



Lorraine Cochran-Johnson

Chief Executive Officer

**DeKalb County Zoning Board of Appeals**  
Department of Planning & Sustainability  
178 Sams Street,  
Decatur, GA 30030

**Wednesday, December 10, 2025**

**Planning Department Staff Analysis**



Juliana  
Njoku

Interim  
Director

**N14. Case No: A-26-1247837**

**Parcel ID(s): 18 046 03 018**

**Commission District 04 Super District 06**

**Applicant:** **Shauna Edwards**  
3100 Ridenour Blvd NW  
Kennesaw, GA 30152

**Owner:** **Chase MGMT & Consulting LLC / Michael Brown**  
55 Fulton Street SE  
Atlanta, GA 30312

**Project Name:** **3177 Robinson Avenue – New Home Construction**

**Location:** 3177 Robinson Avenue, Scottdale, GA 30079

**Requests:** Application by Shauna Edwards to request variance from Section 27-3.36 of the DeKalb County Zoning Ordinance to reduce setbacks and increase lot coverage to facilitate construction of a single-family residence in the Scottdale Tier 2 Overlay and R-75 (Residential Medium) District.

**Staff Recommendation:** Approval with conditions

**Conditions**

1. The total building area shall not exceed 1,500 square feet, including heated and unheated spaces.
2. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.

## **STAFF FINDINGS:**

The applicant requests variances from Section 27-3.36.10 of the DeKalb County Zoning Ordinance to reduce the front yard setback from 30 feet to 16 feet and the rear yard setback from 30 feet to 16 feet to construct a new single-family home. The subject parcel is located within the Scottdale Tier 2 Overlay and is zoned R-75. It is a 4,341-square-foot, 50-foot-wide, 80–85-foot-deep lot, which is smaller and shallower than the 5,000-square-foot minimum required by the overlay district.

The applicant proposes a three-story, 3,020-square-foot structure (heated + unheated areas), with 2,435 square feet of heated space. The reduced setbacks are requested to accommodate that proposed building footprint.

**1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.**

The subject lot presents multiple physical constraints not created by the current or previous owner. The lot area (4,341 sq ft) is below the 5,000-sq-ft minimum for Tier 2 and the depth of approximately 80 feet leaves little functional building depth once the overlay's 30-foot front and 30-foot rear setbacks are applied. This condition is documented in the LOI, which states that the required setbacks would leave only a 20-foot buildable depth, rendering the parcel effectively unbuildable without relief. The survey and site plan further confirm the narrowness and shallow depth that distinguish the lot from standard Scottdale parcels.

Additionally, the existing home to the west encroaches several inches onto the subject property, which constrains placement options for the new structure and necessitates shifting development eastward for privacy and fire-safety offsets. These conditions are not the result of owner action and materially impact the buildable envelope. Staff finds that strict application of setbacks would deprive the property of reasonable development rights enjoyed by adjacent R-75 lots.

**2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:**

While the parcel's physical constraints justify some degree of setback relief, the proposed 3,020-square-foot, three-story structure substantially exceeds the 1,000-square-foot minimum house size established for Scottdale Tier 2. The applicant states that the front and rear reductions to 16 feet represent the minimum necessary; however, the size, depth, and height of the proposed structure may directly influence the amount of setback reduction needed.

Staff finds that the requested reductions go beyond the minimum necessary to afford relief given the scale of the proposed structure. A materially smaller building footprint would reduce or eliminate the needed depth encroachments. Accordingly, staff recommends a condition to reduce the total structure size to approximately 1,500 square feet, aligning more closely with the overlay's intended building form and restoring compliance with the minimum-necessary standard.

**3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:**

The proposed development is consistent with the surrounding residential pattern, and new construction on vacant infill lots generally contributes positively to neighborhood vitality. The requested setback reductions would bring the structure closer to the street, which aligns with the Traditional Neighborhood character area, where buildings are situated nearer to the front property line, as supported by the Comprehensive Plan references in the LOI .

**4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:**

Strict interpretation of the 30-foot front and rear setbacks leaves insufficient buildable depth to construct a functional dwelling. Applying the code yields a 20-foot buildable area, which cannot support conventional construction forms on this parcel. The lack of alternative placement options due to the western encroachment further restricts design choices. These physical characteristics constitute a hardship unique to the property.

**5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:**

The Traditional Neighborhood character area encourages compact lots, pedestrian-oriented form, shallow setbacks, and contextual infill development. The LOI cites these objectives, noting that front-yard reductions in Traditional Neighborhoods are compatible with historic development patterns in Scottdale Tier 2 .

However, the proposed building size substantially exceeds the overlay's intended scale and diverges from the spirit of the district, which aims to maintain smaller homes and neighborhood integrity. Reducing the building area to approximately 1,500 square feet ensures compatibility with the Comprehensive Plan, the overlay district's goals, and the character of existing housing stock.

**FINAL STAFF ANALYSIS:**

The subject lot exhibits exceptional physical constraints—including substandard lot size, insufficient depth, and adjacency encroachments—that justify setback relief. However, the proposed 3,020-square-foot, three-story dwelling exceeds the minimum relief necessary and is inconsistent with the intended scale of development in Scottdale Tier 2. Staff recommends Approval with Conditions to ensure compatibility and compliance with hardship criteria.

**Conditions**

1. The total building area shall not exceed 1,500 square feet, including heated and unheated spaces.
2. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.

Chief Executive Officer  
Michael Thurmond

## DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director  
Cedric Hudson

### ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or  
Authorized Representative: Shauna Edwards

Mailing Address: 1300 Ridenour Blvd NW

City/State/Zip Code: Kennesaw GA 30152

Email: NGPERMITTING@GMAIL.COM

Telephone Home: 401-556-0903 Business: NEXTGEN PERMITTING

#### OWNER OF RECORD OF SUBJECT PROPERTY

Owner: CHASE MGMT & CONSULTING LLC / MICHAEL BROWN

Address (Mailing): 55 FULTON STREET SE, ATLANTA GA 30312

Email: CHASEMANAGEMENT1@GMAIL.COM Telephone Home: 678-409-825 Business: \_\_\_\_\_

#### ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 3177 ROBINSON AVENUE City: SCOTTDALE State: GA Zip: 30079

District(s): 18 Land Lot(s): 046 Block: 03 Parcel: 018

Zoning Classification: R-75 Commission District & Super District: SCOTTDALE - TIER 2

#### CHECK TYPE OF HEARING REQUESTED:

☒ X VARIANCE (From Development Standards causing undue hardship upon owners of property.)

☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)

☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

**\*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.\***

Email [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) with any questions.



DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 10/16/25 Applicant/Agent Shauna Edwards  
Signature:

TO WHOM IT MAY CONCERN:

(I) (WE) Michael Brown  
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Eddie W Sellers <sup>11-16-25</sup> [Signature]  
Notary Public Owner Signature

\_\_\_\_\_  
Notary Public Owner Signature

\_\_\_\_\_  
Notary Public Owner Signature





DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 10-17-25 Applicant Signature: [Signature]

DATE: \_\_\_\_\_ Applicant Signature: \_\_\_\_\_

## **LETTER OF INTENT**

ADDRESS: 3177 Robinson Avenue Scottdale, GA 30079

Zoning: R-75

Overlay District: Scottdale Overlay District Tier 2

### **REQUEST:**

**Request to vary Sec. 27-3.36 Scottdale Overlay District Building Standards to construct a single-family home**

#### **Requesting the following:**

Requesting to vary front property lines from 30 feet to 16 feet

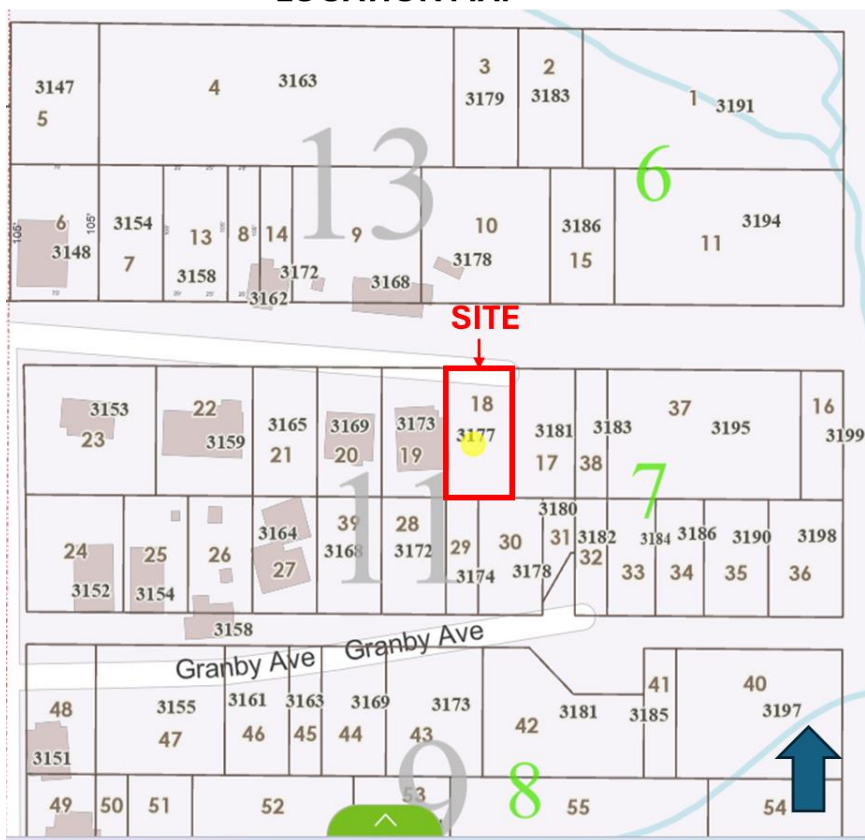
Requesting to vary the rear setback from 30 feet to 16 feet

**Background:** The subject property is located at 3177 Robinson Avenue, Scottdale, GA 30079, and is zoned R-75 within the Scottdale Overlay District, Tier 2. The required setbacks for the R-75 zoning district are 35 feet (front), 7.5 feet (side), and 30 feet (rear).

This lot is relatively small, with a total area of 4,341 square feet, measuring approximately 50.15 feet in width and 85.51 feet in depth (as shown in the diagram below). The current owners intend to construct a detached three (3) story single-family residence of approximately 3,020 sq ft (heated plus unheated) on the property.

Due to the limited lot size, a variance is necessary to accommodate the proposed construction, as outlined in the variance request. The surrounding

#### **LOCATION MAP**





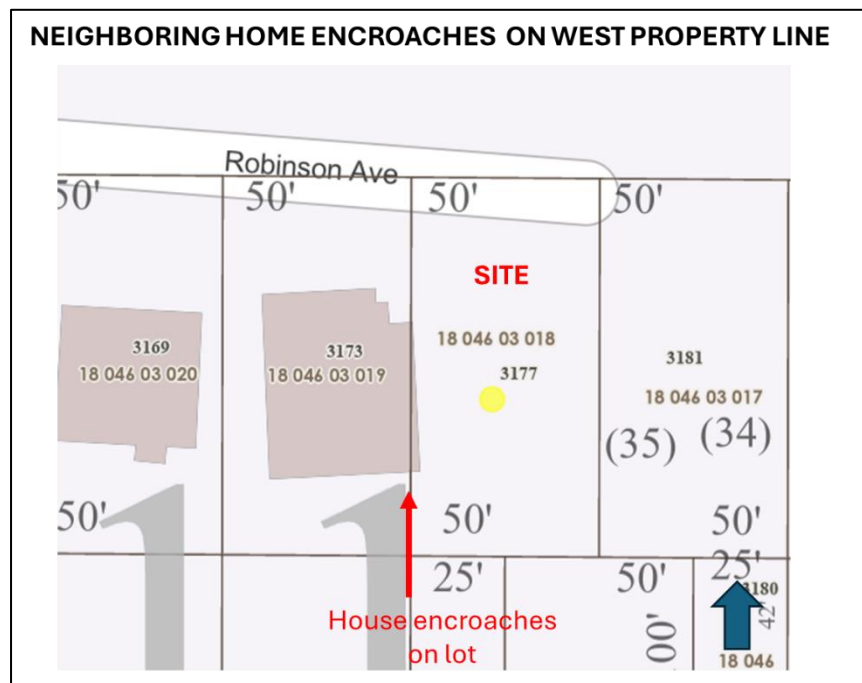
area consists primarily of residential properties, and the proposed single-family use is consistent and compatible with the existing neighborhood. The variance being requested pertains only to the front and rear setbacks, as detailed above.

### Physical Conditions:

The subject site has an approximate depth of 80 feet, with required front and rear setbacks of 30 feet each. These setback requirements collectively leave only 20 feet of buildable depth, which is insufficient to construct a functional single-family home. As a result, the proposed residence encroaches into the front and rear setback areas, necessitating a variance request.

Under the Scottsdale Overlay District, Tier 2, the minimum required lot size is 5,000 square feet. The subject property, however, has a total area of 4,341 square feet, making it smaller than the current standard. Strictly applying the required setbacks to an undersized lot further reduces the usable building area, creating a significant hardship.

Additionally, the adjacent home to the west encroaches into its side property line by several feet (as shown in the attached diagram). Consequently, the placement of the proposed house must be adjusted further away from the west property line to preserve privacy and comply with fire safety standards.



