



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, December 10, 2025

Planning Department Staff Analysis



Juliana A. Njoku

Director

N3. Case No: A-25-247842

Parcel ID(s): 18 453 02 066

Commission District 05 Super District 07

Applicant: **David Thomas**
6806 Wynview Cove,
Stone Mountain, GA, 30087

Owner: **David Thomas**
6806 Wynview Cove
Stone Mountain, GA 30087

Project Name: **6806 Wynview Cove – Rear Yard Setback**

Location: 6806 Wynview Cove, Stone Mountain, GA, 30087

Request: Variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance to reduce the rear-yard setback from 40' to 20' to construct a covered porch addition to an existing single-family residence within the R-100 (Residential Medium Lot) zoning district.

Staff Recommendation: Approval with conditions.

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.
2. The proposed addition shall remain open on three sides and shall not be enclosed, conditioned, or converted into habitable space without further review and permitting.
3. Stormwater runoff from the new roof structure shall be directed away from adjoining properties through appropriate guttering or drainage controls.

STAFF FINDINGS:

The applicant requests a variance to reduce the required 40-foot rear-yard setback to 20 feet to construct a covered porch addition to an existing single-family residence at 6806 Wynview Cove. The property is zoned R-100 (Residential Medium Lot-100) and measures approximately 0.4 acres or 17,000 SF. The proposed addition would replace a small existing deck and provide covered outdoor space consistent with the architectural character of the home and surrounding neighborhood.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The subject property is located on a cul-de-sac lot with an irregular rear lot line and moderate slope descending toward the rear property boundary. The configuration of the lot and the location of the existing home limit placement options for functional outdoor improvements while maintaining compliance with the 35-foot setback. These conditions, which were not created by the current owner, constitute an extraordinary physical circumstance that justifies limited relief to allow reasonable use of the rear yard for outdoor living space.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested 20-foot reduction represents the minimum relief necessary to construct the covered porch addition. The addition will replace an existing deck in roughly the same footprint, and no further encroachment or structural expansion beyond what is shown on the site plan is proposed. The request is modest, proportionate to site constraints, and consistent with similar variances granted in comparable residential settings.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The proposed structure will not be detrimental to public welfare or injurious to adjoining properties. The addition is designed in scale with the principal dwelling, screened by existing vegetation, and will not obstruct views or access to light and air for neighboring homes. The lot's existing topography naturally directs drainage away from adjacent parcels, and the applicant proposes to manage runoff with proper downspout extensions and vegetative buffers.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict adherence of the 40-foot rear setback would prevent the homeowner from expanding the existing deck or constructing a covered outdoor area typical of comparable homes in the area. Given the lot's irregular shape and topographic limitations, denial would impose an unnecessary hardship disproportionate to the scope of the request. The proposed addition will provide a functional, covered outdoor space without altering the neighborhood's character or density.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The variance request aligns with the spirit and purpose of the Suburban Character Area of the DeKalb County Comprehensive Plan. The design respects suburban land use patterns, enhances accessibility, and maintains compatibility with community aesthetics. The addition represents a responsible improvement that supports long-term neighborhood stability.

FINAL STAFF ANALYSIS:

The application satisfies the variance criteria outlined in Section 27-2.2.1 of the DeKalb County Zoning Ordinance. The irregular lot configuration, slope, and limited rear-yard depth constitute legitimate constraints. The requested reduction is minimal and does not compromise the intent of setback regulations. Provided that drainage is properly managed and the structure remains open as proposed, staff finds the request appropriate and consistent with county policy.

Staff Recommendation: Approval with Conditions**Condition:**

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.
2. The proposed addition shall remain open on three sides and shall not be enclosed, conditioned, or converted into habitable space without further review and permitting.
3. Stormwater runoff from the new roof structure shall be directed away from adjoining properties through appropriate guttering or drainage controls.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: _____

Mailing Address: _____

City/State/Zip Code: _____

Email: _____

Telephone Home: _____ Business: _____

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: _____

Address (Mailing): _____

Email: _____ Telephone Home: _____ Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: _____ City: _____ State: _____ Zip: _____

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: _____

Zoning Classification: _____ Commission District & Super District: _____

CHECK TYPE OF HEARING REQUESTED:

_____ VARIANCE (From Development Standards causing undue hardship upon owners of property.)

_____ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)

_____ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.



DeKalb County Department of Planning & Sustainability

Hon. Michael Thurmond
Chief Executive Officer

Andrew Baker, AICP,
Director

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. _____

Applicant and/or
Authorized Representative Tara Y. Davis

Mailing Address: 6806 Wynview Cove

City/State/Zip Code: Stone Mountain Ga 30087

Email: davistara2@comcast.net

Telephone Home: 770 498 0070 Business: 404 860 0081 Fax No.: _____

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Tara Y. Davis

Address (Mailing): 6806 Wynview Cove

City/State/Zip Code: Stone Mountain, GA 30087

Email: davistara3@comcast.net

Telephone Home: 770 498 0070 Business: 404 860 0081 Fax No.: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 6806 Wynview Cove City: Stone Mountain State: GA Zip: 30087

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: _____

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: _____

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: _____

Zoning Classification: _____ Commission District & Super District: _____

CIRCLE TYPE OF HEARING REQUESTED

- VARIANCE (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIALS APPEALS OF ADMINISTRATIVE DECISIONS.

TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT

Date Received: _____

Fee Paid: _____



ZONING BOARD OF APPEALS APPLICATION AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 8/16/2025

Applicant: [Signature]
Signature

DATE: _____

Applicant: _____
Signature

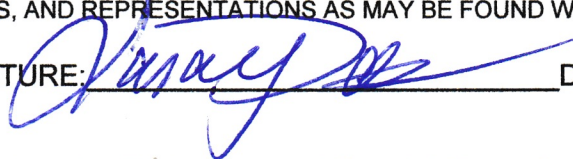
SUBMITTAL INSTRUCTIONS

I hereby authorize the staff of the DeKalb County Planning Department to inspect the premises of the above-described property.

I HEREBY CERTIFY THAT THE INFORMATION PROVIDED AS A RESULT OF THIS APPLICATION IS TRUE AND CORRECT AND THAT IF AM NOT THE PROPERTY OWNER, I AM AUTHORIZED BY THE SAME TO

MAKE SUCH REQUESTS, CLAIMS, AND REPRESENTATIONS AS MAY BE FOUND WITH THIS APPLICATION.

