ALL NEW WINDOWS & EXTERIOR DOORS (EXCEPT OVERHEAD DOORS) - JELD-WEN "SITELINE" OR EQUAL.						
2. PROVIDE DOUBLE-PANED, LOW-E GLAZING AT ALL NEW WINDOWS & DOORS.						
3. PROVIDE 5/8" WIDE S.D.L. MUNTINS WITH SPACER BARS AT ALL NEW WINDOWS & DOORS.						
4. SEE ELEVATIONS FOR LITE PATTERNS.						
T DENOTES TEMPERED GLAZING						
E DENOTES EGRESS WINDOW						



1 SIDE EXT. ELEVATION @ DRIVEWAY
SCALE: 1/4" = 1'-0"



2 SIDE EXT. ELEVATION
SCALE: 1/4" = 1'-0"

DeCarlo
Hawker

ARCHITECTURE & DESIGN
2470 W.L. WILLIAMS DRIVE NE
ATLANTA, GEORGIA 30317
TELEPHONE: 678-595-9002
www.decarlohawker.com

23 OCT 2025 CERT. OF APPROPRIATENESS
13 JUN 2025 OWNER REVIEW

SHUMAN
RESIDENCE

ADDITION & RENOVATION

1042 LULLWATER RD.
ATLANTA, GA 30307

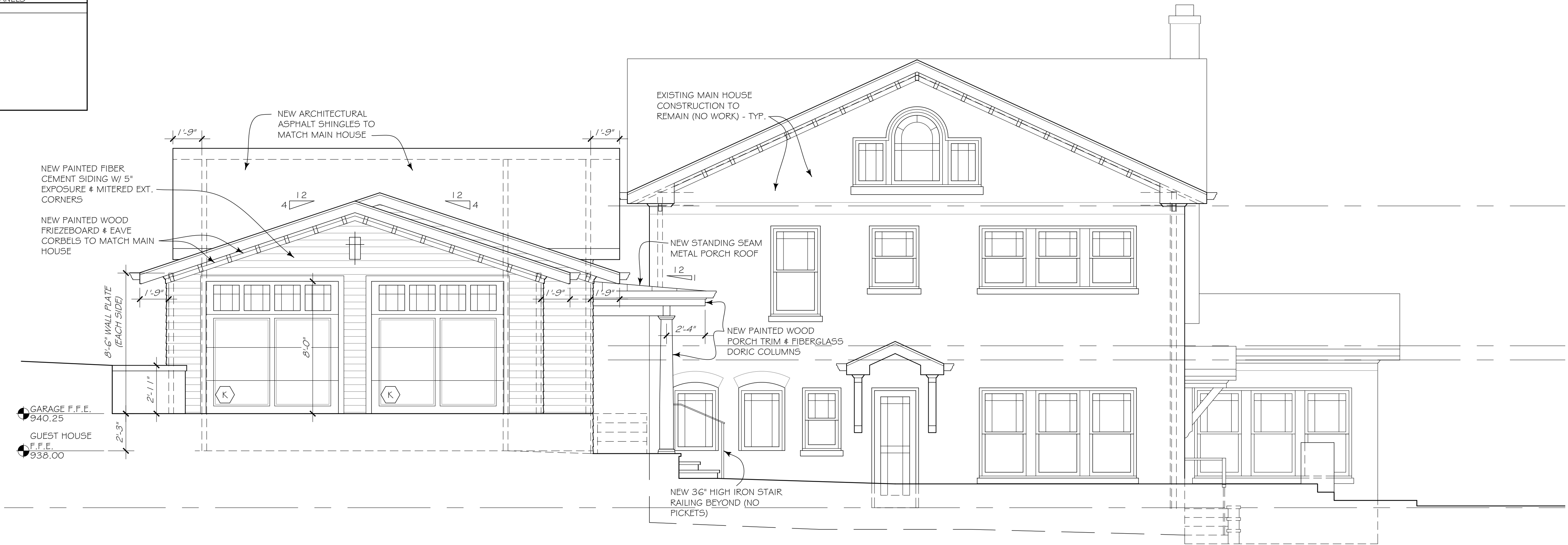
JOB NO. 2515

EXTERIOR
ELEVATIONS
- PROPOSED

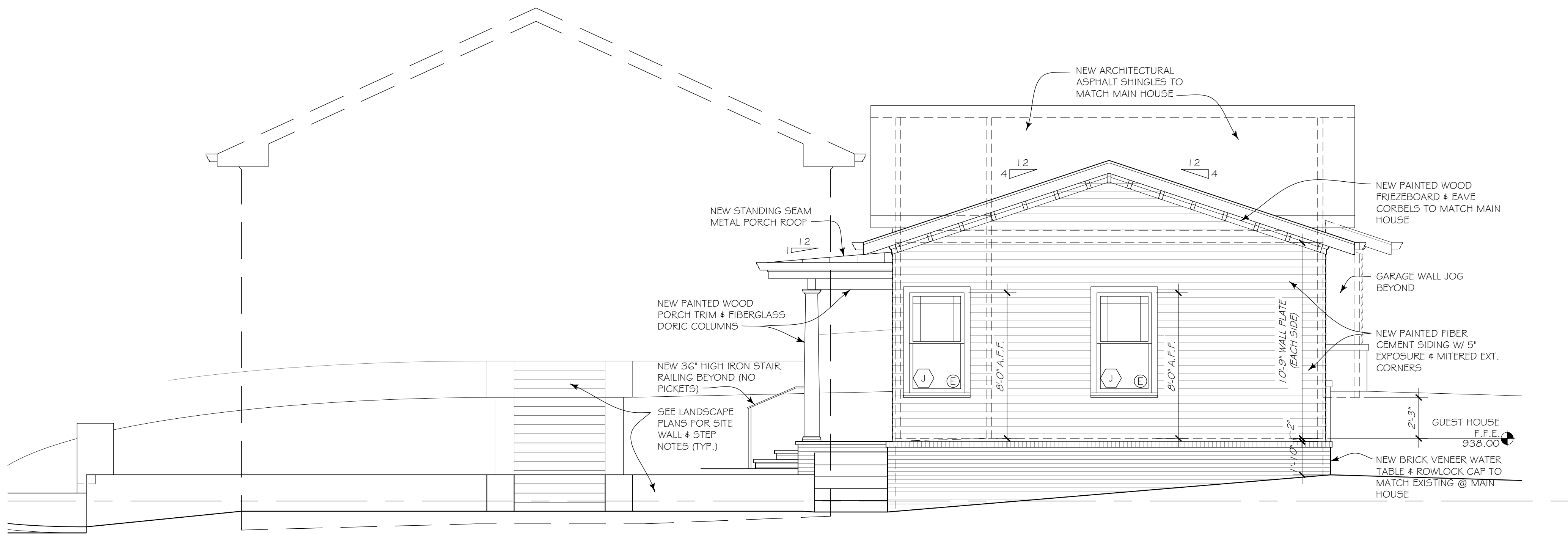
A2.1

NOT RELEASED FOR CONSTRUCTION

WINDOW & EXT. DOOR SCHEDULE						
ITEM	WIDTH x HT. (SASH SIZE)	MATERIAL	QTY.	TYPE	LOCATION	NOTES
A	1'-10" W. x 2'-6" H. (UNIT SIZE)	PTD. WOOD	4	FIXED CASEMENT	GABLE END	
B	2'-8" W. x 3'-11" H. ARCH (UNIT SIZE)	PTD. WOOD	2	FIXED CASEMENT	GABLE END	
C	2'-8" x 5'-6" (SASH SIZE)	PTD. WOOD	4	DOUBLE-HUNG WINDOW	GARAGE & BR. @ PORCH	
D	1'-8"0" x 3'-0" (LEAF SIZE)	PTD. WOOD	1	6-PANEL FRENCH SLIDING DOOR	LIVING AREA @ PORCH	