**Minimum Necessary:** This request represents the minimum variance necessary to allow for the construction of a reasonably sized single-family home. Variances of this nature are common within the Scottsdale area, given the smaller lot sizes and existing development

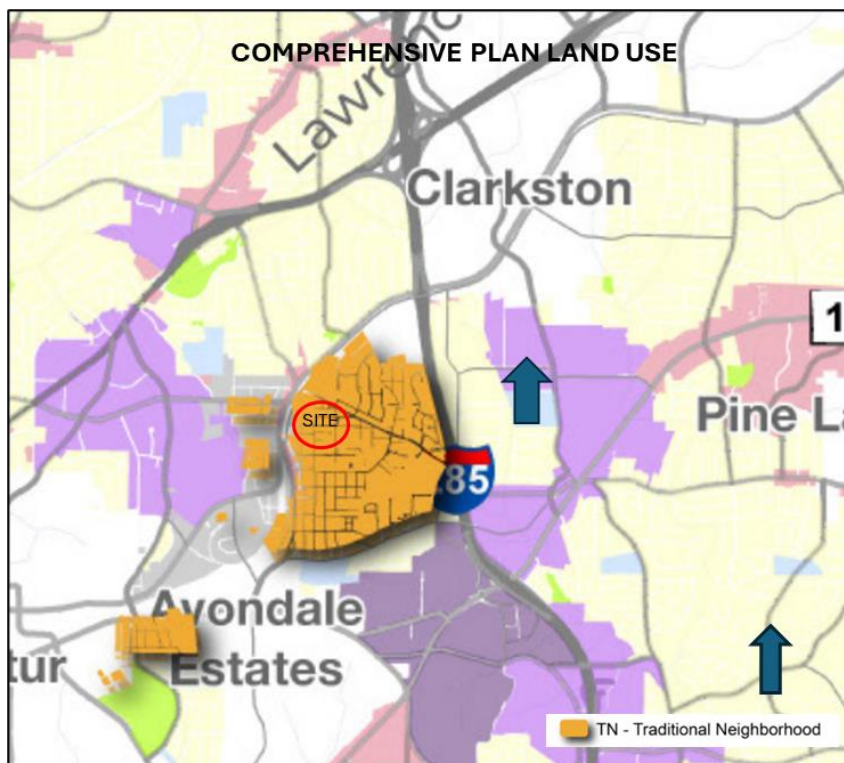


patterns. The applicant is not seeking any special privilege but rather requesting only what is essential to build a functional and appropriately scaled home consistent with the surrounding neighborhood.

**Public Welfare:** The requested variance will not negatively impact public welfare or the surrounding community. The subject property is located within a residential neighborhood, and the proposed construction of a single-family home is fully consistent with the character and use of the area.

**Ordinance Hardship:** Yes, the ordinance requirements significantly limit the buildable area due to the lot being smaller than the minimum size required. When the setback regulations are applied, the available building area is further reduced. As a result, it would be impractical to construct a functional single-family home without requesting a variance, particularly for the front and rear setbacks, given the shallow depth of the lot.

**Alignment with Spirit of the Law:** The subject site is located within the Traditional Neighborhood Character areas (see diagram – subject site located within red circle). The Comprehensive Plan states “Traditional Neighborhoods Character Area is to preserve the style and appeal of older traditional neighborhood communities. These areas primarily consist of residential areas in older parts of the community that were typically developed prior to WWII. The characteristics include higher pedestrian orientation, sidewalks and more grid-like street patterns. They have on-street parking, small, regular lots, and buildings closer to the front property line.” The proposed single-



family development will be compatible with surrounding residential land use. The request for a front variance also falls with the intent of the Comprehensive Plan allowing for buildings closer to the property line. The proposed request to build a house will be consistent with the goals of the Comprehensive Plan.

### **VARIANCE CRITERIA**

- A. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property(such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, a**

Yes, the property presents unique physical conditions that were not created by the owner. The subject lot has a total depth of only 80 feet, while the zoning code requires both front and rear setbacks of 30 feet. This leaves only 20 feet of buildable depth, effectively rendering the lot unbuildable under the current standards. Strict application of the requirements outlined in Sec. 27-3.36\_would therefore deprive the owner of the ability to construct a functional residence on the property.

Additionally, the neighboring house along the west property line encroaches onto the subject property by a few inches. For reasons of privacy and fire safety, the proposed home must be situated further away from that property line. This encroachment also reduces the available width for construction, leaving elongating the structure as the only feasible design solution.

- B. The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.**

Requesting a reduction of the front and rear setbacks due to smaller lot size is a common practice within the Scottdale area. Numerous lots throughout the County have similar dimensions, and variances are routinely sought to make these lots

buildable. Therefore, granting this request would not confer any special privilege, as it is consistent with other approvals in the area. The proposed reduction of the front and rear setbacks from 30 feet to 16 feet is the minimum necessary to allow reasonable and functional development of the property.

**C. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.**

Granting the variance will not be detrimental to the public welfare or injurious to adjacent properties. The request does not involve a zoning change, and the proposed development a single-family residence is consistent with the existing residential character of the surrounding neighborhood.

**D. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship.**

The interpretation and application of the code create an undue hardship for this property. With the required 30-foot front and rear setbacks, only 20 feet of buildable depth remains, making it extremely difficult to construct a functional residence. Additionally, the neighboring house encroaches onto the side property line, which necessitates designing a longer, narrower home to maintain privacy and comply with fire safety standards. Without the requested variance, the strict enforcement of this code would impose an unreasonable and unnecessary hardship on the property owner.

**E. The requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text.**

The Dekalb County Comprehensive Plan promotes land use consistency. The area is zoned for residential use; this lot will be used for a single-family home and meets the intent of the Comprehensive which is to ensure uses are compatible.

Return Recorded Document to:  
The Andrews Law Firm, LLC  
P. O. Box 312233  
Atlanta, GA 31131  
File No: 25-1009-B  
File Name: Chase MGMT  
Parcel #: 18-046-03-018

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**LIMITED WARRANTY DEED**

STATE OF GEORGIA

COUNTY OF FULTON

**THIS INDENTURE**, made the 23rd day of September, 2025, between Ahmad Rashid, Trustee of CAV Revocable Living Trust dated August 21, 2025, party of the first part, and Chase MGMT. & Consulting L.L.C., party of the second part,

**WITNESSETH** That: the said party of the first part, for and in consideration of the sum of **TEN AND 00/100 DOLLARS (\$10.00)** and other goods and valuable considerations in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said party of the second part, his heirs and assigns, all that tract or parcel of land

**See attached Exhibit "A"**

**Tax Map or Parcel ID No.: 18-046-03-018**  
**3177 Robinson Avenue, Scottdale, GA 30079**

**TO HAVE AND TO HOLD** the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said party of the second part, his heirs and assigns, forever, in **FEE SIMPLE**.

**AND THE SAID** party of the first part, for his heirs, executors and administrators, will warrant and forever defend the right and title to the above described property, unto the said party of the second part, his heirs and assigns, against claims of all persons owning, holding or claiming by, through or under the said party of the first part.

**IN WITNESS WHEREOF**, the said party of the first part has hereunto set his hand and seal, the day and year above written.

Signed, sealed and delivered in the presence of:

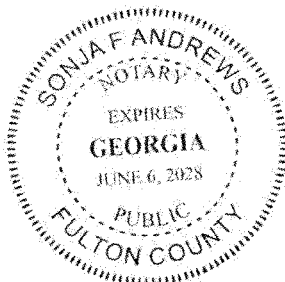
**CAV Revocable Living Trust dated August 21, 2025**

By:

  
**Ahmad Rashid, Trustee**

  
Unofficial Witness

  
Notary Public



**Exhibit "A"**

**All that tract or parcel of land lying and being in Land Lot 46 of the 18th District, Dekalb County, Georgia, being Lots 36 and 37, Block H, Meadow Brook Subdivision, as per plat recorded in Plat Book 4, Page 68, Dekalb county, Georgia records and being more particularly described as follows:**

**Beginning at a point 250 feet west of the southwest corner of Robinson Ave. and Reed St.; running thence south 100 feet to property line; thence west along property line a distance of 50 feet and thence 100 feet north to Robinson Ave. and thence east along the south side of Robinson Ave., a distance of 50 feet to the point of beginning. Being the same property as described in that Tax Deed at Deed Book 17989, Page 573, Dekalb County Records and Final Order recorded in Deed Book 22371, Page 690, aforesaid records.**

**Subject to easements and restrictions of record**

**Parcel ID Number: 18 046 03 018**



SITE PLAN (SCALE: 3/16"=1'-0")

ZONING CRITERIA

ZONING DISTRICT: RS-75

PARCEL ID: 18 046 03 018

MINIMUM SET BACKS:

FRONT 30 ft.

SIDE 7.5 ft

REAR 30 ft.

EXISTING LOT AREA: 4,341 SF (0.10 AC)

MAX. LOT COVERAGE:

ALLOWED: 35% (1,519 SF)

PROPOSED: 32% (1,515 SF)

HOUSE: 1,120 SF

DRIVEWAY: 315 SF

FRONT PORCH/WALKWAY: 95 SF

DECK: N/A

BUILDING AREA

HEATED

UPPER LEVEL - 730 SF

MAIN LEVEL - 1,050 SF

LOWER LEVEL - 655 SF

NON-HEATED

DECK - 145 SF

CARPORT - 410 SF

PORCH - 30 SF

TOTAL BUILDING AREA - 3,020 SF

BUILDING HEIGHT

NUMBER OF STORIES: 3

HEIGHT: 31'-6" FT

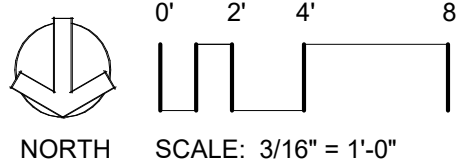
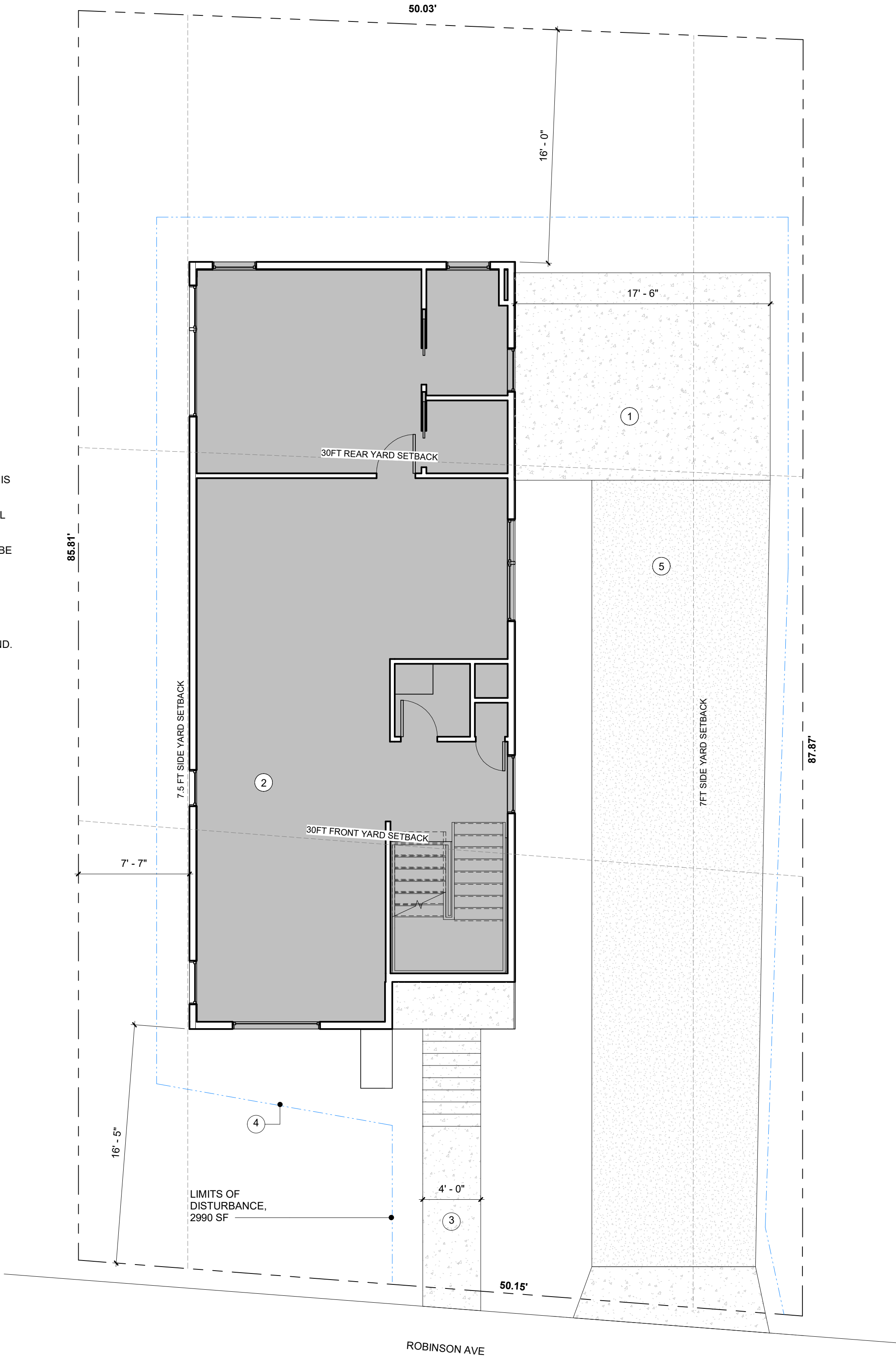
PARKING: 2 PER DWELLING MIN.