APPLICANT/AGENT SIGNATURE:



DATE:

8/6/25

Section 27-922 Administrative Variances and Special Exceptions

A. The Director of Planning is hereby authorized to consider and grant or deny, pursuant to the procedures and standards contained in this Section, a variance or a special exception from the following regulations:

1. Reduce by variance any front, side or rear yard setback by an amount not to exceed ten percent (10%) of the district requirement, but not including any transitional buffer zone or any setback which is a condition of zoning or special land use permit, pursuant to the standards specified in Section 27-916.
2. Reduce by variance the required spacing between buildings in districts where multiple buildings are authorized on a single lot in an amount not to exceed 10% of the requirement, but not in an amount which is less than the minimum requirement imposed by Chapter 7 of the DeKalb County Code of Ordinances, pursuant to the standards specified in Section 27-916.
3. Reduce by special exception the off-street parking or loading requirements imposed by this Chapter in an amount not to exceed ten percent (10%) of the district requirement, pursuant to the standards specified in Section 27-913.A.
4. Reduce by special exception the off-street parking requirements imposed by this Chapter for any lot which is located 1,000 feet of the boundary of a Marta Rapid Transit Station in an amount not to exceed 25 percent of the district requirement, pursuant to the standards specified in Section 27-913.B.

B. Any request for administrative variance or special exception permitted by this Section shall be filed with the Director of Planning. The Director shall review and decide upon each such application pursuant to the applicable standards referred to in each subsection above, and shall make a written decision on each such application no later than 30 days from the date such application was filed. **No administrative variance or special exception shall be authorized to delete, modify or change in any manner any condition imposed by the Board of County Commissioners or the Zoning Board of Appeals.**

ZONING BOARD OF APPEALS APPLICATION

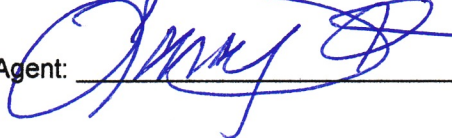
AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals
to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning
Board of Appeals for the requests as shown in this application

DATE: 8/17/25

Applicant/Agent:
Signature 

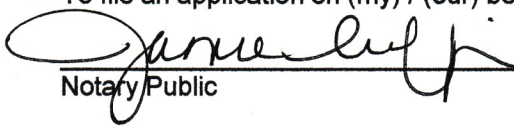
TO WHOM IT MAY CONCERN:

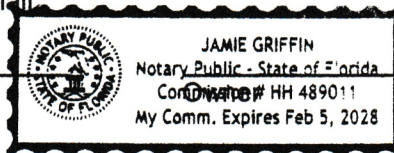
(I)/ (WE) Tara Y Davis
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to:

Tara Davis
(Name of Applicant or Representative)

To file an application on (my) / (our) behalf


Notary Public



Notary Public

Owner

Notary Public

Owner

Letter of Intent • Zoning Variance (Rear Yard Setback)

October 22, 2025

Zoning Board of Appeals
Department of Planning & Sustainability
DeKalb County
330 West Ponce de Leon Ave., Suite 500
Decatur, GA 30030

Re: Variance Request – Rear Yard Setback Reduction (15-foot encroachment)

Dear Members of the Zoning Board of Appeals,

My name is Tara Davis, owner of 6806 Wynview Cove, Stone Mountain, GA 30083 (Parcel: 18 032 02 118), zoned R-100. I respectfully request a variance to the rear yard setback to permit a single-story addition that extends 15 feet past the existing setback line. This addition is essential to create a safe, accessible main-level suite for my elderly mother, who has limited vision and will be relocating from Florida to live with our family.

Our home is two stories with no bedroom on the main level. Because of my mother's limited vision, using stairs poses a significant risk. The proposed suite will provide a step-free layout with wider doors and clearances for a possible walker or wheelchair in the future. A compact mini-kitchen equipped with adaptive, safer appliances will allow her to prepare simple meals when home alone. My mother is independent, and this addition ensures she has her own space and privacy, while allowing her to age in place safely with her family.

1) Exceptional (Physical) Conditions Creating a Hardship

The lot exhibits an irregular rear geometry and existing topography that compress the buildable area precisely where a main-level bedroom suite would logically be located. These conditions are inherent to the parcel and pre-date my ownership; they were not created by any action of the owner. The existing plumbing, and HVAC components need for this addition are located in this area, creating a logical location for the addition without over imposing on the structural integrity of the property. Strict adherence to the rear setback would unreasonably constrain an accessible, single-level design and would push the addition into less suitable areas closer to side yards—contrary to good site planning.

2) Minimum Variance Necessary (No Special Privilege)

The setback line reduction does not span the entire 288ft property line, it only affects a 20ft long section of the property, due to it's awkward point in the middle and unusual curve of the building setback line. The relief requested is limited to 15 feet of reduction—the smallest encroachment that enables a safe, ADA-sensible layout consisting of a bedroom, an accessible bathroom, and a compact kitchen on a single level. We purposefully avoided larger footprints, second stories, or any feature that might increase mass or intensity. The plan remains within height and lot-coverage limits and does not grant any special privilege unavailable to similarly situated properties.

3) Public Welfare & Compatibility with the Neighborhood

The addition is single-story, placed at the right rear, and designed to match the home's existing materials and architectural character. It preserves established sightlines, maintains required side yard setbacks, and protects mature trees and drainage patterns. Given its discreet location and modest scale, no adverse impacts to adjacent properties are anticipated.

4) Hardship if Strict Application is Enforced

If rear setback relief is denied, the only alternatives would force the suite into side yard locations, splitting the addition into 2 separate addition on both the left and right side of the property or a two-story configuration—either creating an eyesore to the community with an odd shaped footprint, diminishing interior circulation and privacy or reintroducing stairs, which directly conflicts with the safety needs of a visually impaired senior. Strict application would therefore deprive the property of a reasonable use that is compatible with the zoning district and surrounding homes.

5) Consistency with the Spirit of the Ordinance and Planning Goals

The request aligns with the spirit and intent of the zoning ordinance by facilitating safe, low-impact residential use that maintains neighborhood character and supports aging-in-place. The project does not increase density, does not create a separate dwelling unit, and strengthens the existing housing stock by enabling multi-generational living without visual or functional disruption

Scope Summary

- Variance sought: reduce rear yard setback by 15 feet to accommodate a modest, single-story rear addition.
- Program: accessible bedroom, bathroom, and compact mini-kitchen, laundry room and caregiver suite (single level).
- Design: match existing materials and height; maintain side setbacks; preserve trees and drainage patterns.

Attachments (to be included with the application)

- Stamped site plan showing requested encroachment and distances.
- Floor plan/site overlay illustrating the accessibility-driven layout.
- Current boundary survey of the property.
- Photos of the rear yard and adjacent context.

For the reasons stated above, I respectfully request approval of the 10-foot rear yard setback variance. Thank you for your time and consideration.

Sincerely,



Owner, Property at 6806 Wynview Cove

404-860-0081

FIRE SPRINKLERS

- 1) PROVIDE AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM PER NFPA 13D.
2) A 1" WATER METER W/ 1.5" DOMESTIC LINE AS REQUIRED FOR C.O.S. 'S & A'S, SECT. 8.1.1.3- RESIDENTIAL FIRE SPRINKLER SYSTEM.
3) A SEPARATE PERMIT IS REQUIRED FROM THE FIRE DEPARTMENT FOR FIRE SPRINKLER SYSTEM.