E	2'-8" x 8'-0" (LEAF SIZE)	PTD. WOOD	1	1-PANEL EXT. DOOR	GARAGE @ PORCH	
F	2'-8" W. x 4'-6" H. (SASH SIZE)	PTD. WOOD	2	DOUBLE-HUNG WINDOW	LIVING AREA	
G	2'-4" W. x 4'-6" H. (SASH SIZE)	PTD. WOOD	1	DOUBLE-HUNG WINDOW	BATHROOM	
H	3'-0" W. x 3'-0" H. (UNIT SIZE)	PTD. WOOD	1	FIXED CASEMENT WINDOW	GARAGE	
J	3'-0" x 5'-6" (SASH SIZE)	PTD. WOOD	2	DOUBLE-HUNG WINDOW	BEDROOM	
K	8'-0" x 8'-0" (LEAF SIZE)	PTD. WOOD	2	OVERHEAD DOOR	GARAGE	GLAZED UPPER PANELS
NOTES:						
1. PROVIDE PAINTED WOOD UNITS WITH PAINTED INTERIORS AT ALL NEW WINDOWS & EXTERIOR DOORS (EXCEPT OVERHEAD DOORS) - JELD-WEN "SITELINE" OR EQUAL.						
2. PROVIDE DOUBLE-PANED, LOW-E GLAZING AT ALL NEW WINDOWS & DOORS.						
3. PROVIDE 5/8" WIDE S.D.L. MUNTINS WITH SPACER BARS AT ALL NEW WINDOWS & DOORS.						
4. SEE ELEVATIONS FOR LITE PATTERNS.						
① DENOTES TEMPERED GLAZING						
⑤ DENOTES EGRESS WINDOW						



1 REAR EXT. ELEVATION
SCALE: 1/4" = 1'-0"



2 FRONT EXT. ELEVATION - GUEST HOUSE
SCALE: 1/4" = 1'-0"

SHUMAN
RESIDENCE

ADDITION & RENOVATION
1042 LULLWATER RD.
ATLANTA, GA 30307

JOB NO. 2515

EXTERIOR
ELEVATIONS
- PROPOSED

A2.2

DECARLO
HAWKER

ARCHITECTURE & DESIGN
2470 N.E. WILLIAMS DRIVE NE
ATLANTA, GEORGIA 30317
TELEPHONE: 678-595-9002
www.decarlohawker.com



1 *SIDE EXT. ELEVATION @ DRIVEWAY - EXISTING*
SCALE: 1/4" = 1'-0"