GENERAL SITE NOTES:

- NO TREES ARE REMOVED AS PART OF CONSTRUCTION.
- ALL SITE WALL TO BE LESS THAN 4FT. IF SITE WALL EXCEED 4FT A SEPARATE PERMIT WILL BE REQUIRED
- NO STATE WATERS, STREAMS OR BUFFERS EXIST ON THIS PROPERTY.
- ALL PROPOSED EROSION AND SEDIMENTATION CONTROL THROUGH THE CRITICAL ROOT ZONES OF ALL TREES MUST BE SPECIFIED TO BE ABOVE GROUND SDFS. COMPOST FILTER SOCKS. SO FOR THIS SITE, IT WOULD BE THE FRONTAGE AREA EROSION CONTROL MEASURES.
- DISTUBED AREA IS LESS THAN 3000SF
- REFER TO DETAIL ON SHEET A0.1 FOR PERMANENT SOIL STABILIZATION, DS4, TYPICAL.
- EXISTING SITE HAS NO EXISTING STRUCTURES, RAW LAND.

SITE LEGEND:

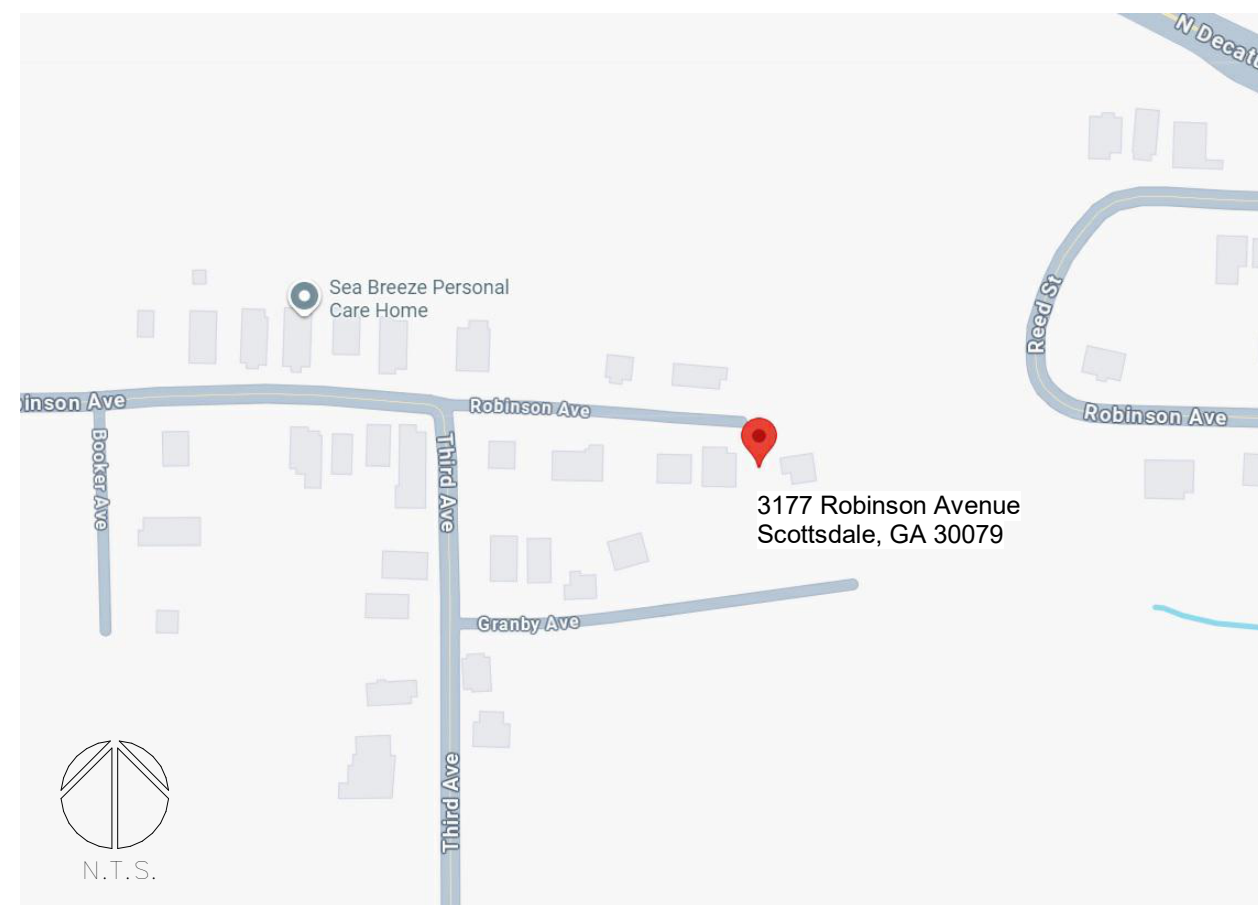
- NEW CONCRETE DRIVEWAY
- NEW SINGLE FAMILY RESIDENCE
- SILT FENCE - TYPE 'A'
- WATER QUALITY TREATMENT (FLOW WELLS)
- NEW GRAVEL DRIVEWAY



GENERAL NOTES

- A0.01 ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, WHETHER LISTED HEREIN OR NOT.
- A0.02 ANY & ALL GOVERNING LOCAL LABOR LAWS, REGULATIONS & REQUIREMENTS AND THOSE SET AS BUILDING REQUIREMENTS SHALL BE OBSERVED & FOLLOWED AS THEY RELATE TO THIS PROJECT. ARRANGEMENTS FOR PRECLUDE ANY LABOR RELATED JOB DISPUTES COMPLIANCE WITH THESE REQUIREMENTS SHALL BE MADE BY GC TO & RELATED DELAYS/PROBLEMS & COSTS.
- A0.03 CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS AND CERTIFICATE OF OCCUPANCY PERMIT AS WELL AS SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING PERMITS PRIOR TO AND DURING CONSTRUCTION.
- A0.04 MATERIALS, DIMENSIONS, AND OTHER CONDITIONS NOT OTHERWISE INDICATED IN THESE DRAWINGS SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE IN THE DRAWINGS.
- A0.05 THE EXTENT OF WORK SHALL BE LIMITED TO THAT INDICATED IN THE CONTRACT DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT WRITTEN APPROVAL OF OWNER. ANY ADDITIONAL WORK PERFORMED WITHOUT PRIOR WRITTEN APPROVAL BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A0.06 GC SHALL BE RESPONSIBLE FOR FIELD MEASURING OF EXISTING CONDITIONS PRIOR TO START OF WORK & DURING CONSTRUCTION AS NECESSARY TO ASSURE CONSTRUCTION ADHERENCE TO DRAWINGS. BY ENTERING INTO A CONSTRUCTION CONTRACT FOR THIS WORK, GC SHALL INDICATE HIS FAMILIARITY WITH THE SITE/FIELD CONDITIONS.
- A0.07 FLOOR TOLERANCE: IN LAYING OUT THE WORK TO BE COMPLETED, CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVEL RESULTING FROM THE CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATIONS SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES AND ALIGNMENT OF DOOR HEADS. OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE. LEVEL FLOORS AS REQUIRED BY USING AN APPROVED LEVELING COMPOUND.
- A0.08 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS, & EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY, AND DUST BARRIERS BETWEEN CONSTRUCTION AREAS AND OCCUPIED AND PUBLIC AREAS SHALL BE MAINTAINED BY CONTRACTOR.
- A0.09 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BUILDING CORRIDORS CLEAR OF PROJECT MATERIALS AND EQUIPMENT.
- A0.10 GC SHALL PROVIDE GENERAL CARPENTRY AS REQUIRED FOR WORK WHICH MAY NOT FALL UNDER THE JURISDICTION OF A SPECIFIED TRADE BUT IS REQUIRED FOR PROPER JOB EXECUTION AND COMPLETION OF CONSTRUCTION.
- A0.11 NO MODIFICATIONS/REVISIONS/CHANGES SHALL BE UNDERTAKEN UNLESS SPECIFICALLY SO INSTRUCTED & APPROVED BY OWNER.
- A0.12 CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION.
- A0.13 THE INTENT OF THE CONTRACT DOCUMENTS IS TO EXCLUDE ALL MATERIALS WHICH CONTAIN KNOWN HAZARDOUS SUBSTANCES. THESE INCLUDE MATERIALS CONTAINING ASBESTOS, POLYCHLORINATED BIPHENYL(PCB), OR ANY OTHER KNOWN SUBSTANCES DETERMINED TO BE A HEALTH HAZARD BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) AND OTHER RECOGNIZED AGENCIES. IN STUDYING THE CONTRACT DOCUMENTS, AND AT ANY TIME DURING EXECUTION OF THE WORK, THE CONTRACTOR SHALL AT ONCE REPORT TO THE ARCHITECT ANY MATERIALS CONTAINING HAZARDOUS SUBSTANCES THAT HE/SHE MAY DISCOVER. DO NOT PROCEED WITH INSTALLATION OF HAZARDOUS MATERIALS.
- A0.14 CONTRACTOR SHALL VERIFY PRESENCE OF HAZARDOUS MATERIALS WITH OWNER. ARCHITECT AND ITS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO, ASBESTOS, POLYCHLORINATED BIPHENYL(PCB) OR OTHER TOXIC SUBSTANCES.
- A0.15 WHERE PRODUCTS ARE SPECIFIED BY REFERENCE STANDARD OR IN DESCRIPTIVE MANNER WITHOUT MANUFACTURER'S NAME, MODEL NUMBER OR TRADE NAME, CONTRACTOR SHALL SELECT MATERIALS MEETING SPECIFIED REQUIREMENTS WHICH DO NOT CONTAIN KNOWN HAZARDOUS SUBSTANCES IN ANY FORM AND SUBMIT TO ARCHITECT FOR APPROVAL.
- A0.16 INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
- A0.17 IN MAKING REQUESTS FOR SUBSTITUTION, CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THAT MATERIALS REQUESTED FOR SUBSTITUTION ARE FREE OF KNOWN HAZARDOUS SUBSTANCES IN ANY FORM.
- A0.18 WARRANTY SHALL BE EXTENDED FOR ALL CONSTRUCTION COMPONENTS, EQUIPMENT AND INSTALLATIONS INCLUDED IN THIS CONTRACT FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- A0.19 GC SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS/DETAILS AS SHOWN AND ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP WHICH APPEAR WITHIN A PERIOD OF ONE (1) YEAR.
- A0.20 THESE DOCUMENTS INDICATE MATERIALS AND METHODS OF CONSTRUCTION TO ESTABLISH STANDARDS OF QUALITY AND/OR PERFORMANCE. OTHER MATERIALS AND/OR METHODS WILL BE CONSIDERED BY THE ARCHITECT FOR ACCEPTANCE PROVIDED THAT THEY DO NOT AFFECT THE VISIBLE APPEARANCE. MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT IN WRITING PRIOR TO ORDERING AND/OR FABRICATION.

LOCATION MAP



3177 Robinson Residence

3177 Robinson Avenue  
Scottsdale, GA 30079

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Contractor:  
TBD

PROJECT DESCRIPTION

PROJECT CONSISTS OF A NEW SINGLE FAMILY RESIDENCE, APPX AREA 2,435 SF (HEATED) AND ASSOCIATED SITE WORK. NEW MECHANICAL, ELECTRICAL, PLUMBING FIXTURES AND FINISHES THROUGHOUT. VAR23-00006 APPROVED FOR REDUCED SETBACK REQUIREMENTS

INDEX OF DRAWINGS

| SHEET NO. | SHEET TITLE                             | ORIGINAL ISSUE DATE | REVISION NO. | REVISION ISSUE DATE |
|-----------|---|---------------------|--------------|---------------------|
| A0        | COVER SHEET/GENERAL PROJECT INFORMATION | 09.25.25            |              |                     |
| A0.1      | SURVEY & SITE DETAILS                   | 09.25.25            |              |                     |
| A1        | PLANS, NOTES & LEGEND                   | 09.25.25            |              |                     |
| A2        | BUILDING ELEVATIONS                     | 09.25.25            |              |                     |
| A3        | SECTIONS & TYPICAL DETAILS              | 09.25.25            |              |                     |
| A4        | STRUCTURAL PLANS & DETAIL               | 09.25.25            |              |                     |
| E1        | ELECTRICAL PLANS & NOTES                | 09.25.25            |              |                     |

ARCHITECTURAL SYMBOLS

|  |   |  |                |                                     |
|--|---|--|----------------|-------------------------------------|
|  | ELEVATION INDICATOR:<br>ELEV. NUMBER - SHEET NUMBER     |  | NAME<br>NN.NNN | ROOM TAG                            |
|  | SECTION INDICATOR:<br>DRAWING NUMBER<br>SHEET NUMBER    |  | #              | REVISION NUMBER                     |
|  | ENLARGED PLAN/DETAIL:<br>DRAWING NUMBER<br>SHEET NUMBER |  | #              | CODED NOTE                          |
|  |   |  | X              | MILLWORK NOTE<br>WINDOW TYPE SYMBOL |
|  | ELEVATION HEIGHT INDICATOR:<br>HEIGHT<br>DESCRIPTION    |  | ALIGN          | ALIGN ELEMENTS                      |