SPECIAL INSPECTIONS

PER BUILDING CODE CH. 17

- 1) STRUCTURAL STEEL CONSTRUCTION
2) STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL
3) CONCRETE CONSTRUCTION
4) WOOD CONSTRUCTION
5) SPECIAL: POST-INSTALLED ANCHORS
6) SOILS
7) FOUNDATIONS
8) OTHER: ANCHOR BOLTS
9) OTHER: CAISSONS / PIERS
10) OTHER: HELICAL STEEL PILES

GENERAL NOTES

- 1) CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ADAIR HOMES IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
2) DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CROSS CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE STRUCTURAL AND OTHER DRAWINGS AS APPLICABLE. NOTIFY ADAIR HOMES OF ANY DISCREPANCIES BEFORE COMMENCING WORK
3) WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED IN THE WORK, ALL SUCH MATERIALS AND METHODS ARE TO MAINTAIN THE STANDARDS OF THE INDUSTRY.
4) ALL CONSTRUCTION WORK SHALL BE DONE IN COMPLIANCE WITH THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AS AMENDED BY THE STATE AND ALL OTHER STATE AND LOCAL REQUIREMENTS THAT APPLY.
5) MATERIALS, EQUIPMENT, ETC., NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE INSTALLATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
6) ERRORS OR OMISSIONS IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE WORK INTENDED IN THE DRAWINGS OR SPECIFICATIONS.