23 OCT 2025 CERT. OF APPROPRIATENESS
13 JUN 2025 OWNER REVIEW

SHUMAN
RESIDENCE

ADDITION & RENOVATION
1042 LULLWATER RD.
ATLANTA, GA 30307

JOB NO. 2515

EXTERIOR
ELEVATIONS
- EXISTING

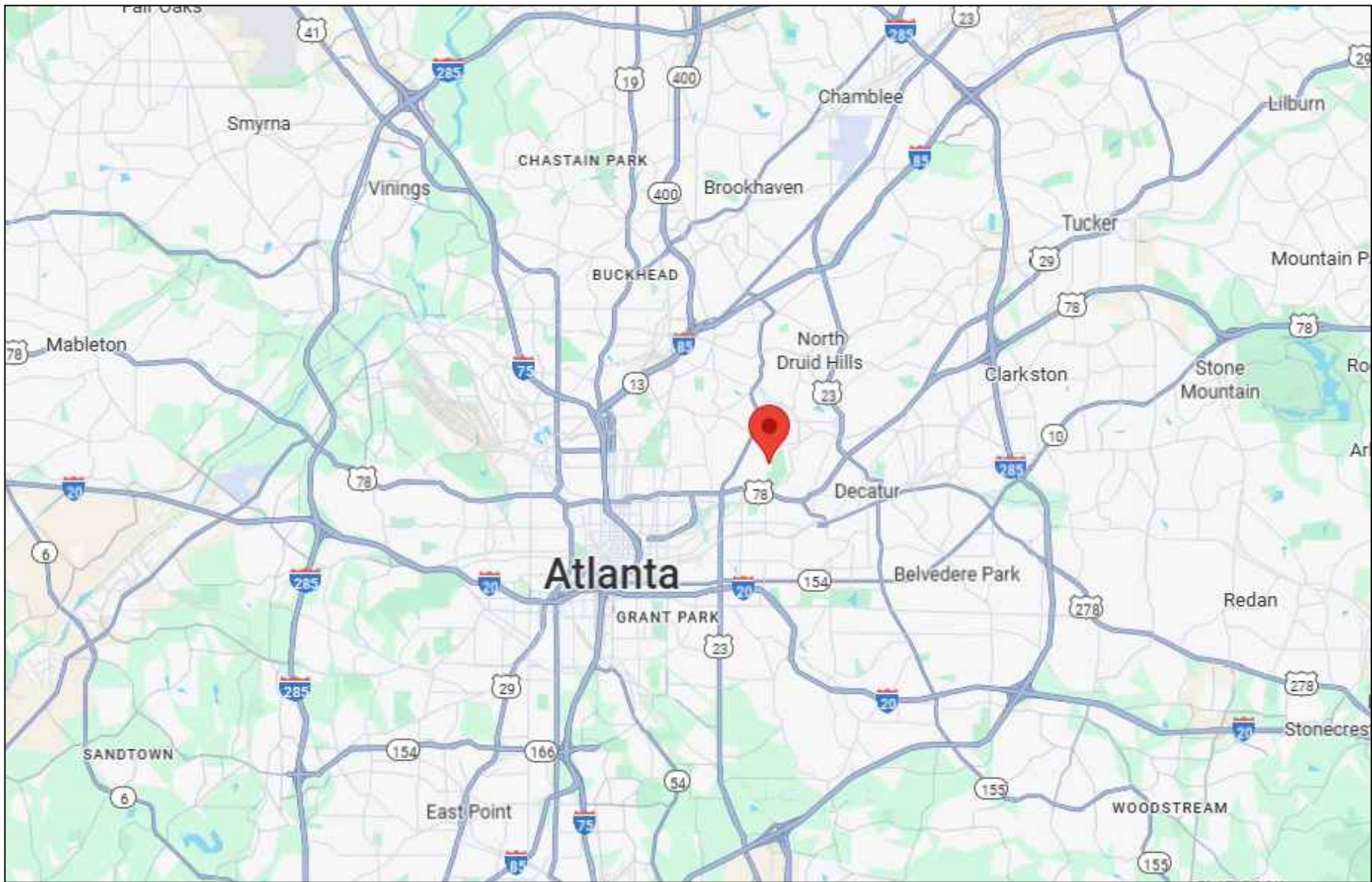
A2.3

NOT RELEASED FOR CONSTRUCTION



2 *SIDE EXT. ELEVATION - EXISTING*
SCALE: 1/4" = 1'-0"

3 *REAR EXT. ELEVATION - EXISTING*
SCALE: 1/4" = 1'-0"



VICINITY MAP / N.T.S.

LANDSCAPE ARCHITECT:
FIELD LANDSCAPE ARCHITECTURE
195 ARIZONA AVE LW04
ATLANTA, GA 30307
(706) 461 6631

GENERAL CONTRACTOR:
RED LEVEL RENOVATIONS, LLC
2025 TUXEDO AVE NE
ATLANTA, GA 30307
(404) 425 4325

ARCHITECT:
DECARLO HAWKER ARCHITECTURE & DESIGN
2470 HOSEA L WILLIAMS DR NE
ATLANTA, GA 30317
(678) 595 9002

SURVEYOR:
DEKALB SURVEYS
407 W PONCE DE LEON AVE #B
DECATUR, GA 30030
(404) 373 9003

STRUCTURAL ENGINEER:
STABILITY ENGINEERING, LLC
1376 CHURCH ST
DECATUR, GA 30030
(404) 377 9316

SHUMAN RESIDENCE

PERMIT DRAWINGS FOR SITE IMPROVEMENTS
FOR A FAMILY SINGLE FAMILY RESIDENCE LOCATED AT

1042 LULLWATER ROAD NE, ATLANTA, GA 30307

GENERAL SCOPE OF WORK:

DEMOLITION:
EXISTING PAVING
EXISTING CARPORT
EXISTING POOL
EXISTING POOL HOUSE

PROPOSED NEW CONSTRUCTION:
RETAINING WALLS
DRIVEWAY
PAVING
VEHICULAR & PEDESTRIAN GATE
FENCE

24 HR CONTACT:
RED LEVEL RENOVATIONS, LLC
(404) 425 4325

ZONING: R-85 (DRUID HILLS)
MINIMUM LOT SIZE: 18,000 SF
SETBACKS
FRONT: 35 FT
SIDE: 8.5 FT
REAR: 40 FT
MAX COVERAGE: 35%

LIST OF DRAWINGS:

1. L-CO - PERMIT COVER SHEET
2. L-EX-1 - SURVEY BY DEKALB SURVEYS
3. L-EX-2 - EXISTING SITE CONDITIONS
4. L-1.00 - COA PERMIT SITE PLAN
5. L-5.00 - MATERIALS
6. L-5.20 - WALL ELEVATION
7. L-5.50 - GATE + FENCE ELEVATIONS

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)(2022)(2024)(2025)
INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)(2024)
INTERNATIONAL FIRE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)(2022)(2023)(2024)
INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)(2024)
INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)(2022)
NATIONAL ELECTRICAL CODE, 2023 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)(2022)(2023)
NFPA 101 – LIFE SAFETY CODE, 2018 EDITION, WITH STATE AMENDMENTS (2020)
INTERNATIONAL SWIMMING POOL & SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
GEORGIA ACCESSIBILITY CODES
GEORGIA AMENDMENTS PRESCRIPTIVE DECK DETAILS BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE



Know what's below.
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PROJECT:
**SHUMAN
RESIDENCE**

1042 LULLWATER ROAD NE
ATLANTA, GA 30305

DRAWING TITLE:
PERMIT COVER SHEET

DRAWN BY: JR	CHECKED BY: BF
-----------------	-------------------

SCALE: N/A

RELEASES:
1. 10/27/25 COA REVIEW

SHEET:

L-CO



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PROJECT:
SHUMAN
RESIDENCE

1042 LULLWATER ROAD NE
ATLANTA, GA 30305

DRAWING TITLE:
SURVEY BY
DEKALB SURVEYS

DRAWN BY:
JR

CHECKED BY:
BF

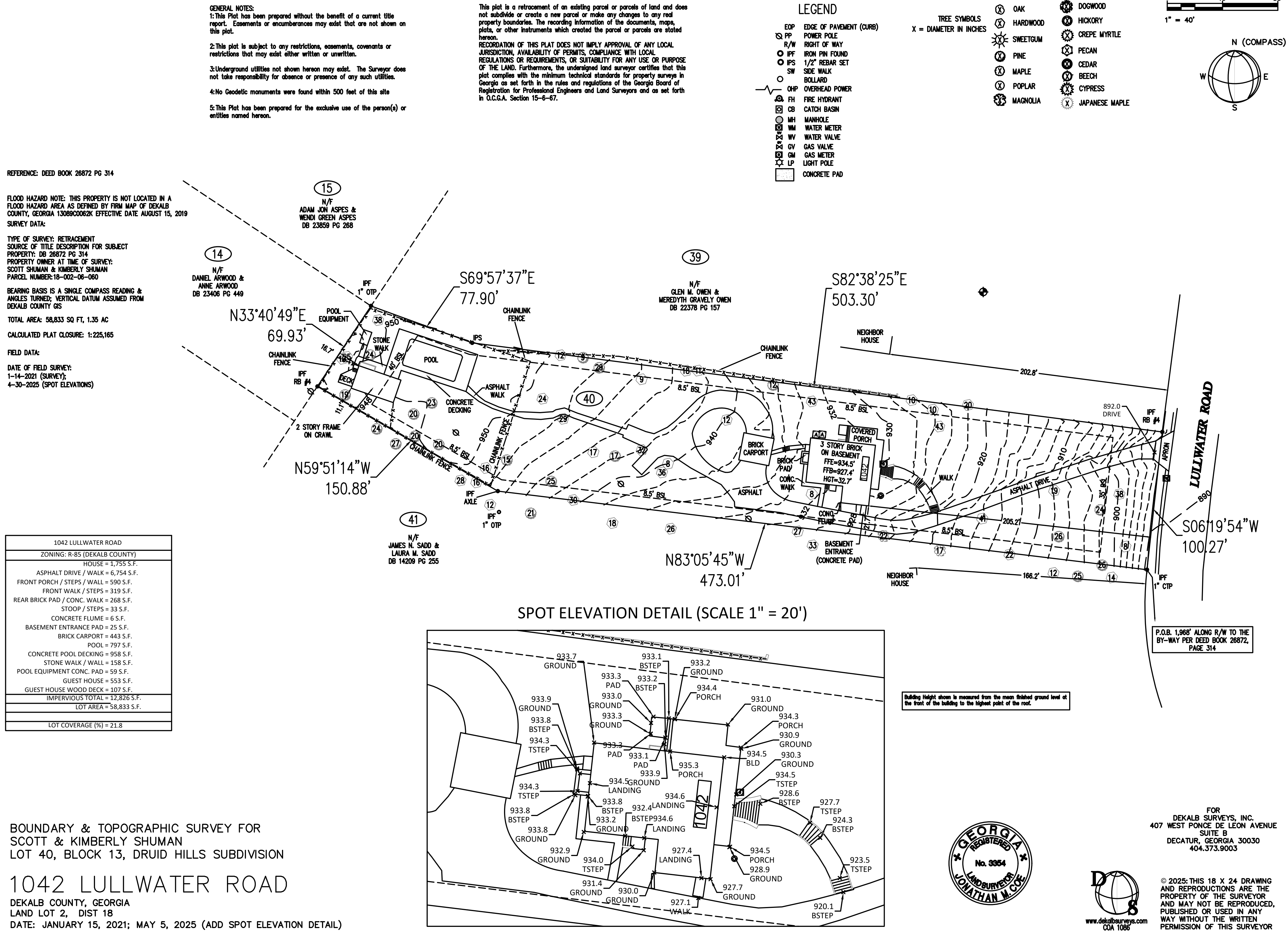
SCALE: 1" = 40'-0"

RELEASES:
1. 10/27/25 COA REVIEW

SHEET:

L-EX-1

JOB# 25-120.01





FRONT FACADE OF MAIN RESIDENCE FROM LULLWATER RD



ERODED SLOPE ALONG DRIVEWAY



FRONT FACADE AND ENTRY STEPS



REAR FACADE / NORTH SIDE OF MAIN RESIDENCE FACING STREET



REAR FACADE / NORTH SIDE OF MAIN RESIDENCE



REAR FACADE / SOUTH SIDE OF MAIN RESIDENCE



EXISTING POOL + POOL HOUSE



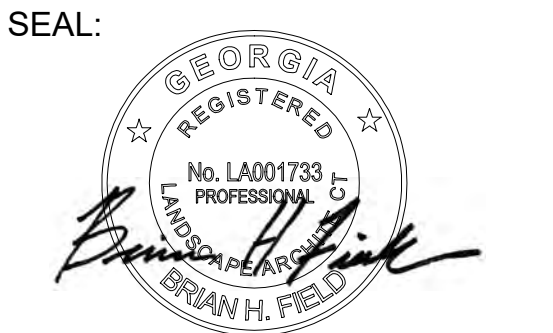
EXISTING EXPOSED AGGREGATE DRIVEWAY UNDER ASPHALT



EXISTING EXPOSED AGGREGATE DRIVEWAY UNDER ASPHALT



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PROJECT:
SHUMAN RESIDENCE

1042 LULLWATER ROAD NE
ATLANTA, GA 30305

DRAWING TITLE:
EXISTING SITE CONDITIONS

DRAWN BY: JR	CHECKED BY: BF
-----------------	-------------------

SCALE: N/A

RELEASES:
1. 10/27/25 COA REVIEW

SHEET:
L-EX-2

ZONING
R-85 (DRUID HILLS)
FRONT: 35 FT
SIDES: 8.5 FT
REAR: 40 FT
MAX LOT COVERAGE: 35%
MINIMUM LOT AREA: 18,000 SF (.413 AC)
TOTAL LOT AREA: 58,833 SF (1.35 AC)