ABBREVIATIONS

|         |                    |        |   |        |                           |
|---------|--------------------|--------|---|--------|---------------------------|
| A/C     | AIR CONDITIONER    | GA     | GAUGE                                     | REF    | REFRIGERATOR              |
| ADJ     | ADJACENT           | GALV   | GALVANIZED                                | REFRIG | REFRIGERATOR              |
| ADMIN   | ADMINISTRATION     | GBW    | GYP SUM WALL BOARD                        | REQ    | REQUIRED                  |
| AFT     | ABOVE FINISH FLOOR | GYP BD | GYP SUM BOARD                             | REV    | REVISION/REVISED          |
| ALT     | ALTERNATE          | HDW    | HARDWARE                                  | RM     | ROOM                      |
| ALUM    | ALUMINUM           | HVAC   | HEATING, VENTILATING,<br>AIR CONDITIONING | SAN    | SANITARY                  |
| APPROX  | APPROXIMATE        |        |   | SCHED. | SCHEDULE                  |
| ARCH    | ARCHITECTURAL      | INT    | INTERIOR                                  | SEC    | SECRETARY                 |
| AVG     | AVERAGE            | JAN    | JANITOR                                   | SF     | SQUARE FOOT               |
| BLDG    | BUILDING           | JUNC   | JUNCTION                                  | SIM    | SIMILAR                   |
| BOT     | BOTTOM             | LAM    | LAMINATED                                 | SPECS  | SPECIFICATIONS            |
| CPT     | CARPET             | LAV    | LAVATORY                                  | SS     | SQUARE                    |
| CAB     | CABINET            | MAX    | MAXIMUM                                   | STD    | STANDARD                  |
| CL      | CENTERLINE         | MECH   | MECHANICAL                                | STOR   | STORAGE                   |
| CLG     | CEILING            | MEZZ   | MEZZANINE                                 | SW     | SWITCH                    |
| CLGHT   | CEILING HEIGHT     | MFR    | MANUFACTURER                              | TV     | TELEVISION                |
| CLR     | CLEAR              | MGR    | MANAGER                                   | TYP    | TYPICAL                   |
| CONF    | CONFERENCE         | MISC   | MISCELLANEOUS                             | UNO    | UNLESS NOTED<br>OTHERWISE |
| CONT    | CONTINUOUS         | MIN    | MINIMUM                                   | VCT    | VINYL                     |
| CORR    | CORRIDOR           | NIC    | NOT IN CONTRACT                           | VENT   | VENTILATION               |
| DIA     | DIAMETER           | NTS    | NOT TO SCALE                              | VERT   | VERTICAL                  |
| DIM     | DIMENSION          | NOM    | NOMINAL                                   | VVC    | VINYL WALLCOVERING        |
| DN      | DOWN               | OC     | ON CENTER                                 | VEST   | VESTIBULE                 |
| DR      | DOOR               | OPNG   | OPENING                                   | W/     | WITH                      |
| DTL/DET | DETAIL             | OPP    | OPPOSITE                                  | WC     | WALLCOVERING              |
| DWG     | DRAWING            | PL     | PLASTIC LAMINATE                          | WO     | WOOD                      |
| EL      | ELEVATION          | PLAM   | PLASTIC LAMINATE                          | W/O    | WITHOUT                   |
| ELEV    | ELEVATOR           | PLYWD  | PLYWOOD                                   |        |                           |
| EQ      | EQUAL              | PT     | PAINT                                     |        |                           |
| EQUIP   | EQUIPMENT          | QTY    | QUANTITY                                  |        |                           |
| EXST    | EXISTING           |        |   |        |                           |

CODE ANALYSIS

I. AUTHORITIES

A. DEKALB COUNTY DEVELOPMENT DEPARTMENT  
DEKALB COUNTY FIRE MARSHAL

III. PROJECT CRITERIA

A. OCCUPANCY: RESIDENTIAL  
B. TYPE OF CONSTRUCTION: VB  
C. SPRINKLERED: NO  
D. FIRE ALARM: NO  
E. 1-HOUR PROTECTED: NO  
F. GROSS AREA OF PROJECT: 2,435 SF (TOTAL)  
UPPER LEVEL - 655 SF  
MAIN LEVEL - 1,050 SF  
LOWER LEVEL - 730 SF  
G. NUMBER OF STORIES: 3  
I. HEIGHT: 31'-6" FT

II. APPLICABLE CODES

A. INTERNATIONAL BUILDING CODE - 2018 EDITION W/ GA AMMENDMENTS (2020, 2022, 2024, 2025)  
B. INTERNATIONAL RESIDENTIAL BUILDING CODE - 2018 EDITION W/ GA AMMENDMENTS (2020, 2024)  
C. NATIONAL ELECTRICAL CODE - 2023 EDITION  
D. INTERNATIONAL FUEL GAS CODE - 2018 EDITION W/ GA AMMENDMENTS (2020, 2022)  
E. INTERNATIONAL MECHANICAL CODE - 2018 EDITION W/ GA AMMENDMENTS (2020, 2024)  
F. INTERNATIONAL PLUMBING CODE - 2018 EDITION W/ GA AMMENDMENTS (2020, 2022, 2023, 2024)  
G. INTERNATIONAL ENERGY CONSERVATION CODE- 2015 EDITION W/ GA SUPPLEMENTS AND AMENDMENTS (2020, 2022, 2023)  
H. GEORGIA ACCESSIBILITY CODE, CHAPTER 120-3-20, 2015 EDITION  
I. INTERNATIONAL FIRE CODE - 2018 EDITION  
J. NFPA 101 (LIFE SAFETY CODE) 2018 EDITION W/ GA AMMENDMENTS (2020)  
K. U.S. DEPT. OF JUSTICE, ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA) - 2010 EDITION  
L. INTERNATIONAL FIRE CODE - 2018 EDITION W/ GA AMMENDMENTS (2020)  
M. INTERNATIONAL SWIMMING POOL AND SPA CODE (ISFSC) 2018 EDITION W/ GA AMMENDMENTS (2022)

dshop  
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EMAIL: TIM@DSHOPCAFE.COM

Project Name :  
3177 ROBINSON AVENUE RESIDENCE  
3177 ROBINSON AVENUE  
SCOTTSDALE, GA 30079



Revisions :

| No. | Date     | Description                     |
|-----|----------|---------------------------------|
| 0   | 09.25.25 | ISSUE FOR PERMIT & CONSTRUCTION |

Project No.: 25-61

Scale: AS NOTED

Issue Date: 09.25.25

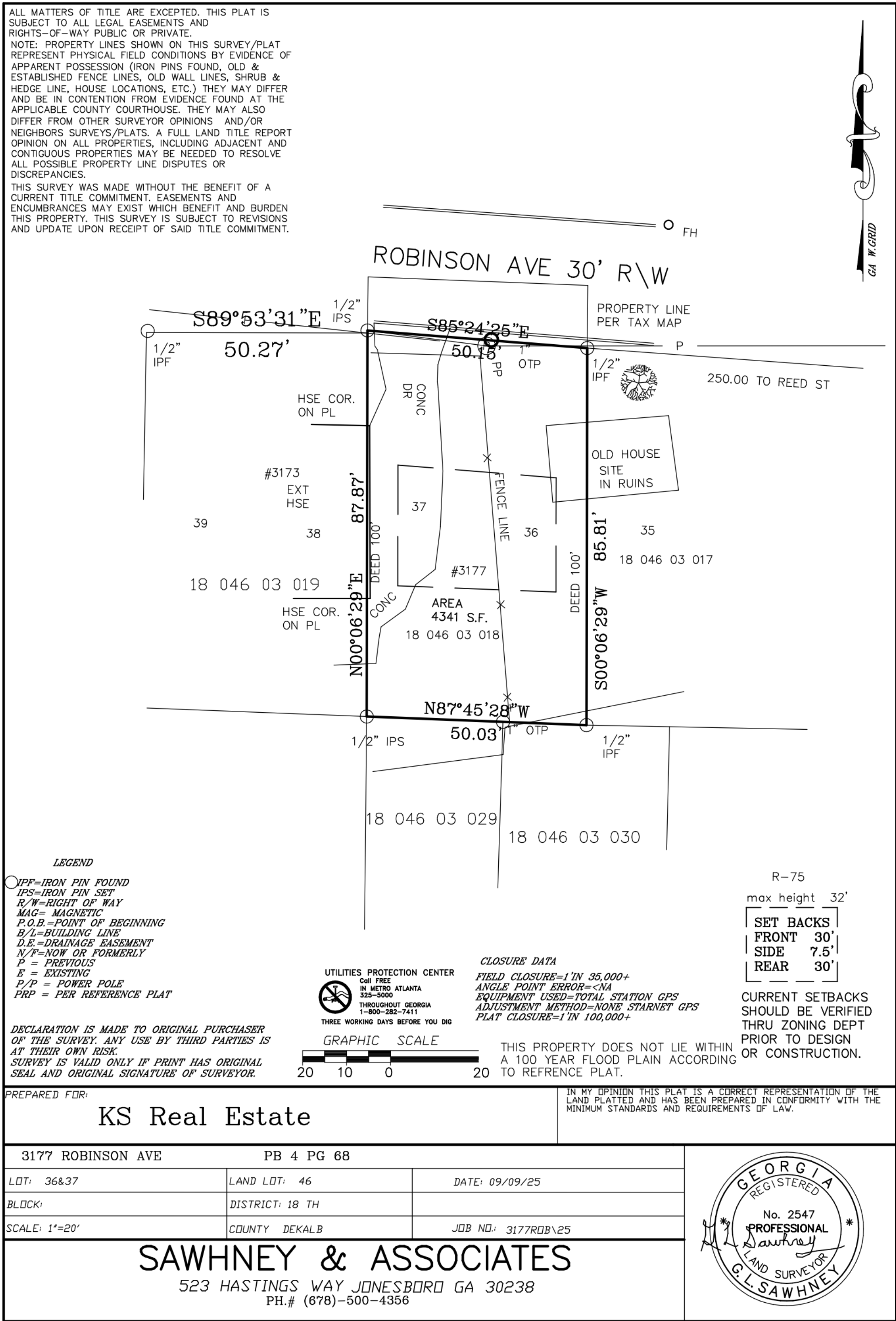
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INDEX AND  
PROJECT INFO

A0

FOR CONSTRUCTION





## DISTURBED AREA STABILIZATION (WITH SODDING)

Ds4



### DEFINITION

A permanent vegetative cover using sods on highly erodible or critically eroded lands.

### PURPOSE

- Establish immediate ground cover.
- Reduce runoff and erosion.
- Improve aesthetics and land value.
- Reduce dust and sediments.
- Stabilize waterways, critical areas.
- Filter sediments, nutrients and bugs.
- Reduce downstream complaints.
- Reduce likelihood of legal action.
- Reduce likelihood of work stoppage due to legal action.
- Increase "good neighbor" benefits.

### CONDITIONS

This application is appropriate for areas that require immediate vegetative covers, drop inlets, grass swales, and waterways with intermittent flow.

### PLANNING CONSIDERATIONS

Sodding can initially be more costly than seeding, but the advantages justify the increased initial costs.

1. Immediate erosion control, green surface, and quick use.
2. Reduced failure as compared to seed as well as the lack of weeds.
3. Can be established nearly year-round.

Sodding is preferable to seed in waterways and swales because of the immediate protection of the channel after application. Sodding must be staked in concentrated flow areas (See Figure 6-6.1).

Consider using sod framed around drop inlets to reduce sediments and maintaining the grade.

### CONSTRUCTION SPECIFICATIONS

#### Soil Preparation

Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.

Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants.

Mix fertilizer into soil surface. Fertilize based on soil tests or Table 6-6.1.

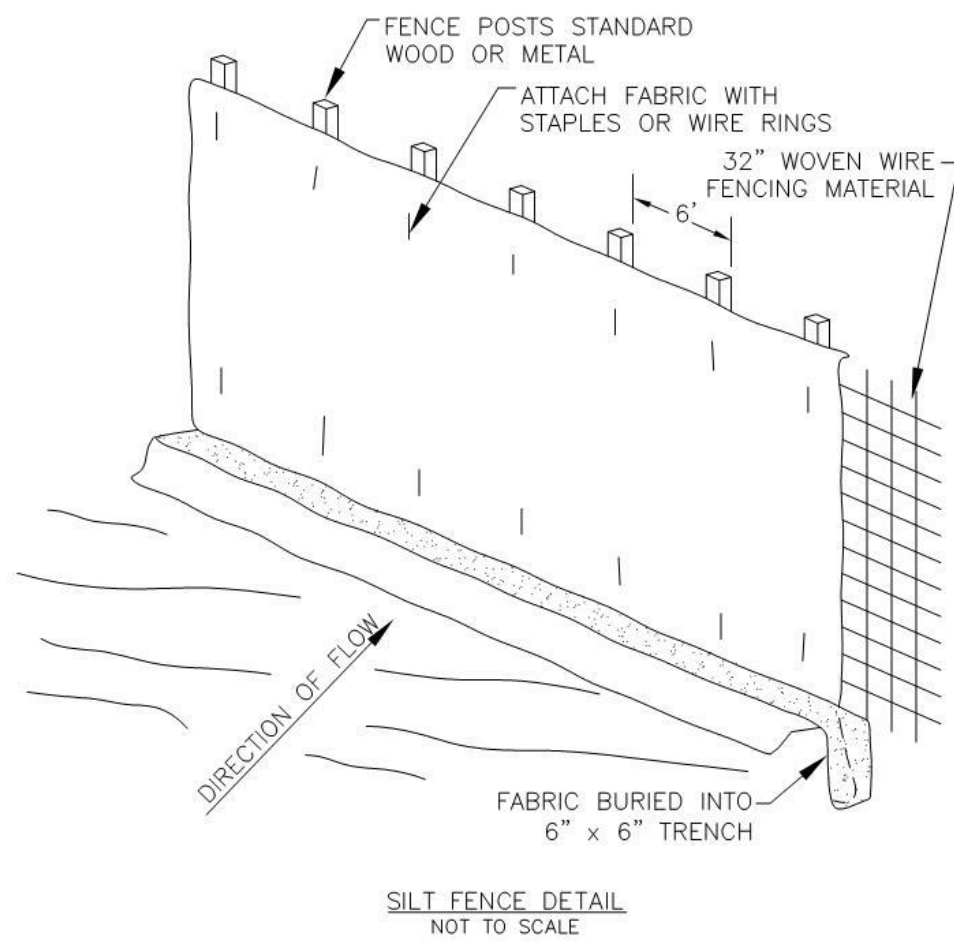
| Table 6-6.1. Fertilizer Requirements for Soil Surface Application |                            |                             |        |
|---|----------------------------|-----------------------------|--------|
| Fertilizer Type   | Fertilizer Rate (lbs/acre) | Fertilizer Rate (lbs/sq ft) | Season |
| 10-10-10  | 1000                       | .025                        | Fall   |

Agricultural lime should be applied based on soil tests or at a rate of 1 to 2 tons per acre.