LOCATION MAP

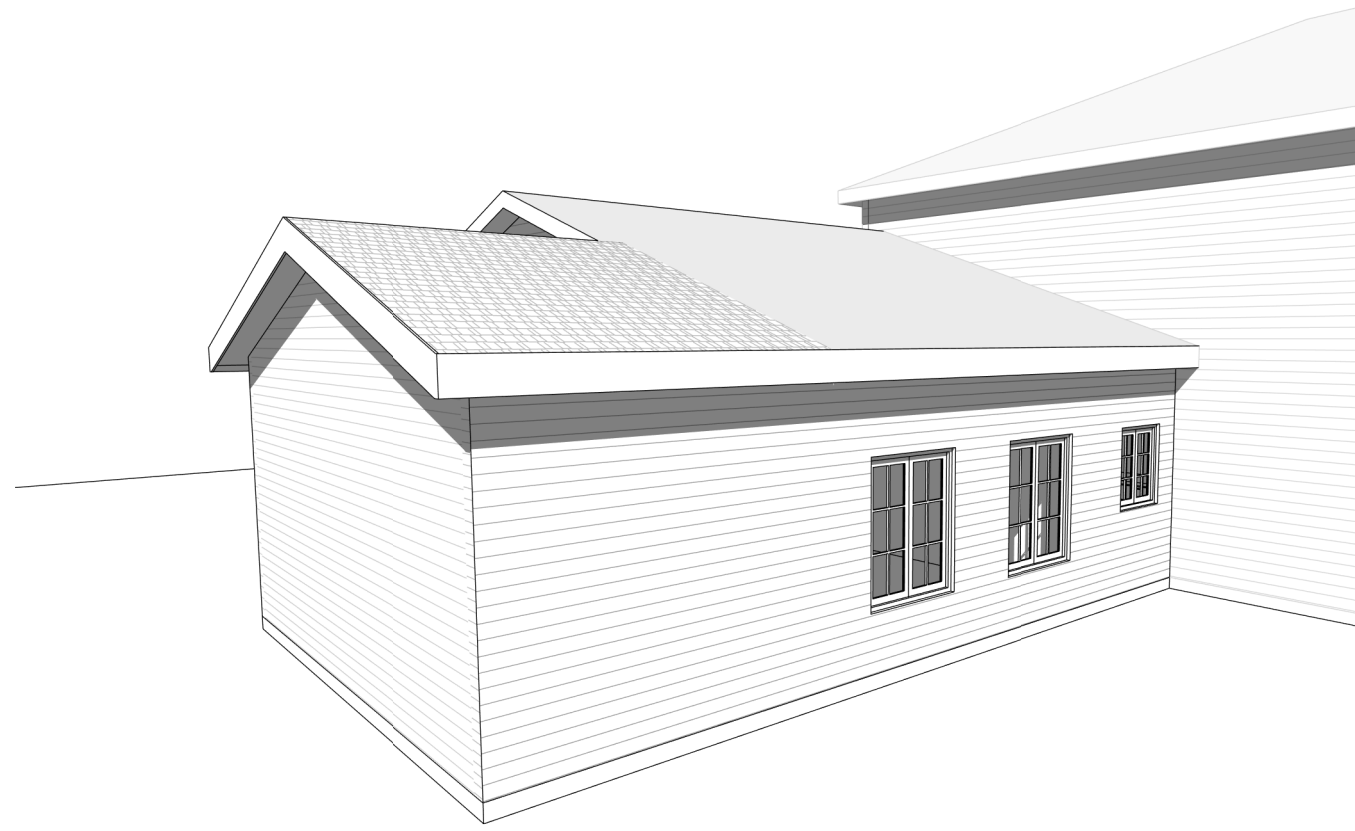
Project Address



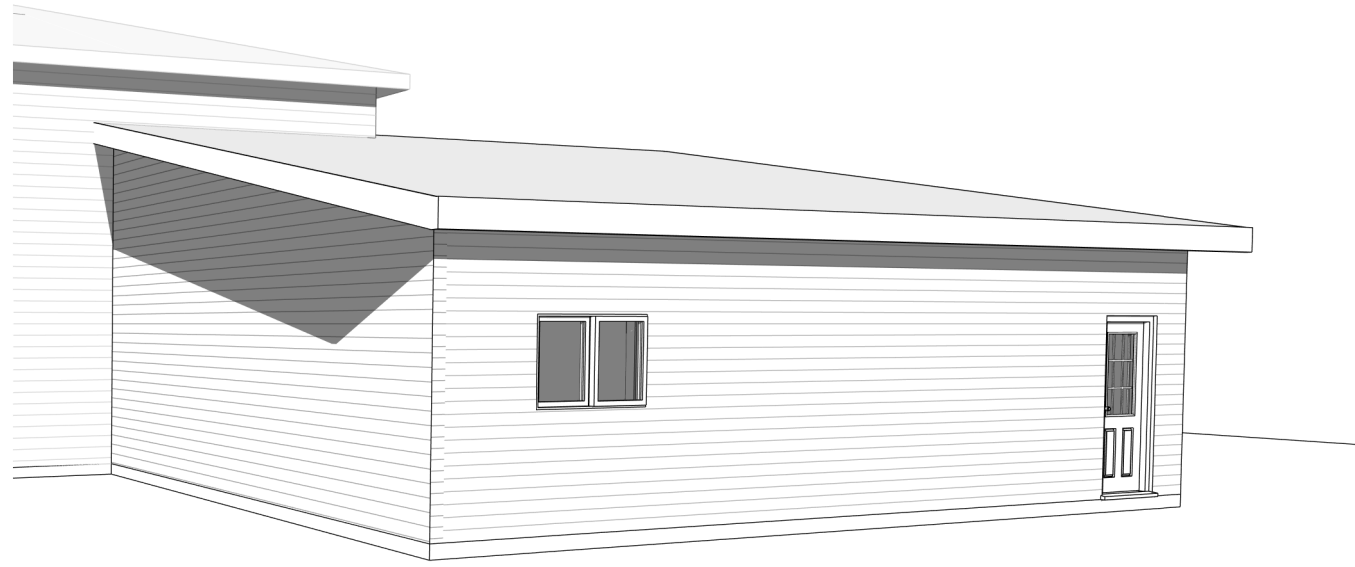
TYPICAL ABBREVIATIONS

CL	CENTER LINE	HVAC	HEATING, VENTILATION & AIR
O	DEGREE(S)	LTBD	CONDITIONING
"	INCH(ES)	MAX	LOCATION TO BE DETERMINED
'	FOOT (FEET)	MIN	MAXIMUM
#	NUMBER OR VENTILATOR	MTL	MINIMUM
X	(2x4)	NTS	METAL
AB	ANCHOR BOLT	OBS	NOT TO SCALE
A/C	AIR CONDITIONING	OC	OBSCURE
ADC	ADJUSTABLE	OPP	ON CENTER
AFF	ABOVE FINISHED FLOOR	OPT	OPOSITE
ALT	ALTERNATE, ALTERNATIVE	OSB	OPTIONAL
BATT	BATT INSULATION	PL	ORIENTED STRAND BOARD
BD	BOARD	PT	PLATE
BLDG	BUILDING	PWD	PRESSURE TREATED
BLK	BLOCK	QTY	PLYWOOD
BLKG	BLOCKING	REC'D	REQUIRED
BS	BOTH SIDES	RH	ROOM
CL	CENTER LINE	RO	ROUGH OPENING
CLG	CEILING	STN	STONE VENEER
CLO	CLOSET	SIM	SIMILAR
CLR	CLEAR(ANCE)	SYM	SYMBOL OR SYMMETRICAL
CONC	CONCRETE	T&B	TOP AND BOTTOM
CPT	CARPET CENTER	TEMP	TEMPERED OR TEMPORARY
CTR	COUNTERSINK	TO	TOP OF
CTSK	DEDICATED	TOD	TOP OF DECK
DED	DIAMETER	TOS	TOP OF SLAB
DIA	DIMENSION	TOW	TOP OF WALL
DIM	DNDOWN	TYP	TYPICAL
DN	DISHWASHER	UNO	UNLESS NOTED OTHERWISE
DW	EACH	VERT	VERTICAL
EA	EXTERIOR OR EXTENSION	VIF	VERIFY IN FIELD
EXT	FINISHED FLOOR	W	WITH
FF	FOUNDATION	WD	WOOD
FDN	FLOOR	WH	WATER HEATER
FLR	FACE OF	W/O	WITHOUT
FO	FACE OF CONCRETE	WP	FIXTURE RATED FOR WET LOCATIONS
FOC	FACE OF FINISH		
FOP	FACE OF STUD		
FOS	GYP SUM		
GYP	GYP SUM BOARD (SHEETROCK)		
GYP BD	HARDWARE		
HDW	HEIGHT		
HT			

PROPOSED ADDATION



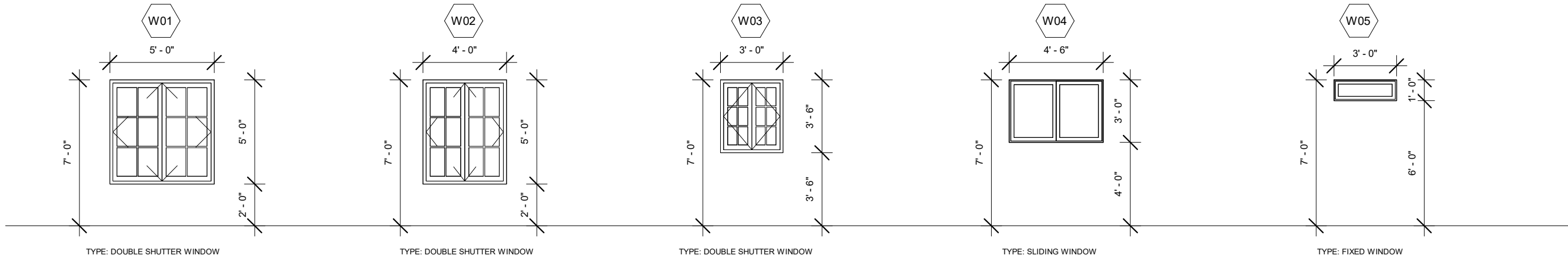
1 3D View 1



2 3D View 2

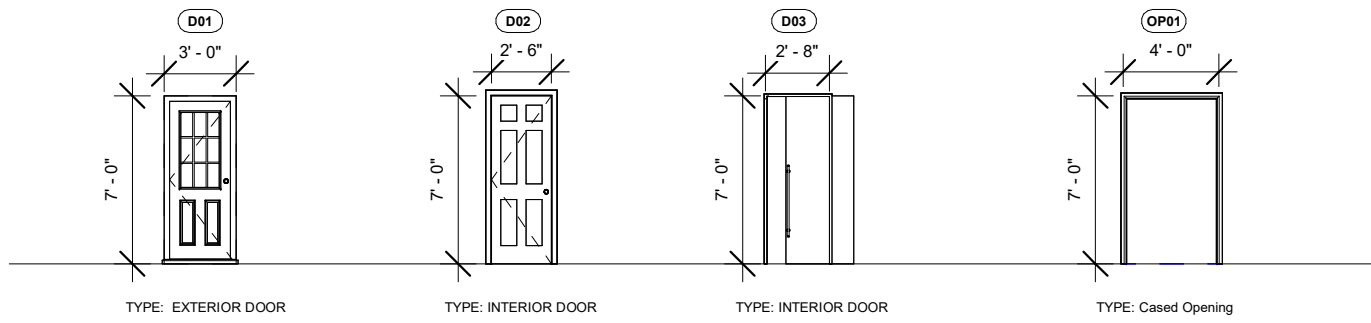
WINDOW SHEDULE				
Type Mark	Width	Height	Head Height	Count

W01	5' - 0"	5' - 0"	7' - 0"	1
W02	4' - 0"	5' - 0"	7' - 0"	2
W03	3' - 0"	3' - 6"	7' - 0"	1
W04	4' - 6"	3' - 0"	7' - 0"	1
W05	3' - 0"	1' - 0"	7' - 0"	1