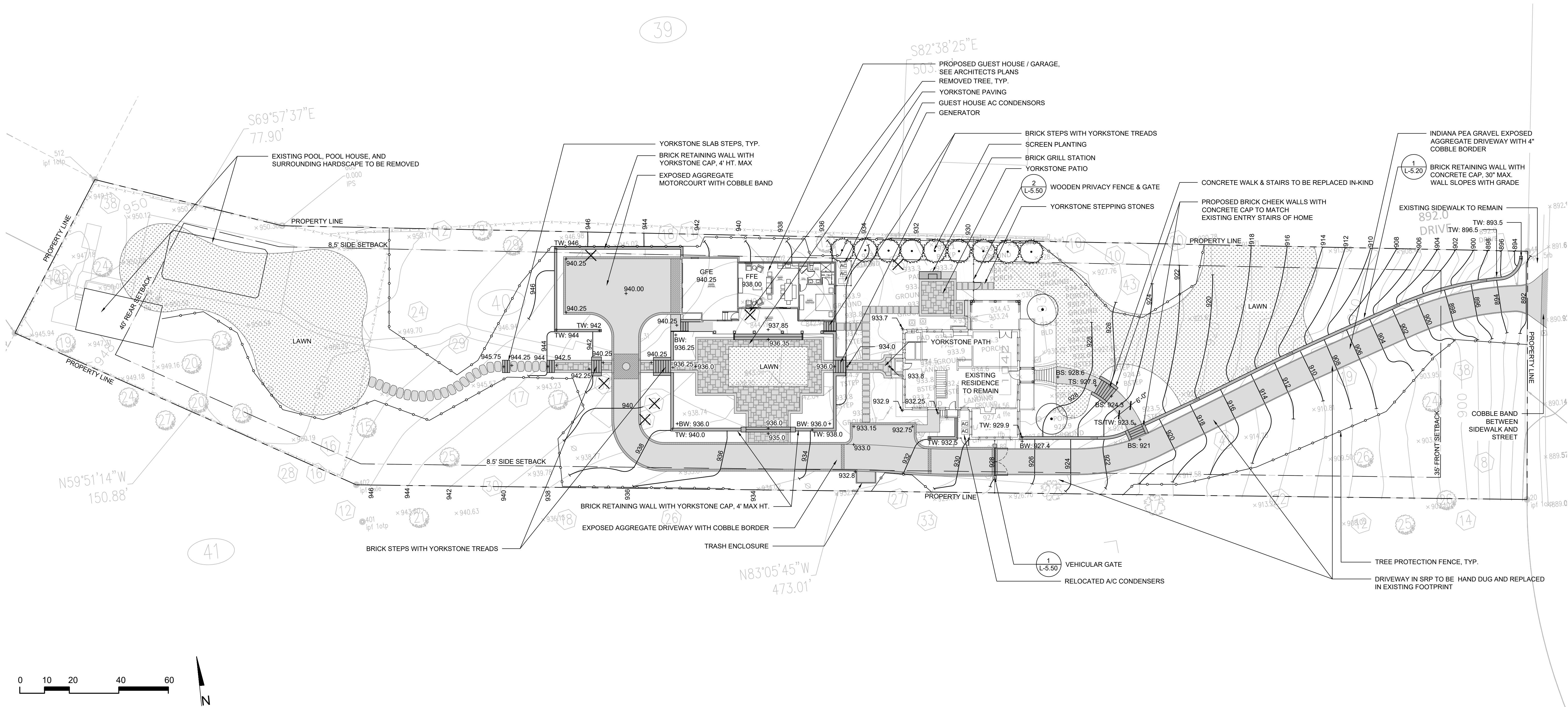
43" HARDWOOD
12" HARDWOOD
8" HARDWOOD
36" HARDWOOD
32" HARDWOOD

EXISTING IMPERVIOUS SURFACE	
RESIDENCE:	1,755 SF
ASPHALT DRIVE / WALK:	6,754 SF
FRONT PORCH / STEPS / WALL:	590 SF
FRONT WALK / STEPS:	319 SF
REAR BRICK PAD / CONC. WALK:	268 SF
STOOP / STEPS:	33 SF
CONCRETE FLUME:	25 SF
BASEMENT ENTRANCE PAD:	6 SF
BRICK CARPORT:	443 SF
POOL:	797 SF
CONCRETE POOL DECKING:	958 SF
STONE WALK / WALL:	158 SF
POOL EQUIPMENT CONC. PAD:	59 SF
GUEST HOUSE:	553 SF
GUEST HOUSE WOOD DECK:	107 SF
TOTAL EXISTING IMPERVIOUS:	12,626 SF

REMOVED IMPERIOUS SURFACE	
ASPHALT DRIVE / WALK:	6,754 SF
FRONT PORCH / STEPS / WALL:	42 SF
FRONT WALK / STEPS:	319 SF
REAR BRICK PAD / CONC. WALK:	286 SF
STOOP / STEPS:	33 SF
CONCRETE FLUME:	6 SF
BASEMENT ENTRANCE PAD:	25 SF
BRICK CARPORT:	443 SF
POOL:	797 SF
CONCRETE POOL DECKING:	958 SF
STONE WALK / WALL:	156 SF
POOL EQUIPMENT CONC. PAD:	59 SF
GUEST HOUSE:	553 SF
GUEST HOUSE WOOD DECK:	107 SF
TOTAL EXISTING IMPERIOUS REMOVED:	10,522 SF