### Installation

Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod (See Figure 6-6.2)

On slopes steeper than 3:1, sod should be anchored with pins or other approved methods. Installed sod should be rolled or tamped to provide good contact between sod and soil.

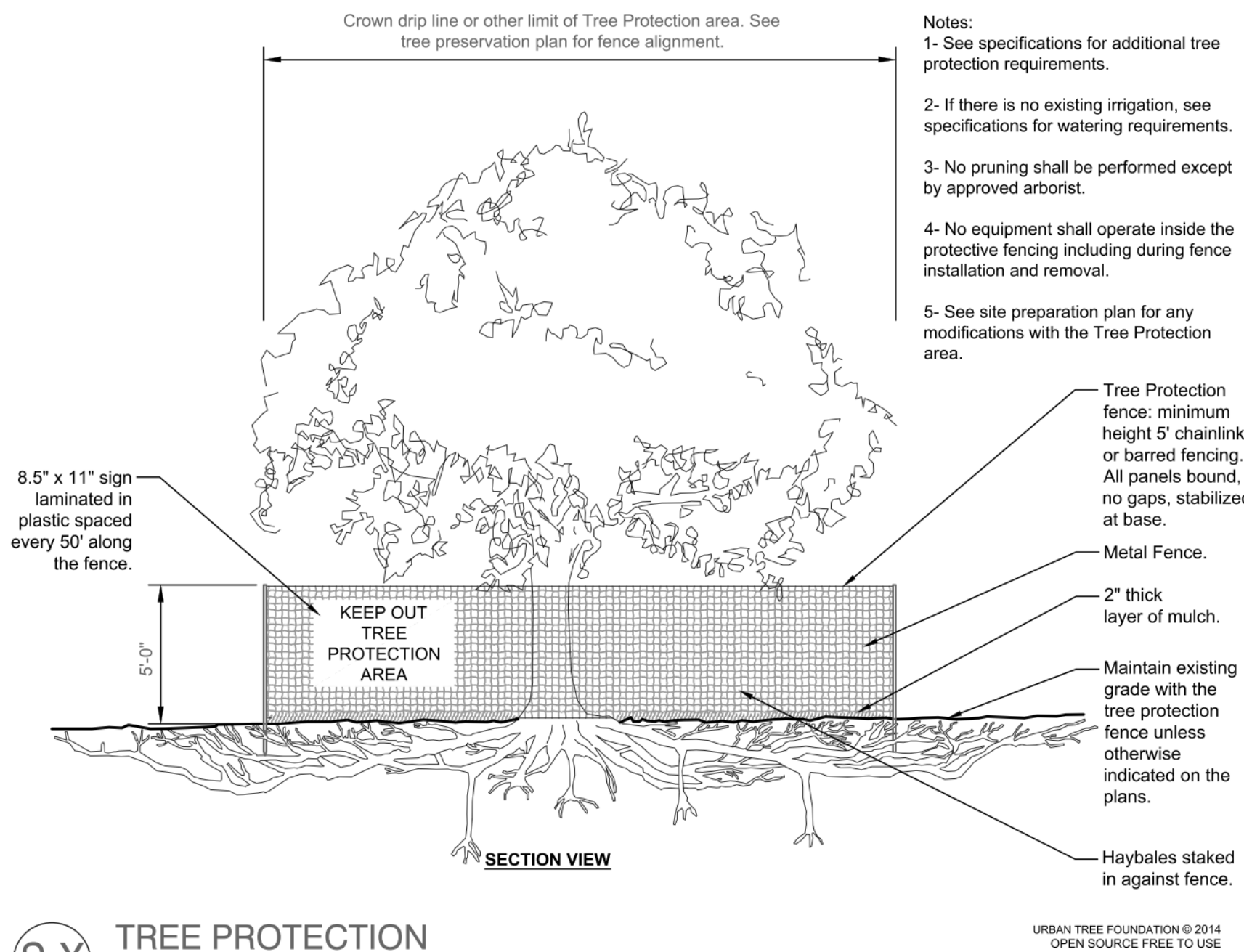


2 SOIL STABILIZATION

SCALE: NTS

3 SILT FENCE DETAIL

SCALE: NTS



S-X TREE PROTECTION

4 TREE PROTECTION DETAIL

SCALE: NTS

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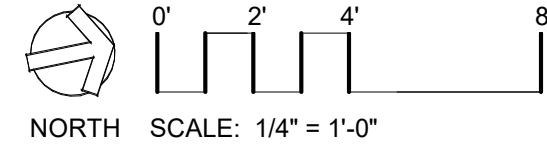
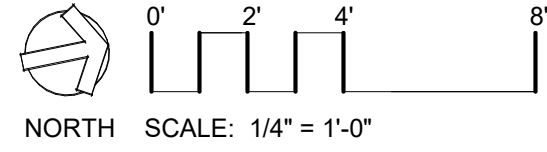
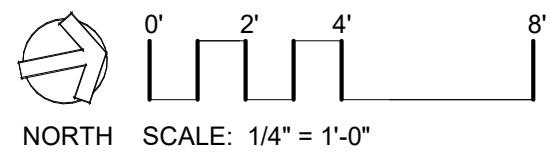
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SURVEY & SITE  
DETAILS

A0.1

FOR CONSTRUCTION





# PLANS, NOTES & LEGEND

## A1

FOR CONSTRUCTION



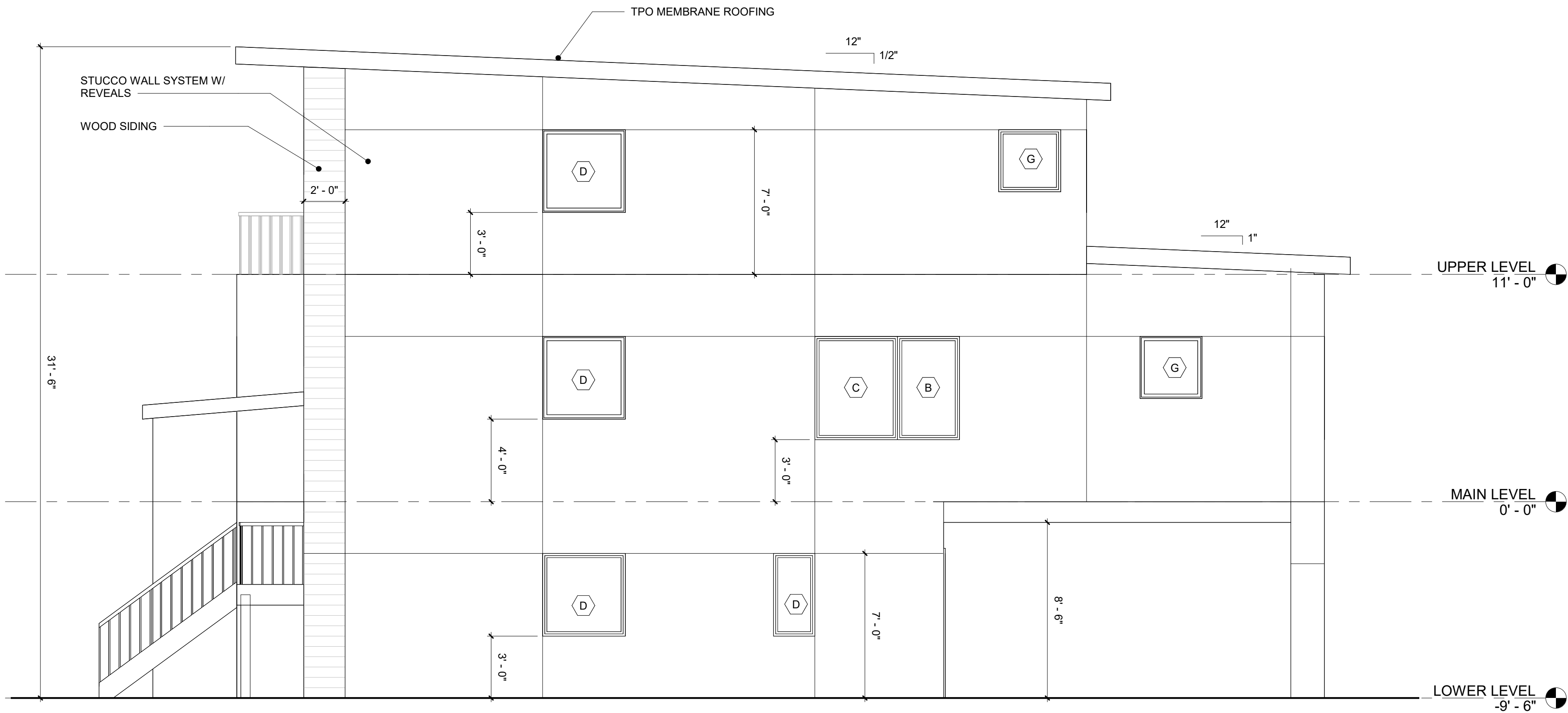
Revisions :

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|              |          |
|--------------|----------|
| Project No.: | 25-61    |
| Scale:       | AS NOTED |
| Issue Date:  | 09.25.25 |
| Drawn:       | TS       |

BUILDING  
ELEVATIONS

A2



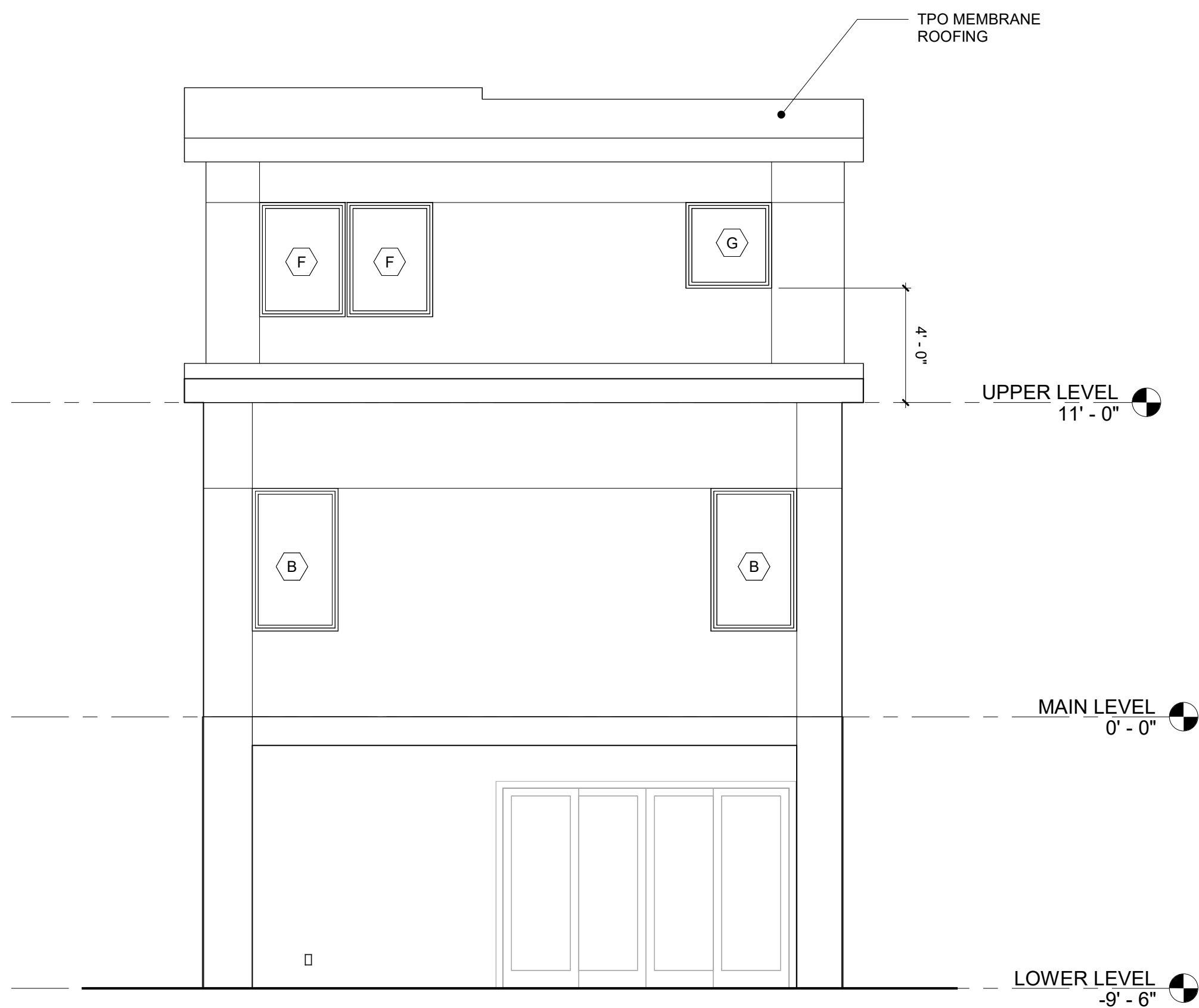
1 BUILDING ELEVATION - NORTH

SCALE: 1/4"=1'-0"