DOOR SHEDULE			
Type Mark	Width	Height	Count

D01	3' - 0"	7' - 0"	1
D02	2' - 6"	7' - 0"	3
D03	2' - 8"	7' - 0"	3
OP01	4' - 0"	7' - 0"	1



DRAWING INDEX

SHEET NO.	SHEET NAME
A100	Cover
A100.1	General Notes 01
A100.2	General Notes 02
A101	Site Plan
A102	Existing Floor Plan
A103	Proposed Floor Plan
A104	Roof Plan
A105	Elevations
E200	Electrical Plan
P300	Plumbing Plan
S400	Foundation & Roof Framing Plans

BUILDING CODE CRITERIA

APPLICABLE CODES:	INCLUDING ALL ADOPTED AMMENDMENTS
BUILDING:	2023 INTERNATIONAL BUILDING CODE + 2023 RESIDENTIAL CODE w/ APPX.G
FIRE/LIFE SAFETY:	2023 INTERNATIONAL FIRE CODE
MECHANICAL:	2023 INTERNATIONAL MECHANICAL CODE
PLUMBING:	2023 INTERNATIONAL PLUMBING CODE
FUEL/GAS:	2023 INTERNATIONAL FUEL GAS CODE
ELECTRICAL:	2023 INTERNATIONAL ELECTRICAL CODE
ENERGY:	2023 INTERNATIONAL ENERGY CONSERVATION CODE

REVISION RECORD

NO	DATE:	DESCRIPTION
△		
△		
△		
△		

SUBMITTAL RECORD

NO	DATE:	DESCRIPTION

NOTICE

CONTRACTOR SHOULD VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK OR THE ORDERING OF MATERIALS.

BUILDING INFORMATION:

First Floor Area:

Proposed Living Area: 1234.50 S.ft.

PROPOSED ADDATION 6806 WYNVIEW COVE

DRAWN BY: RA | CHECKED BY: MS | APPROVED BY: Approver
DATE: JULY-2025 | DWG SCALE: As indicated | PROJECT NO: 0405