NEW OR RENOVATED IMPERVIOUS SURFACE	
GUEST HOUSE:	1,773 SF
REAR WALKS / STEPS:	535 SF
REAR PATIOS / WALKS:	1,615 SF
STEPPING STONES:	422 SF
FRONT WALK:	320 SF
FRONT WALK / STEPS:	303 SF
DRIVEWAY:	6,147 SF
TRANS. ENCLOSURE PAD:	38 SF
TOTAL NEW OR RENOVATED IMPERVIOUS SURFACE:	11,005 SF
TOTAL LOT AREA:	58,833 SF
TOTAL EXISTING TO REMAIN, NEW AND/OR RENOVATED IMPERVIOUS SURFACE:	13,309 SF (22.6%)

PLANTS THAT ARE PROPOSED BUT NOT LIMITED TO:	
BOTANICAL NAME	COMMON NAME
SHRUBS	
Azalea indica 'Mrs. G.G. Gerbing'	Mrs. G.G. Gerbing Indica Azalea
Buxus sempervirens	Common Boxwood
Buxus 'Winter Gem'	Winter Gem Boxwood
Callicarpa americana	American Beautyberry
Camellia sasanqua	Sasanqua Camellia
Camellia x 'Seafoam'	Seafoam Camellia
Fatsia japonica	Japanese Fatsia
Ficus pumila	Creeping Fig
Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea
Ilex x 'Cona'	Oak Leaf™ Holly
Illicium parviflorum 'Forest Green'	Forest Green Anise Tree
Osmanthus fragrans	Sweet Olive
Buxus x 'Green Velvet'	Green Velvet Boxwood
PERENNIAL MIX	
Juncus inflexus 'Blue Arrows'	Blue Arrows Juncus
Liatris spicata	Catmint
Nepeta dropmore	Catmint
Penisetum alopecuroides 'Hamelri'	Hamelri Fountain Grass
Salvia nemorosa 'May Night'	May Night Sage
Veronica x 'White Wands' TM	Magic Show White Wands Speedwell
GROUND COVERS	
Acorus gramineus	Sweet Flag
Dryopteris erythrosora	Autumn Fern
Ophiopogon japonicus 'Dwarf'	Dwarf Mondo Grass
Pachysandra terminalis	Pachysandra Pachysandra
Carex oshimensis 'Everillo'	EverColor® Everillo Japanese Sedge
Dryopteris erythrosora	Autumn Fern
Farfugium japonicum	Leopard Plant
Dryopteris ludoviciana	Southern Shield Fern
Hosta x 'Blue Mouse Ears'	Blue Mouse Ears Hosta