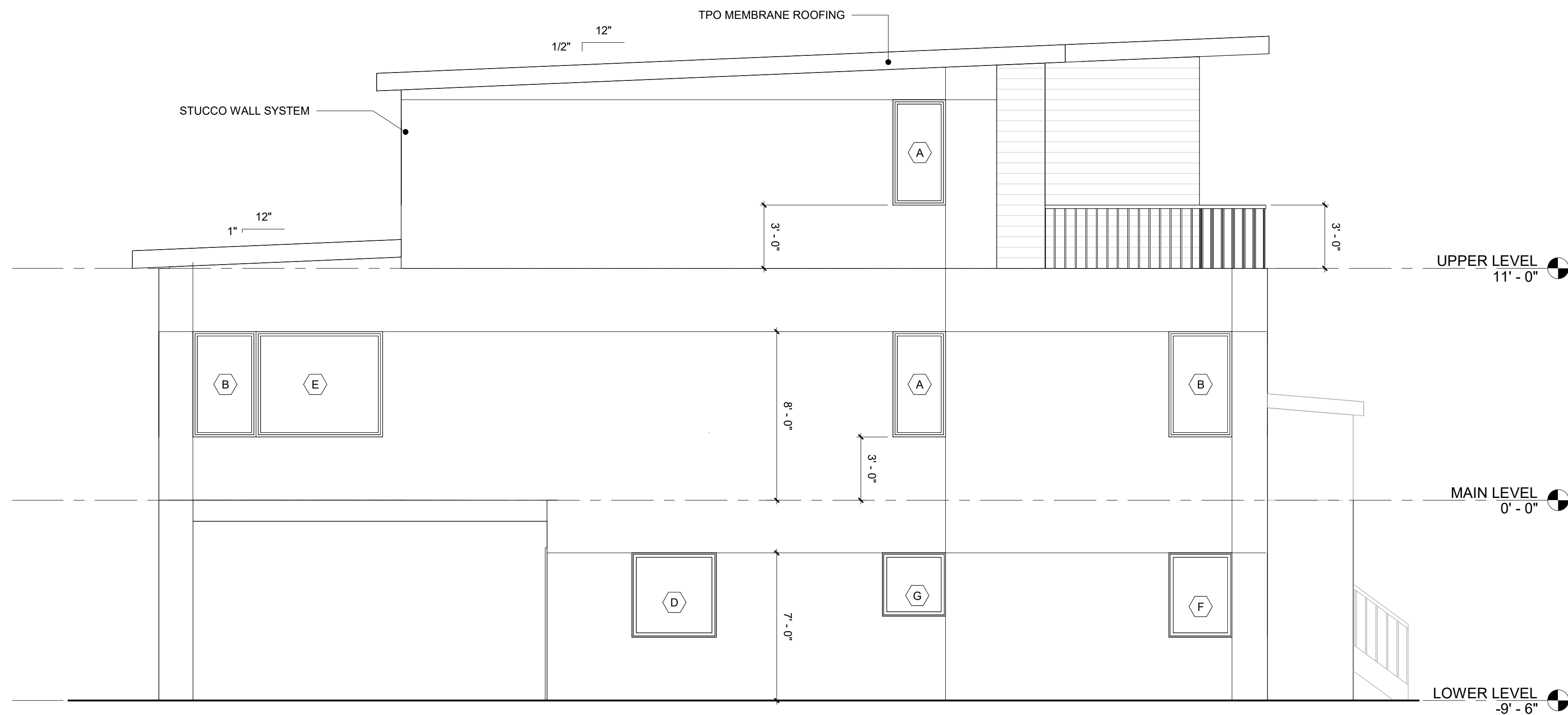
2 BUILDING ELEVATION - NORTH

SCALE: 1/4"=1'-0"



3 BUILDING ELEVATION - SOUTH

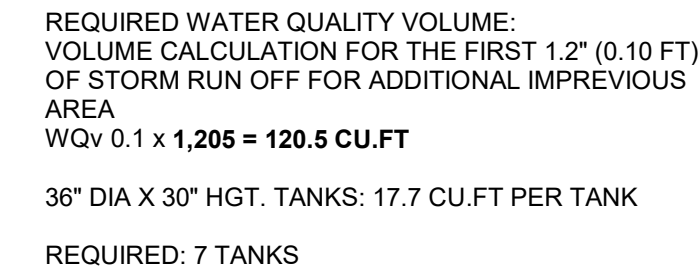
SCALE: 1/4"=1'-0"



4 BUILDING ELEVATION - SOUTH

SCALE: 1/4"=1'-0"





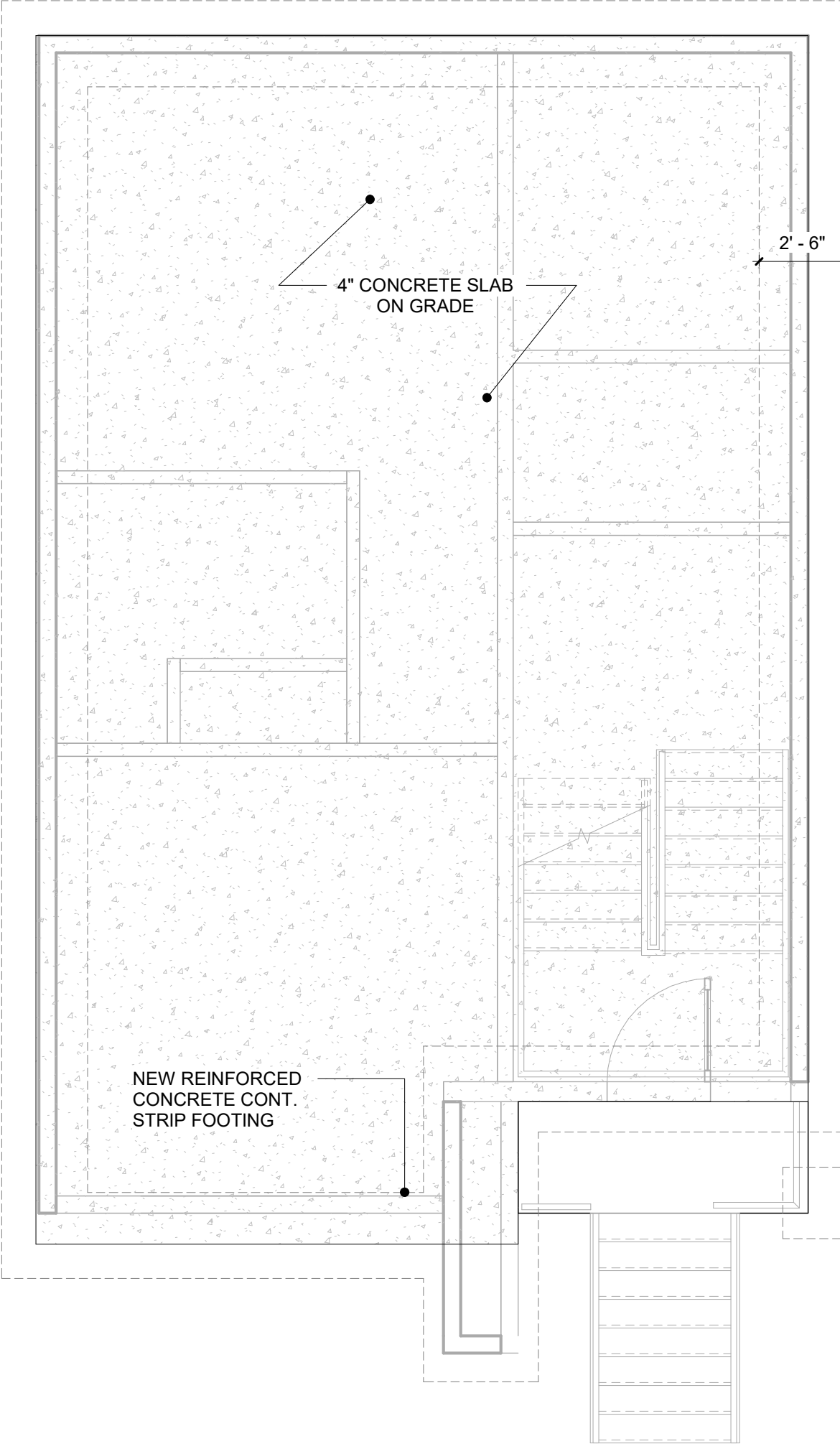
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|              |          |
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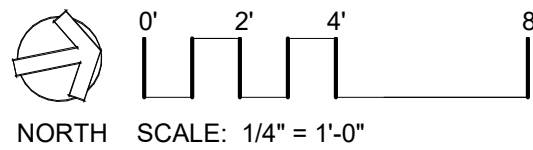
## SECTIONS & TYPICAL DETAILS

# A3

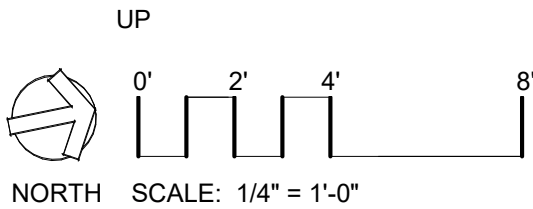




NOTE:  
1. THE ALLOWABLE MINIMUM SOIL BEARING CAPACITY = 2000PSF, PER TABLE IRC 401.4.1, AND AS UTILIZED IN DESIGN OF THE FOUNDATIONS



**SILL PLATE NOTES:** PRE IRC SECTION R403.1.6, PROVIDE MINIMUM 1/2" DIAMETER BOLT (WITH NUT AND WASHER) SPACED NOT MORE THAN 72 INCHES ON CENTER AND EMBEDDED AT LEAST 7 INCHES INTO CONCRETE OR MASONRY. TWO (2) BOLTS PER SILL PLATE SEGMENT WITH ONE BOLT LOCATED FROM THE END OF EACH SEGMENT AT LEAST 4 INCHES BUT NOT MORE THAN 12 INCHES.



1 FOUNDATION PLAN SCALE: 1/4"=1'-0"

| WALL FRAMING SCHEDULE      |   |
|----------------------------|---|
| SHEATHING:                 |   |
| WALLS:                     | 1/2" APA RATED, EXPOSURE I NAILED WITH 8D NAILS @ 6" O.C. AT PANEL EDGES IN PANEL FIELD.  |
| ROOF:                      | 5/8" APA RATED, EXPOSURE I NAILED WITH 8D NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN PANEL FIELD.   |
| FLOOR:                     | 3/4" APA RATED, EXPOSURE I NAILED WITH 8D NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN PANEL FIELD.<br>(NOTE: ACTUAL THICKNESS 1/32" LESS THAN NOTED ABOVE) |
| WALL FRAMING:              | 1ST FLOOR = 2X4 SPF #1 16" O.C. WITH BLOCKING AT 48" O.C. VERTICALLY.   |
| HEADERS LOAD BEARING WALLS |   |
| < 3'-0"                    | (2) 2x8, (1) JACK, (1) KING   |
| 3'-1" - 5'-0"              | (2) 2x12, (2) JACK, (1) KING  |
| 5'-1" - 9'-0"              | (2) 11 1/4" LVL (2) JACK, (2) KING  |
| 9'-1" - 12'-0"             | (2) 16", (3) JACK, (3) KING   |