Cover

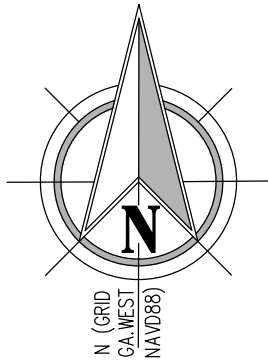
A100

SHEET OF

	G.C. INSTRUCTIONS		GENERAL PROJECT NOTES		GENERAL PROJECT NOTES		GENERAL PROJECT NOTES							
	<div>1. AT THE START OF JOB PROVIDE A SCHEDULE OF ALL ANTICIPATED SUBMITTALS AND DATES. FLAG SUBMITTALS WHICH ARE OR COULD BE CRITICAL PATH. FLAG SUBMITTALS THAT WILL BE REQUESTED TO BE EXPEDITED FASTER THAN THE STANDARD 7-10 DAYS.</div> <div>2. A SUBMITTAL LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH SUBMISSION.</div> <div>3. ALL SUBMITTALS MUST BE REVIEWED AND APPROVED WITH A STAMP AND SIGNATURE BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION. THE REVIEW WILL INCLUDE BUT NOT BE LIMITED TO:<div>3.1. CONFIRMING THAT THE SUBMITTAL MEETS THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.</div><div>3.2. COORDINATION HAS TAKEN PLACE WITH ALL INTERCONNECTING TRADES.</div><div>3.3. THE SUBMITTAL IS COMPLETE AND COMPREHENSIVE.</div></div> <div>4. REQUESTS ON SUBMITTALS FOR DIMENSIONS WHICH CAN BE DISCERNABLE THROUGH MATHEMATICAL MEANS FROM INFORMATION ALREADY PROVIDED ON THE CONTRACT DOCUMENTS WILL NOT BE PROVIDED.</div> <div>5. SUBMITTALS NOT REQUESTED BY THE CONTRACT DOCUMENTS MAY OR MAY NOT BE REVIEWED AT THE DESIGN TEAMS DISCRETION.</div> <div>6. SUBMITTALS ARE TO BE ROUTED THROUGH THE ARCHITECT AND ARE NOT TO BE SENT DIRECTLY TO ARCHITECT'S CONSULTANTS UNLESS SPECIFICALLY AUTHORIZED BY THE ARCHITECT.</div> <div>7. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.</div> <div>REQUESTS FOR INFORMATION (RFI's)</div> <div>1. THE GENERAL CONTRACTOR IS TO REVIEW ALL PROSPECTIVE RFI'S AND MAKE EVERY EFFORT TO ANSWER THEM BEFORE SUBMITTING TO THE DESIGN TEAM.</div> <div>2. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.</div> <div>3. AN RFI LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH RFI SUBMISSION ALONG WITH ANY CRITICAL RESPONSE DUE DATES.</div> <div>4. RFI'S REGARDING METHODS AND MEANS OF CONSTRUCTION WILL NOT BE REVIEWED AND WILL BE REMOVED FROM THE RFI LOG.</div> <div>5. A COMPLETE SCHEDULE OF VALUES OF THE BASE CONTRACT IS TO BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO THE START OF ANY WORK.</div> <div>6. ALL CHANGE ORDER REQUESTS ARE TO BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT PRIOR TO SUBMISSION OF A CHANGE ORDER.</div> <div>7. CHANGE ORDER REQUESTS ARE TO INCLUDE A COMPLETE BREAKDOWN BY TRADE ALONG WITH TRADE BACK-UP AND UNIT PRICING WHERE APPLICABLE.</div> <div>8. A CHANGE ORDER REQUEST AND CHANGE ORDER LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND SUBMITTED ALONG WITH EACH CHANGE ORDER REQUEST.</div>		<div>GENERAL NOTES:</div> <div>1. "BLUE STAKE" LOCATES ONLY UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTORS SHALL PROVIDE OTHER MEANS OF ON-SITE UTILITY LOCATING.</div> <div>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ESTIMATES, BIDS, CONSTRUCTION, OR OTHER ACTIONS OR DECISIONS MADE WHICH HAVE BEEN BASED ON PRELIMINARY OR UNAPPROVED PLANS.</div> <div>3. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE, VERIFY, AND ACCEPT ALL CONSTRUCTION STAKES PRIOR TO COMMENCEMENT OF CONSTRUCTION.</div> <div>4. ALL ON-SITE CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARD AND SPECIFICATIONS & DETAILS UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS.</div> <div>5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THIS PROJECT.</div> <div>DRAWING NOTES:</div> <div>1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.</div> <div>2. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB,FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS,UNLESS OTHERWISE NOTED.</div> <div>3. DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.</div> <div>4. THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.</div> <div>5. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.</div> <div>6. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.</div> <div>7. COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.</div> <div>INTERIOR / EXTERIOR NOTES:</div> <div>1. WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILINGS, ETC. IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY CONFLICT OR DISCREPANCY WITHIN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.</div> <div>2. WHERE OCCURS, CONTRACTOR SHALL PATCH ANY WALLS AND/OR CEILINGS AS NEEDED TO REFURBISH THE SPACE AND REPAIR ALL.</div> <div>3. ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS-FREE.</div> <div>JOB SITE NOTES:</div> <div>1. WHERE EXISTING TENANTS/BUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE - EXTREME NOISE CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHOULD NOTIFY BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES IN ADVANCE PRIOR TO WORK.</div> <div>2. THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL.</div> <div>3. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BUILDING REPRESENTATIVE OF THE LOCATION OF DISPOSAL SITES.</div> <div>4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER ITS COMPLETION. WHERE APPLICABLE, CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO, THE EXTERIOR AND THE INTERIOR OF THE BUILDING, THE PATH OF TRAVEL TO THE JOB SITE, PARKING LOTS,ELEVATORS, LOBBIES, AND CORRIDOR CARPETS.</div> <div>5. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.</div> <div>6. IF TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH ARE REQUIRED, OBTAIN ISSUANCE OF A BUILDING OR GRADING PERMIT.</div> <div>7. NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE & COUNTY REQUIREMENTS.</div> <div>8. CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, DIFFUSERS & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEMS.</div> <div>9. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE DONE SO IN ACCORDANCE WITH STATE & LOCAL CODES.</div> <div>10. ALL CONSTRUCTION EQUIPMENT MUST BE MAINTAINED ACCORDING TO THE MANUFACTURES SPECIFICATIONS AND NOISE GENERATING CONSTRUCTION EQUIPMENT MUST BE EQUIPPED WITH MUFFLERS. NOISE-GENERATION CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO DAYTIME HOURS.</div> <div>11. ALL CONSTRUCTION MATERIALS DEEMED HAZARDOUS AS IDENTIFIED IN ANY DEMOLITION PROCESS MUST BE CHARACTERIZED AND DISPOSED OF IN ACCORDANCE WITH CURRENT FEDERAL, STATE, AND LOCAL REQUIREMENTS.</div>		<div>2. A DEMAND-CONTROLLED HOT WATER CIRCULATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH STATE AND LOCAL CODES.</div> <div>3. COOL/LIGHT REFLECTIVE COATED ROOFS, ROOF SOLAR REFLECTANCE AND THERMAL EMITTANCE FOR ROOF SLOPES LESS THAN 2:12. THREEYEAR-AGED SOLAR REFLECTANCE INDEX (SRI) OF 64, THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A THREE-YEAR AGED THERMAL EMITTANCE OF 0.75 OVER CONDITIONED AND NON-CONDITIONED SPACES.