BRICK RETAINING WALL WITH YORKSTONE CAP & BRICK RISERS WITH YORKSTONE TREADS



BRICK RISERS WITH YORKSTONE TREADS & YORKSTONE STEPPERS WITH PLANTED JOINTS



YORKSTONE SLAB STEPS



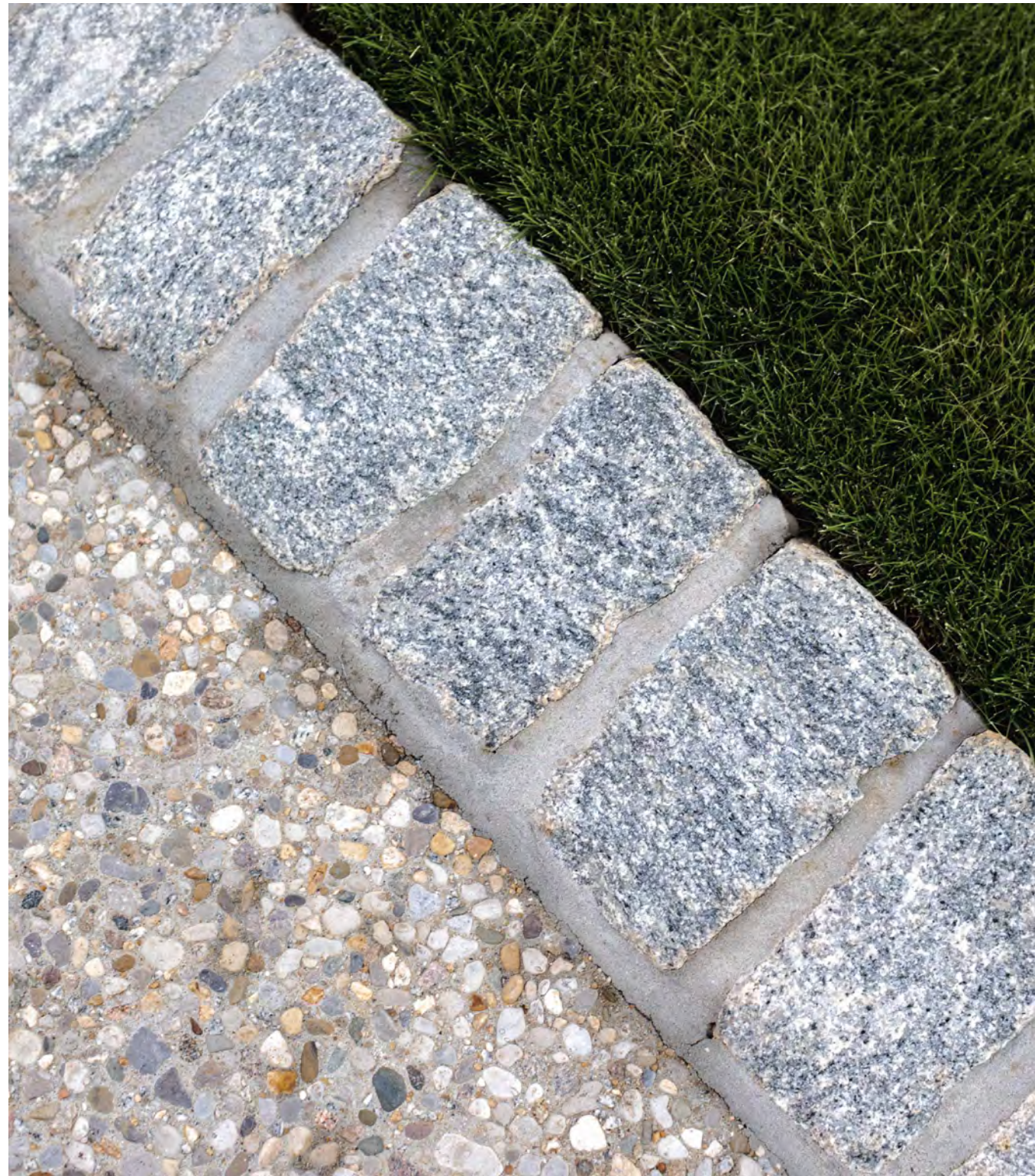
YORKSTONE PAVING



YORKSTONE STEPPING STONES WITH GRASS JOINTS



INDIANA PEA GRAVEL EXPOSED AGGREGATE DRIVEWAY



INDIANA PEA GRAVEL EXPOSED AGGREGATE DRIVEWAY WITH GRANITE COBBLE EDGE



INDIANA PEA GRAVEL EXPOSED AGGREGATE DRIVEWAY WITH GRANITE COBBLE BANDING



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PROJECT:
SHUMAN RESIDENCE

1042 LULLWATER ROAD NE
ATLANTA, GA 30305

DRAWING TITLE:
MATERIALS

DRAWN BY: JR	CHECKED BY: BF
-----------------	-------------------

SCALE: N/A

RELEASES:
1. 10/27/25 COA REVIEW

SHEET:
L-5.00

NOTE:
REFER TO L-0.00 FOR ALL NOTES AND SPECIFICATIONS.

FIELD / LANDSCAPE
ARCHITECTURE

195 Arizona Ave NE, Unit LW4
Atlanta, GA 30307

p: 706.461.6631
e: brian@fieldla.com
w: fieldla.com



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PROJECT:
SHUMAN
RESIDENCE

1042 LULLWATER ROAD NE
ATLANTA, GA 30305

DRAWING TITLE:
WALL ELEVATION

DRAWN BY: JR	CHECKED BY: BF
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SCALE: AS SHOWN

RELEASES:

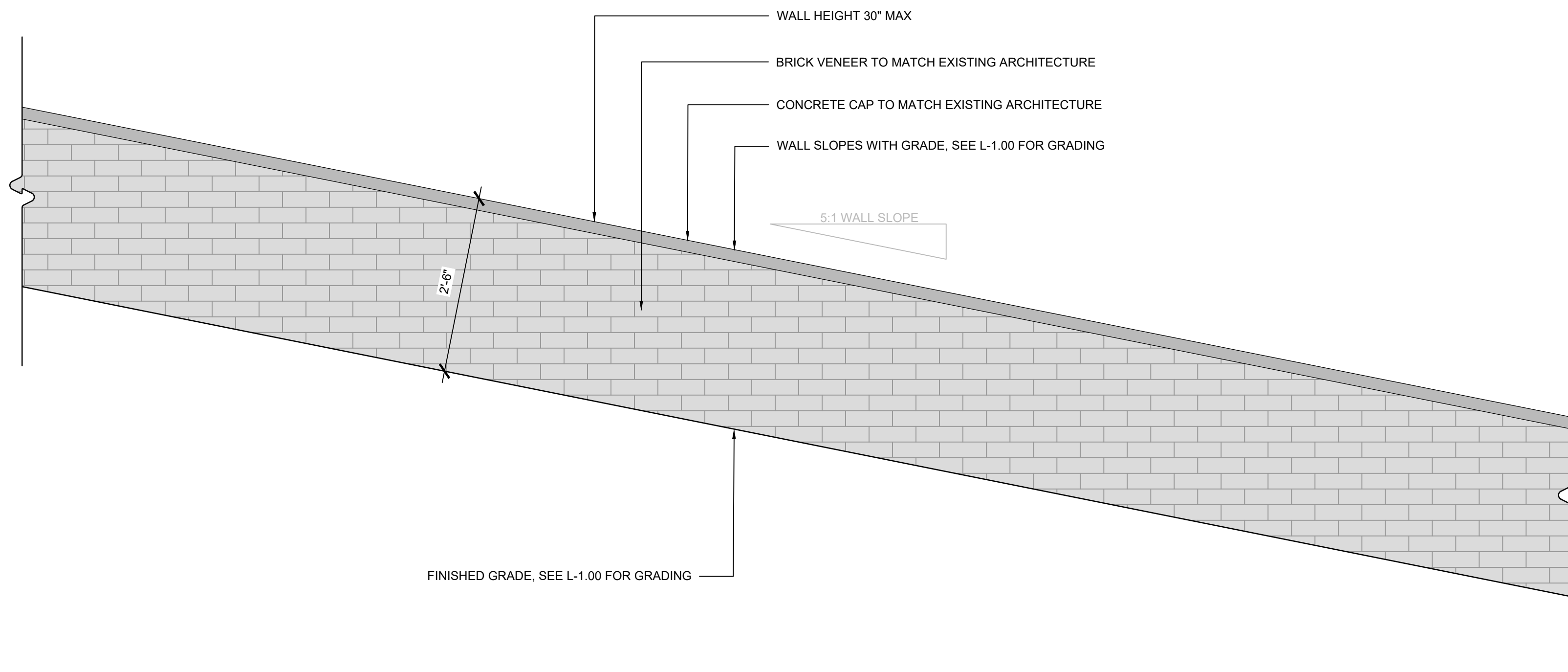
1. 10/27/25 COA REVIEW

QUEST

SHEET:

1520

L-5.20



1

DRIVEWAY RETAINING WALL - ELEVATION TYP.