5 STRUCTURAL SCHEDULES SCALE: NTS

2 MAIN LEVEL FRAMING PLAN SCALE: 1/4"=1'-0"

DESIGN LOADS

A. LIVE LOADS:

ELEVATED FLOOR: 40 PSF  
ROOF: 20 PSF  
SNOW: 5 PSF

B. DEAD LOADS:

ELEVATED FLOOR: 10 PSF  
ROOF: 10 PSF

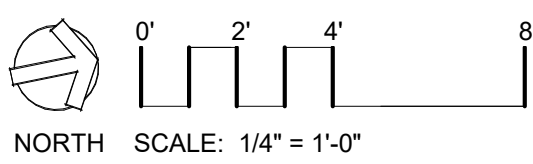
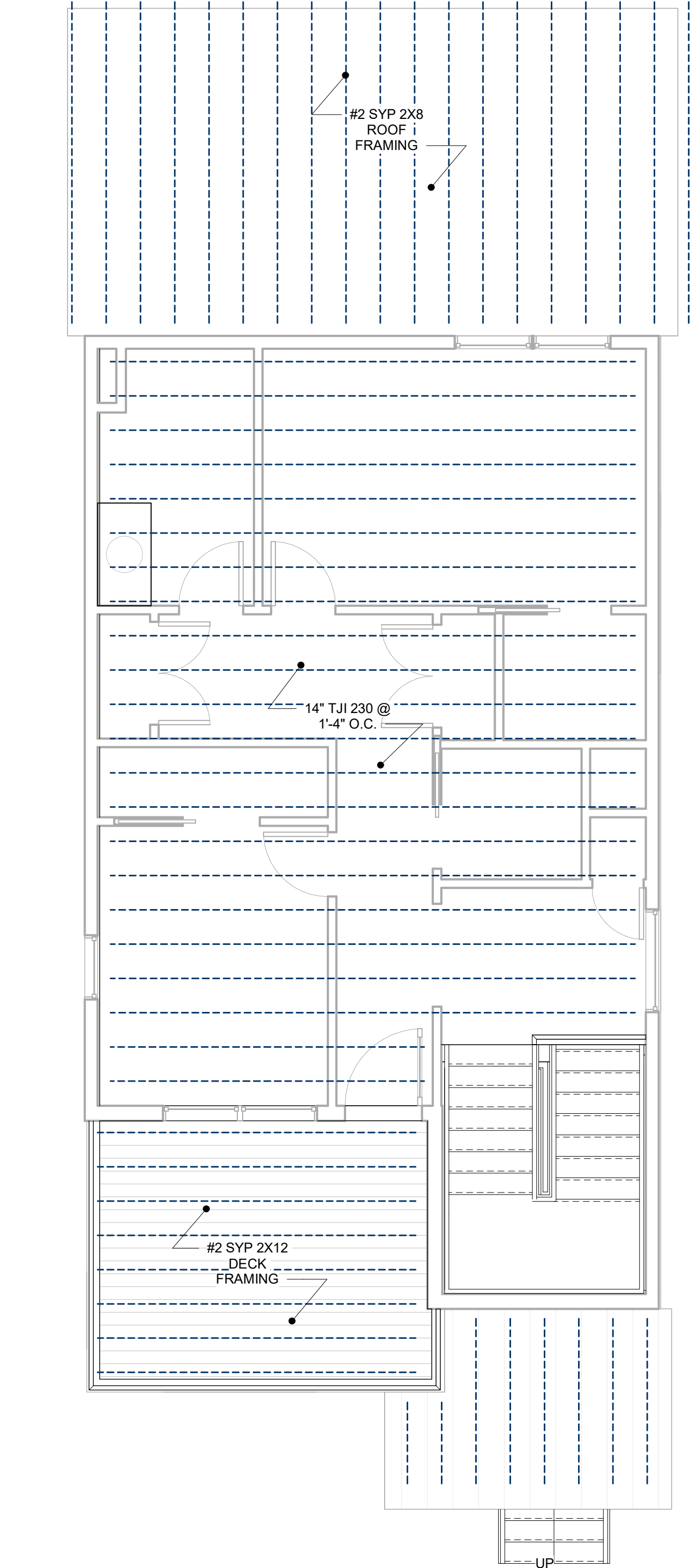
C. WIND DESIGN DATA:

Risk Category: Category II  
Exposure Category: Exposure B  
Ultimate Wind Speed (3 second gust): 115MPH  
Nominal Wind Speed: 89MPH  
Enclosure Classification: Enclosed Building  
Internal pressure Coefficient: ± 0.18

D. FROST LINE: 12"

E. WEATHERING: NEGILBLE

6 STRUCTURAL DESIGN CRITERIA SCALE: NTS



3 UPPER LEVEL FRAMING PLAN SCALE: 1/4"=1'-0"

SIZE AND SPACING ARE INDICATED ON THE DRAWING. THE FOLLOWING SPECIFICATIONS AND MEMBER GRADES SHALL BE USED FOR CONSTRUCTION.

A. PROVIDE STRUCTURAL LUMBER CONFORMING TO THE FOLLOWING STANDARDS: • ANSI/AP&PA NDS-12, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION • ANSI/AP&PA SDPWS-08, SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC • DCC PS2, PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS • ANSI/AITC A190.1-07, AMERICAN NATIONAL STANDARD, STRUCTURAL GLUED LAMINATED TIMBER • APA PRI-400-12, PERFORMANCE STANDARD FOR APA EWS I-JOISTS

B. UNLESS NOTED OTHERWISE, PROVIDE:

1. #1 GRADE SOUTHERN YELLOW PINE (SYP) OR EQUIVALENT FOR HEADERS, BEAMS, AND GIRDERS.

2. #2 GRADE SOUTHERN YELLOW PINE (SYP) OR EQUIVALENT FOR JOISTS AND RAFTERS.

3. #3 SPRUCE-PINE-FIR (SPF) (NOT SPF-S) OR #3 HEM-FIR OR EQUIVALENT FOR STUDS AND PLATES, AS WELL AS MISCELLANEOUS FRAMING AND BLOCKING.

C. PROVIDE AMERICAN PLYWOOD ASSOCIATION (APA) RATED SHEATHING WITH AN EXPOSURE CLASSIFICATION OF EXPOSURE 1, UNLESS NOTED OTHERWISE. REFER TO THE CONSTRUCTION DOCUMENTS FOR THICKNESS AND SPAN RATING. STORE STRUCTURAL SHEATHING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

D. PROVIDE LAMINATED VENEER LUMBER (LVL) BEAMS WITH A MINIMUM ALLOWABLE BENDING STRESS (FB) OF 2850 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 2000 KSI.

E. PROVIDE PARALLEL STRAND LUMBER (PSL) BEAMS WITH A MINIMUM ALLOWABLE BENDING STRESS (FB) OF 2900 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 2000 KSI

F. PROVIDE PSL COLUMNS WITH A MINIMUM ALLOWABLE COMPRESSION STRESS PARALLEL TO GRAIN (FC) OF 2500 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1800 KSI.

G. PROVIDE GLU-LAMINATED TIMBER (GLULAM) WITH A MINIMUM ALLOWABLE BENDING STRESS (FB) OF 2400 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1700 KSI.

H. PROVIDE WOOD I-JOISTS MANUFACTURED IN ACCORDANCE WITH APA PRI-400, PERFORMANCE STANDARD FOR APA EWS I-JOISTS. STORE, HANDLE, AND INSTALL WOOD I-JOISTS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

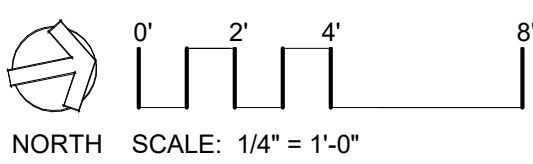
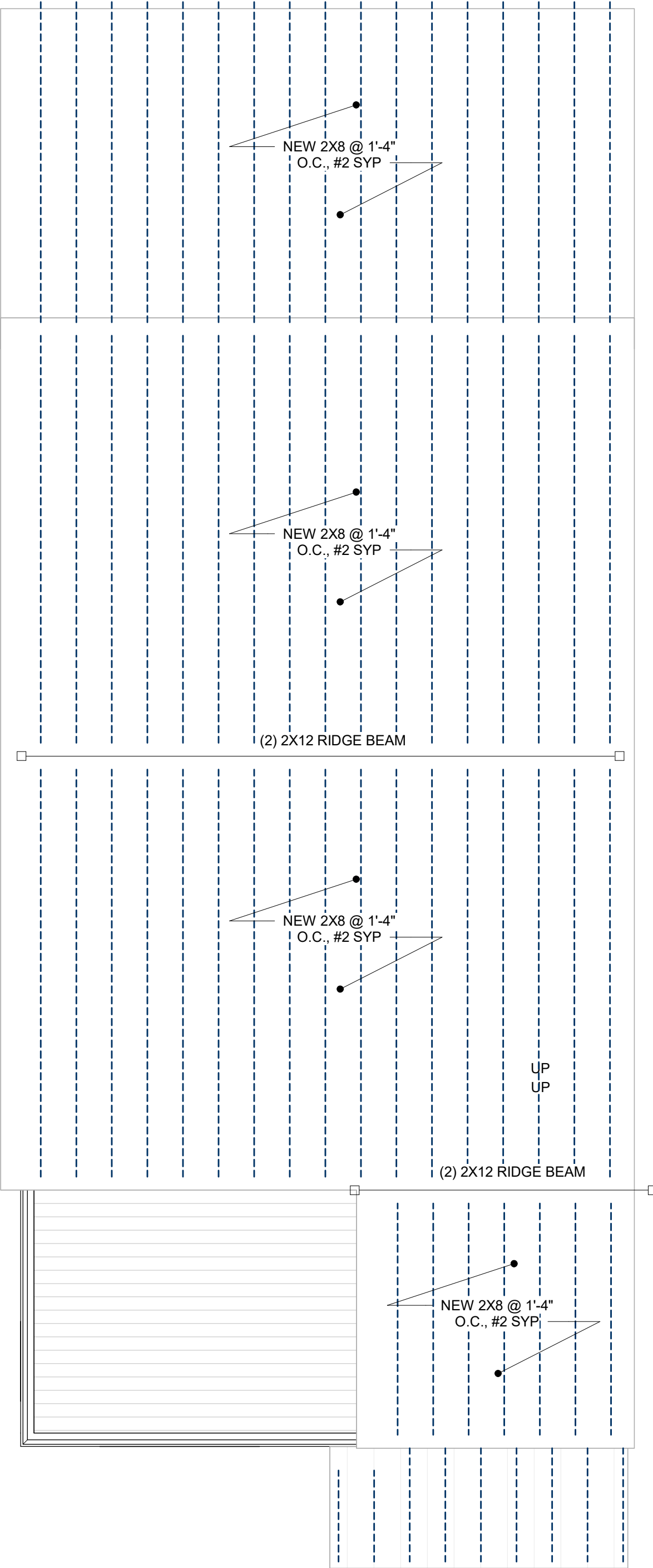
I. ALL WOOD FASTENINGS MUST CONFORM TO PART 10 OF THE NATIONAL DESIGN SPECIFICATION.

J. FASTENINGS NOT INDICATED ON PLANS AND DETAILS MUST BE IN ACCORDANCE WITH TABLE 602.3 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE.

K. UNLESS NOTED OTHERWISE, TOE NAILING AND END NAILING ARE ACCEPTABLE FOR BEARING TYPE CONNECTIONS. PROVIDE METAL CONNECTORS FOR ALL OTHER CONNECTIONS.

L. PROVIDE COMMON WIRE NAILS UNLESS NOTED OTHERWISE ON THE DRAWINGS OR RECOMMENDED OTHERWISE BY THE FRAMING CONNECTOR MANUFACTURER.

M. PROVIDE FASTENERS AND METAL FRAMING HARDWARE WITH A CORROSION RESISTANT METAL OR WITH A MINIMUM G90 GALVANIZED FINISH. FOR METAL IN CONTACT WITH PRESSURE TREATED LUMBER PROVIDE STAINLESS STEEL OR G185 GALVANIZED FINISH.



NOTE:  
1. ALL CEILING FRAMING TO BE 2X10 #1 SPF OR #2 SYP @ 1'-4" O.C. U.N.O.  
2. USE (2) 2X4 POST TO SUPPORT EACH END OF BEAMS, U.N.O.  
3. ALL POSTS TO BE CONTINUOUS TO FOUNDATION OR TRANSFER BEAM BELOW

4 ROOF FRAMING PLAN SCALE: 1/4"=1'-0"

N. UNLESS NOTED OTHERWISE, PROVIDE BLOCKING OR BRIDGING 8'-0" ON CENTER MAXIMUM AND AT ALL BEARING POINTS FOR ALL JOISTS AND RAFTERS.

O. UNLESS NOTED OTHERWISE, PROVIDE SOLID HORIZONTAL BLOCKING 6'-0" ON CENTER MAXIMUM FOR ALL LOAD BEARING STUD WALLS.

P. PROVIDE SOLID WOOD BLOCKING BEHIND ALL HORIZONTAL PANEL JOINTS OF EXTERIOR WALL SHEATHING AND INTERIOR SHEAR WALL SHEATHING.

Q. PROVIDE REINFORCEMENT (WOOD OR STEEL SIDE PIECES) FOR ANY MEMBER CUT FOR THE INSTALLATION OF PLUMBING OR WIRING SUCH THAT THE MEMBER IS OF EQUAL STRENGTH TO THE MEMBER PRIOR TO CUTTING.

R. PROVIDE JOISTS AND RAFTERS CUT TO HAVE HORIZONTAL CONTACT FOR THE FULL WIDTH OF THE SUPPORTING MEMBER.

S. UNLESS NOTED OTHERWISE, FASTEN MULTIPLE-PLY BEAMS TOGETHER WITH 16D NAILS AT 12 INCHES ON CENTER (STAGGERED).

T. PROVIDE ASTM A36 STEEL PLATES WITH BOLTING AS INDICATED ON THE CONTRACT DOCUMENTS FOR ALL FLITCH BEAMS NOTED AS MULTIPLE 2X OR LVL MEMBERS WITH ONE OR MORE PLATES.

SUBMIT SHOP DRAWINGS FOR ALL MANUFACTURED WOOD FRAMING. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED BY THE ARCHITECT OF RECORD.



| Revisions :  |          |                                 |
|--------------|----------|---------------------------------|
| No.          | Date     | Description                     |
| 0            | 09.25.25 | ISSUE FOR PERMIT & CONSTRUCTION |
| Project No.: |          | 25-61                           |
| Scale:       |          | AS NOTED                        |
| Issue Date:  |          | 09.25.25                        |
| Drawn:       |          | TS                              |

**STRUCTURAL  
PLANS & DETAILS**

**A4**





Revisions :

| No. | Date     | Description                     |
|-----|----------|---------------------------------|
| 0   | 09.25.25 | ISSUE FOR PERMIT & CONSTRUCTION |

Project No.: 25-61

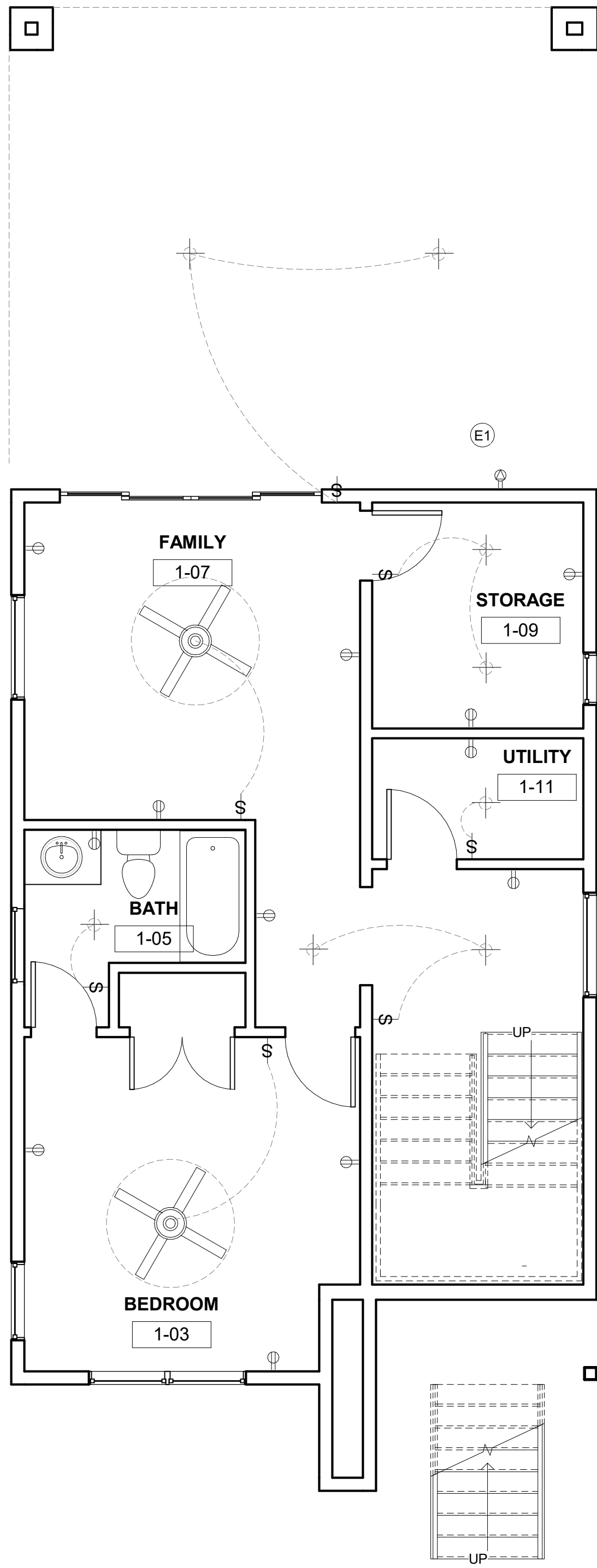
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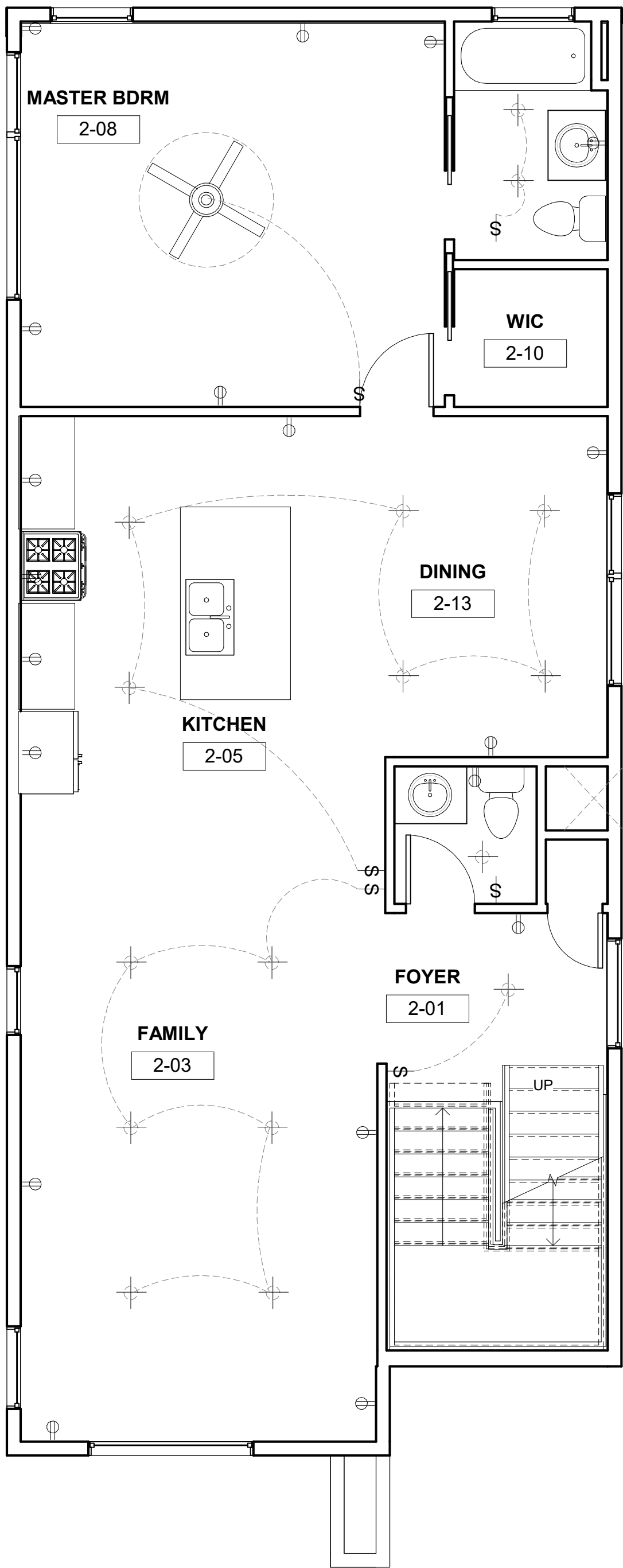
**ELECTRICAL  
PLANS & NOTES**

**E1**



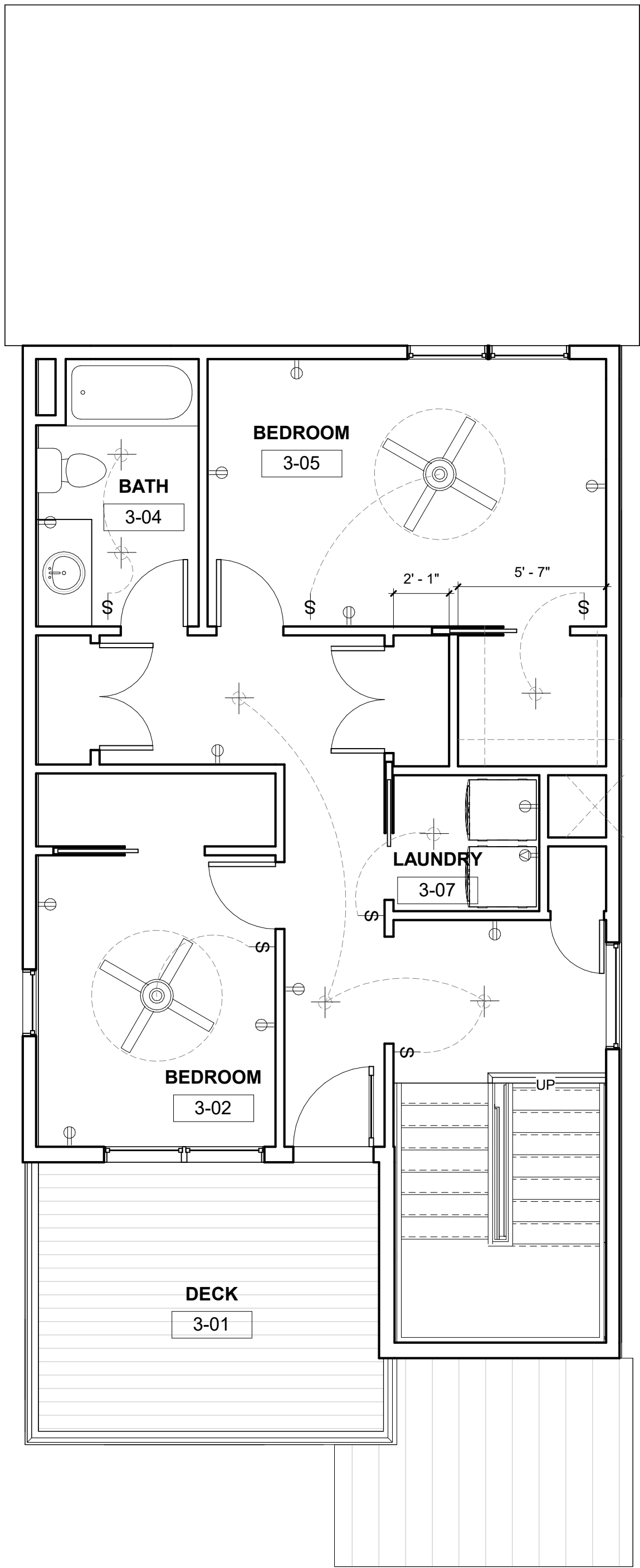
1 CONSTRUCTION PLAN - LOWER LEVEL

SCALE: 1/4"=1'-0"



2 CONSTRUCTION PLAN - MAIN LEVEL

SCALE: 1/4"=1'-0"



3 CONSTRUCTION PLAN - UPPER LEVEL

SCALE: 1/4"=1'-0"

ELECTRICAL ABBREVIATIONS:

|      |                                |       |                             |
|------|--------------------------------|-------|-----------------------------|
| ABV  | ABOVE FINISHED FLOOR           | IMC   | INTERMEDIATE METAL CONDUIT  |
| AFF  | ARCHITECT                      | INCAN | INCANDESCJUNCTION BOX       |
| ARCH | ARCHITECT                      | MCC   | METAL CLAD CABLE            |
| BEL  | BELOW                          | MCC   | MOTOR CONTROL CENTER        |
| BF   | BELOW FLOOR                    | NC    | NORMALLY CLOSED             |
| BM   | BEAM                           | NF    | NORMALLY OPEN               |
| C    | CONDUIT                        | NO    | NONFUSIBLE                  |
| CB   | CIRCUIT BREAKER                | OC    | NORMALLY OPEN               |
| CKT  | CIRCUIT                        | OC    | ON CENTER                   |
| CLG  | CEILING                        | OC    | OVERCURRENT PROTETION       |
| COL  | COLUMN                         | PC    | PHOTOCELL                   |
| CONN | CONNECT                        | PH    | PHASE                       |
| CONT | CONTINUATION                   | PL    | PILOT LIGHT                 |
| DN   | DOWN                           | PNL   | PANEL                       |
| EC   | EMPTY CONDUIT                  | PVC   | POLYVINGYL CHLORIDE CONDUIT |
| ELE  | ELEVATOR                       | RC    | REMOTE CONTROL              |
| EMT  | ELECTRICAL METALLIC TUBING     | RECPT | RECEPTACLE                  |
| EXP  | EXPOSED                        | RS    | RAPID START                 |
| F    | FUSED                          | SC    | SPLIT CIRCUIT               |
| FA   | FIRE ALARM                     | SPEC  | SPECIFICATION               |
| FIX  | FIXTURE                        | SPDT  | SINGLE POLE DOUBLE THROW    |
| FL   | FLOOR                          | ST    | SHUNT TRIP                  |
| G    | GROUND                         | SW    | SWITCH                      |
| GRP  | GROUND FAULT PROTECTION SYSTEM | TEL   | TELEPHONE                   |
| GR   | GRADE                          | TS    | TIGHT TO STRUCTURE          |
| HD   | HIGH INTENSITY DISCHARGE       | UG    | UNDERGROUND                 |
| HOA  | HAND OFF AUTOMATIC             | UN    | UNLESS OTHERWISE NOTED      |
| HPS  | HIGH PRESSURE SODIUM           | UP    | WEATHERPROOF                |
| IG   | ISOLATED GROUND                | XFMR  | TRANSFORMER                 |

ELECTRICAL SYMBOL LEGEND:

|     |                   |         |   |
|-----|-------------------|---------|---|
| \$  | SWITCH            | GFI     | G.F.C.I. DUPLEX RECEPTACLE  |
| \$3 | 3 WAY SWITCH      |         | SPECIAL PURPOSE OUTLET, NEMA CONFIG. TO MATCH                                       |
| D   | DIMMER SWITCH     |         | JUNCTION BOX CEILING/WALL/FLOOR MOUNTED   |
|     | DUPLEX RECEPTACLE | X-1,3,5 | ARROWHEAD INDICATES HOMERUN X-1,3,5 INDICATES TO PANEL X CIRCUIT NUMBERS 1,3, AND 5 |
|     | QUAD RECEPTACLE   |         | PANELBOARD-WALL MOUNTED   |

(E1) ELECTRIC VEHICLE CHARGING STATIONS. EVSE INFRASTRUCTURE SHALL:

- A. INCLUDE A RACEWAY, WHICH IS CONTINUOUS FROM THE BRANCH CIRCUIT/FEEDER PANEL LOCATION TO THE FUTURE ELECTRIC VEHICLE PARKING SPACE;
- B. THE RACEWAY SHALL BE A MINIMUM OF ONE INCH IN SIZE; AND, C. THE EVSE INFRASTRUCTURE RACEWAY SHALL INCLUDE A PULL ROPE OR LINE INSTALLED FOR FUTURE CONDUCTOR INSTALLATION, WITH THE RACEWAY SEALED AND LABELED FOR FUTURE USE.

4 PLAN LEGEND & NOTES

SCALE: NTS

5 CHARGING STATION NOTES

SCALE: NTS

6 NOT USED

SCALE: NTS