L-5.20



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PROJECT:
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RESIDENCE

1042 LULLWATER ROAD NE
ATLANTA, GA 30305

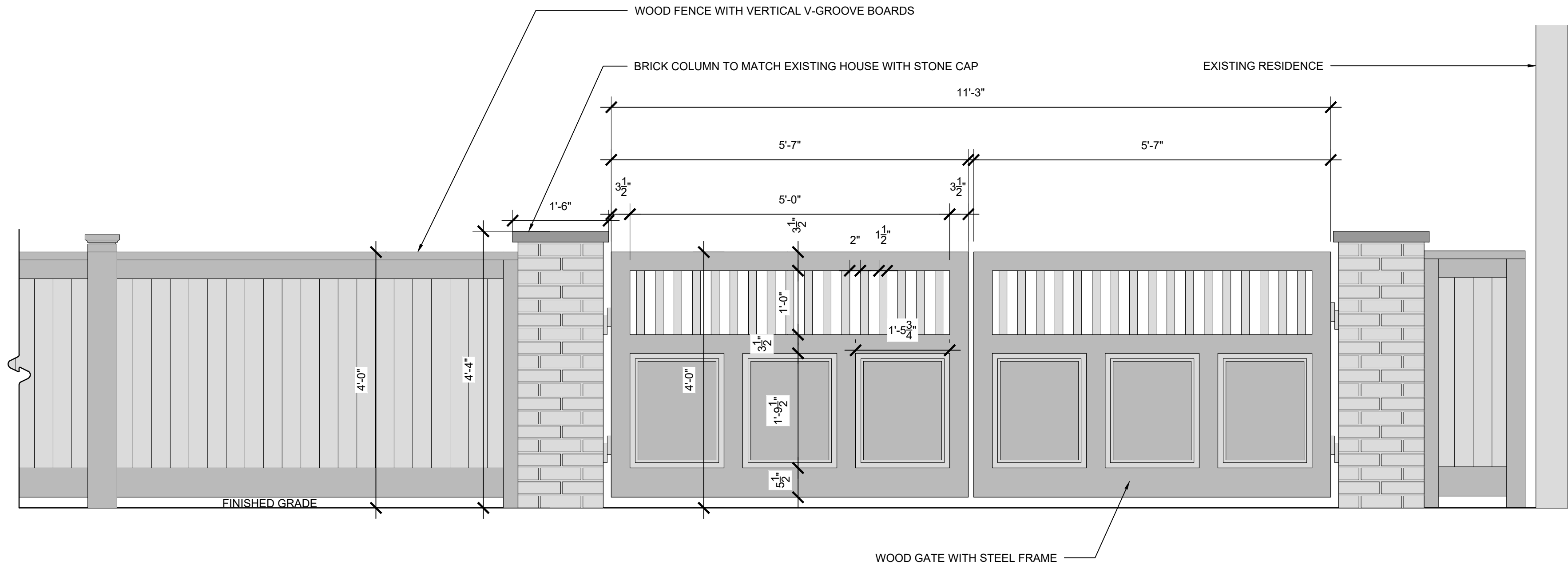
DRAWING TITLE:
GATE + FENCE ELEVATIONS

DRAWN BY: JR	CHECKED BY: BF
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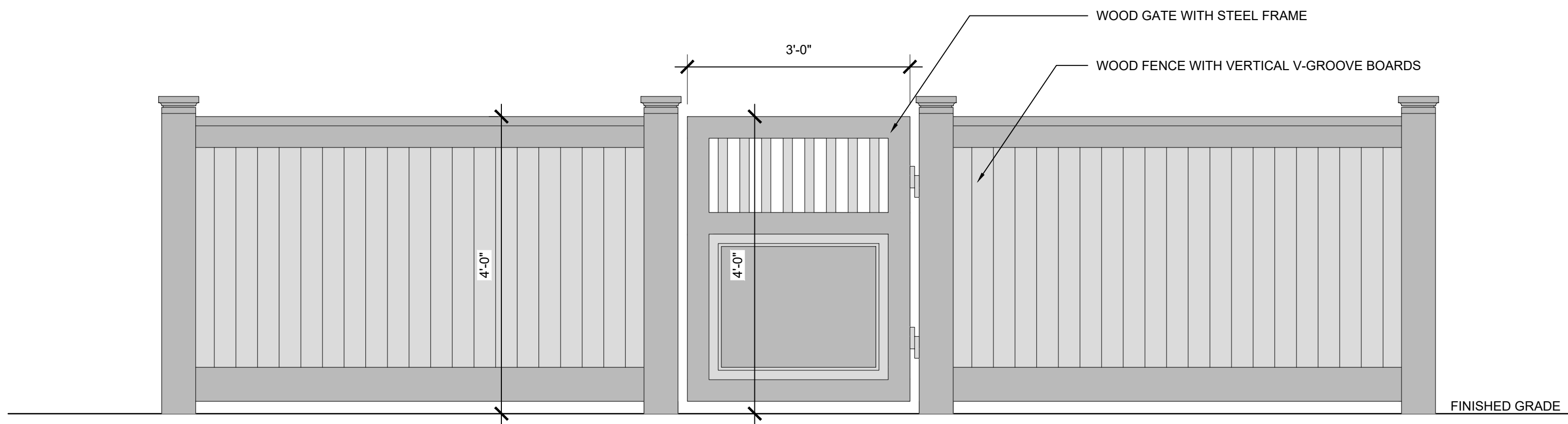
SCALE: AS SHOWN

RELEASES:
1. 10/27/25 COA REVIEW

SHEET:
L-5.50



1 VEHICULAR GATE
SCALE : 3/4"=1'-0"



2 PEDESTRIAN GATE
SCALE : 3/4"=1'-0"

Subject: Planning Activity Update
From: noreply-cloudnotification@infor.com
Date: 10/24/2025, 9:19 AM
To: mike@decarlohawker.com



DeKalb County
G E O R G I A

Planning Division

DEPARTMENT OF PLANNING
& SUSTAINABILITY

Hello MICHAEL DECARLO,

Your Historic Preservation Planning application # 1247844 at 1042 LULLWATER RD ATLANTA GA 30307- has been submitted successfully.

You will receive additional notifications as your application progresses, and we will contact you if additional information is needed.

If you have a question, please call us at 404-371-2155 opt. 4.

You can also log in to the portal (<https://epermits.dekalbcountyga.gov/>) at any time to view the latest information about your application.

Thank you for doing business in Unincorporated DeKalb County!

Best Regards,
DeKalb County Planning Division
178 Sams Street
Decatur, GA 30030

178 Sams Street Decatur, GA 30030 | (404) 371-2155 option 4.