</div> <div>4. ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.</div> <div>5. ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS.</div> <div>6. SURGE PROTECTION. ALL ELECTRICAL SERVICES SUPPLYING ONE- AND TWO-FAMILY DWELLING UNITS SHALL BE PROVIDED WITH A SURGE PROTECTIVE DEVICE (SPD) INSTALLED.</div> <div>7. THE FOLLOWING THREE NOTES ARE APPLICABLE TO NEW CONSTRUCTION ONLY :<div>A. THE BUILDING SHALL BE PROVIDED WITH A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM THAT MEETS THE STANDERD REQUIREMENTS. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.</div><div>B. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR FOR DETACHED DWELLING UNITS AND SEVEN AIR CHANGES PER HOUR FOR ATTACHED DWELLING UNITS. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BEPERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.</div><div>C. *DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE LEAKAGE BY ONE OF THE FOLLOWING METHODS.</div><div>8. ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.</div><div>9. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL PRIOR TO THE FINAL BUILDING INSPECTION.</div></div> <div>10. SEPARATE PERMITS REQUIRED: POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS.</div> <div>11. DOORS BETWEEN THE GARAGE AND RESIDENCE SHALL BE SELF-CLOSING MINIMUM 1 3/8" THICK SOLID CORE OR 20-MINUTE FIRE RATED.</div> <div>12. WOOD SILL PLATES SHALL BE PRESSURE TREATED OR DECAY RESISTANT. EXTERIOR SILL PLATES SHALL BEAR A MINIMUM OF 6 INCHES ABOVE FINISH GRADE.</div> <div>13. GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD.</div> <div>14. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.</div> <div>15. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE,SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.</div> <div>16. STORAGE-TANK TYPE WATER HEATERS SHALL BE INSTALLED WITH A DRAIN PAN AND DRAIN LINE.</div> <div>17. PROVIDE ROOF/ATTIC VENTILATION UNLESS INSULATION IS APPLIED DIRECTLY TO UNDERSIDE OF THE ROOF-SHEATHING, OR THE DEPTH IS 24 INCHES OR LESS BETWEEN THE CEILING AND BOTTOM OF ROOF SHEATHING.</div> <div>18. PROVIDE MINIMUM R-3 INSULATION ON HOT WATER PIPES.</div> <div>19. SUPPLY AND RETURN DUCTS LOCATED OUTSIDE CONDITIONED SPACE SHALL BE INSULATED TO A MINIMUM R-8. DUCTS AND AIR HANDLERS LOCATED COMPLETELY WITHIN THE CONTINUOUS AIR BARRIER AND WITHIN THE BUILDING THERMAL ENVELOPE ARE EXEMPT FROM INSULATION.</div> <div>20. EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS, NOT RECIRCULATED, OR DISCHARGED INDOORS.</div> <div>21. EXHAUST FANS IN BATHROOMS WITH A SHOWER OR TUB SHALL BE PROVIDED WITH A DELAY TIMER OR HUMIDITY/CONDENSATION CONTROL SENSOR. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.</div> <div>22. PROVIDE A WALL MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY.</div> <div>23. RECEPTACLES SERVING KITCHEN COUNTERTOPS INSTALLED IN BATHROOMS, GARAGES, UNFINISHED ACCESSORY BUILDINGS, OUTDOORS AND LOCATED WITHIN 6 FEET OF SINKS SHALL HAVE GFCI PROTECTION FOR PERSONNEL.</div> <div>24. ALL BRANCH CIRCUITS THAT SUPPLY 15- AND 20-AMPERE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.</div> <div>25. GENERAL PURPOSE 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT.</div> <div>26. PROVIDE INTERCONNECTED AND HARDWIRED SMOKE ALARMS IN NEW AND EXISTING AREAS OF HOME.</div> <div>27. APPROVED CARBON MONOXIDE ALARMS, HARDWIRED AND INTERCONNECTED, SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.</div> <div>28. PROVIDE ILLUMINATION WITH WALL SWITCHES FOR STAIRWAYS WHEN THERE ARE 6 OR MORE RISERS.</div>									
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GENERAL		ELECTRICAL	MECHANICAL	PLUMBING	ROOFING	SOILS	ENERGY CONSERVATION	REVISION RECORD
ALL PRODUCTS LISTED WILL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS WITHIN CITY STANDARDS.		RECEPTACLE PLACEMENT SHALL COMPLY WITH SECTION NEC SECTION 210.52	ALL INTERIOR METALLIC WATER AND/OR GAS PIPING WHICH MAY BECOME ENERGIZED WILL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS. A BOND (BARE COPPER NO. 4 WIRE) SHALL BE MADE BETWEEN THE BONDED PIPING SYSTEM, THE GROUNDING ELECTRODE CONDUCTOR AND THE SERVICE EQUIPMENT ENCLOSURE GROUNDING BUSS.	MINIMUM INSULATION WILL BE PROVIDED ADJACENT TO HABITABLE AREAS AS FOLLOWS: 2023 IRC (T, N1102.1.3) PRESCRIPTIVE ENERGY COMPLIANCE	PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND EVALUATION REPORT TO INSPECTOR AT TIME OF INSPECTION	SOIL BEARING CAPACITY, COMPACTION, ENGINEERED FILL, BACKFILLING, ETC., ARE ALL TO BE PERFORMED PER PROJECT SOILS REPORT PLUS ANY ADDITIONAL SUPPLEMENTS.	THE BUILDING THERMAL ENVELOPE SHALL BE SEALED AND MUST: 1. BE IMPERMEABLE TO AIR FLOW. 2. BE CONTINUOUS OVER THE ENTIRE BUILDING ENVELOPE. 3. BE DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING. 4. HAVE ALL SEAMS AND EDGES SEALED/TAPED PER MANUFACTURER'S SPECIFICATIONS.	NO. DATE: DESCRIPTION
WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA		PROVIDE RECEPTACLES AT KITCHEN COUNTER EVERY 24" - RECEPTACLES SHALL BE PLACED OVER ANY COUNTER 12" OR WIDER AND SHALL BE LOCATED AS SHOWN ON ELECTRICAL LAYOUT PLAN	PROVIDE A MINIMUM OF 20" OF BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS NOT LESS THAN 1/2" DIAMETER, OR BARE COPPER CONDUCTOR, NOT SMALLER THAN #4 AWG, ENCASED BY AT LEAST 2" OF CONCRETE, AND LOCATED WITHIN AND AT THE BOTTOM OF A CONCRETE FOUNDATION FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH. CONDUCTOR TO BE SET A MINIMUM OF 12" BELOW FINISHED GRADE.	FENESTRATION/GLAZING: SHGC: 0.25 MAX. U-FACTOR: 0.40 MAX. INSULATION: FRAME WALLS: R-19 (2x6) R-13 (2x4) CMU/MASS WALLS: R-6 ATTIC: R-49	SECURITY EXTERIOR DOORS WILL COMPLY WITH ALL PROVISIONS OF APPLICABLE BUILDING CODE. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED AT A DOOR OR THE ACTIVE LEAF OF A PAIR OF DOORS. DEVICES WILL NOT BE INSTALLED IN A MANNER TO PREVENT PROPER EGRESS THROUGH DOORS OR BEDROOM WINDOWS AS SPECIFIED IN APPLICABLE CODE SECTION. IRC SECTIONS R310 AND R311 ALL OPERABLE OPENINGS IN EXTERIOR WALLS & IN THE ROOF LESS THAN 16 FEET ABOVE GRADE OR ADJACENT TO A ROOF SURFACE, BALCONY, STAIR LANDING, OR SIMILAR STRUCTURE SHALL BE PROVIDED WITH SECURITY DEVICES TO PREVENT UNLAWFUL ENTRY FROM THE OUTSIDE.	DESIGNER ASSUMES FULL RESPONSIBILITY FOR FOUNDATION DESIGN FOR FAILURE TO PROVIDE DESIGNER AND ENGINEER WITH SOILS REPORT. DESIGNER ASSUMES NO LIABILITY FOR SOIL CONDITIONS ON THE SITE. PROVIDE TERMITE PROTECTION PER THE STRUCTURAL PEST CONTROL COMMISSION'S RECOMMENDATIONS AND BULLETIN 64. MINIMUM FINISHED FLOOR ELEVATION WILL BE 12" PLUS 2% ABOVE THE STREET GUTTER DISCHARGE POINT. SLOPE FINISH GRADE AWAY FROM STRUCTURE AT 5% FOR A DISTANCE OF 10' TO AN APPROVED WATER DIAPOSAL AREA OR PER SOILS REPORT - BUILDING OFFICIAL'S DISCREPTION. FINISH FLOOR ELEVATION (AS-BUILT) WILL BE CERTIFIED BY THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION (F.E.M.A.) WHERE REQUIRED.	MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUID ABOVE 105° F OR BELOW 55° F SHALL BE INSULATED TO MINIMUM R-2. ALL SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL OUTDOOR AIR INTAKES AND EXHAUSTS SHALL BE PROVIDED WITH DAMPERS (AUTOMATIC OR GRAVITY) TO EFFECTIVELY CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.	NO. DATE: DESCRIPTION
CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQ. FT.		OUTLETS WITHIN 4 FT OF A SOURCE OF WATER SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTED CIRCUIT (GFI) NEC SECTION 210.52 (c).	TELEPHONE SERVICE SHALL BE GROUNDED PER ARTICLE 800 OF THE NEC	INTERIOR MATERIAL PROVIDE 1/2" GYPSUM BOARD INTERIOR FINISH THROUGHOUT UNLESS NOTED OTHERWISE. INSTALL DRYWALL ON WALLS AND CEILINGS ONLY AFTER DEAD LOAD HAS BEEN PLACED ON ROOF. SHOWER WALLS SHALL BE COVERED WITH CULTURED MARBLE, CERAMIC TILE, OR EQUAL FINISH TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE DRAIN. CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BOARD SHALL BE USED AS BACKERS FOR THESE FINISHES AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. KITCHEN AND BATH CEILINGS WILL BE PAINTED IN ENAMEL. ALL INTERIOR DOORS TO BE 7" HIGH, 1-3/8" HOLLOW CORE, UNLESS NOTED OTHERWISE. ALL EXTERIOR SIDE HINGED DOORS SHALL BE SOLID-CORE WOOD OR INSULATED HOLLOW METAL OR FIBERGLASS OF AT LEAST 1-3/4" THICK AND FULLY WEATHER STRIPPED.	SECURITY EXTERIOR DOORS WILL COMPLY WITH ALL PROVISIONS OF APPLICABLE BUILDING CODE. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED AT A DOOR OR THE ACTIVE LEAF OF A PAIR OF DOORS. DEVICES WILL NOT BE INSTALLED IN A MANNER TO PREVENT PROPER EGRESS THROUGH DOORS OR BEDROOM WINDOWS AS SPECIFIED IN APPLICABLE CODE SECTION. IRC SECTIONS R310 AND R311 ALL OPERABLE OPENINGS IN EXTERIOR WALLS & IN THE ROOF LESS THAN 16 FEET ABOVE GRADE OR ADJACENT TO A ROOF SURFACE, BALCONY, STAIR LANDING, OR SIMILAR STRUCTURE SHALL BE PROVIDED WITH SECURITY DEVICES TO PREVENT UNLAWFUL ENTRY FROM THE OUTSIDE.	DESIGNER ASSUMES FULL RESPONSIBILITY FOR FOUNDATION DESIGN FOR FAILURE TO PROVIDE DESIGNER AND ENGINEER WITH SOILS REPORT. DESIGNER ASSUMES NO LIABILITY FOR SOIL CONDITIONS ON THE SITE. PROVIDE TERMITE PROTECTION PER THE STRUCTURAL PEST CONTROL COMMISSION'S RECOMMENDATIONS AND BULLETIN 64. MINIMUM FINISHED FLOOR ELEVATION WILL BE 12" PLUS 2% ABOVE THE STREET GUTTER DISCHARGE POINT. SLOPE FINISH GRADE AWAY FROM STRUCTURE AT 5% FOR A DISTANCE OF 10' TO AN APPROVED WATER DIAPOSAL AREA OR PER SOILS REPORT - BUILDING OFFICIAL'S DISCREPTION. FINISH FLOOR ELEVATION (AS-BUILT) WILL BE CERTIFIED BY THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION (F.E.M.A.) WHERE REQUIRED.	MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUID ABOVE 105° F OR BELOW 55° F SHALL BE INSULATED TO MINIMUM R-2. ALL SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL OUTDOOR AIR INTAKES AND EXHAUSTS SHALL BE PROVIDED WITH DAMPERS (AUTOMATIC OR GRAVITY) TO EFFECTIVELY CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.	NO. DATE: DESCRIPTION
ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH THE APPROPRIATE TRADES, DRAWINGS AND SUB-CONTRACTORS PRIOR TO CONSTRUCTION		SMOKE DETECTORS SHALL: BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, BE PERMANENTLY WIRED AND INTERCONNECTED. HAVE BATTERY BACKUP COMPLY WITH CODE SECTION FOR LOCATIONS AT DIFFERING CEILING HEIGHTS. IRC SECTION R314 BE PLACED NO MORE THAN 12" NOR LESS THAN 6" FROM CEILINGS. BE ON EACH FLOOR LEVEL. BE MOUNTED IN CLOSE PROXIMITY TO THE STAIRWAY ON UPPER FLOOR LEVEL. BE 3'-0" MINIMUM AWAY FROM ANY DUCT OPENING.	EXTERIOR MATERIAL PROVIDE 3/4" THICK FIBER REINFORCED STUCCO SYSTEM OVER WIRE LATH (UES ER-382 OR EQUAL) OVER WEATHER-RESISTIVE BARRIER WHEN SO INDICATED ON THE ELEVATIONS. THIS WEATHER-RESISTIVE BARRIER WHEN APPLIED OVER STUD FRAMING SHALL CONSIST OF 1" THICK, 1.5 P.C.F. DENSITY, TYPE II, TONGUE AND GROOVE E.P.S. INSULATION BOARD (ESR-1587 OR OTHER APPROVED TYPE II EQUAL). THIS WEATHER-RESISTIVE BARRIER WHEN APPLIED OVER WOOD BASE SHEATHING WILL CONSIST OF THE WEATHER-RESISTIVE BARRIER LISTED ABOVE OVER ONE LAYER 15 LB FELT OR TWO LAYER GRADE "D" KRAFT WATERPROOF BUILDING PAPER, PER IRC SECTION R703. FOAM APPLICATIONS SHALL COMPLY WITH APPLICABLE CODE REQUIREMENTS PER IRC SECTION R316. PROVIDE CONTINUOUS 26 GA. CORROSION-RESISTANT WEEP SCREED WITH VERTICAL ATTACHMENT FLANGE OF 3-1/2" AT MINIMUM OF 3/4" BELOW FOUNDATION PLATE LINE AND MINIMUM 4" ABOVE FINISH GRADE ON ALL EXTERIOR STUD WALLS. EXTERIOR RATED FINISHES SHALL BE APPLIED TO UNDERSIDE OF FRAMING AS SOFFIT MATERIAL AT PORCH. GYPSUM BOARD USED AT ANY EXTERIOR LOCATION MUST BE APPROVED EXTERIOR TYPE ESR-1338 OR APPROVED EQUAL. THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATIONS BE ON THE JOB BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF WORK AND BEFORE FINAL INSPECTION AND THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE HOME OWNER.	MECHANICAL ALL APPLIANCES INSTALLED IN GARAGE, OR ACCESSIBLE FROM INSIDE OF GARAGE, SHALL BE FIRE RATED. ALL FANS EXHAUSTING TO THE EXTERIOR WILL BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE ROOM WHERE THEY ARE LOCATED. POINT OF DISCHARGE OR EXHAUST AIR WILL BE AT LEAST 3'-0" FROM ANY OPENING INTO BUILDING. PROVIDE A PERMANENT ELECTRICAL RECEPTACLE AND LIGHT FIXTURE IN ATTIC AREAS AT HVAC THAT REQUIRES SERVICING CONTROLLED BY A SWITCH AT THE ACCESS OPENING. PROVIDE 24" WIDE, 1/2" CDX PLYWOOD CATWALK TO ATTIC HVAC EQUIPMENT WITH A PLATFORM AT AIR HANDLER VERIFY WITH MECHANICAL CONTRACTOR. ALL EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS, OR CONDUITS SHALL BE SEALED.	SECURITY EXTERIOR DOORS WILL COMPLY WITH ALL PROVISIONS OF APPLICABLE BUILDING CODE. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED AT A DOOR OR THE ACTIVE LEAF OF A PAIR OF DOORS. DEVICES WILL NOT BE INSTALLED IN A MANNER TO PREVENT PROPER EGRESS THROUGH DOORS OR BEDROOM WINDOWS AS SPECIFIED IN APPLICABLE CODE SECTION. IRC SECTIONS R310 AND R311 ALL OPERABLE OPENINGS IN EXTERIOR WALLS & IN THE ROOF LESS THAN 16 FEET ABOVE GRADE OR ADJACENT TO A ROOF SURFACE, BALCONY, STAIR LANDING, OR SIMILAR STRUCTURE SHALL BE PROVIDED WITH SECURITY DEVICES TO PREVENT UNLAWFUL ENTRY FROM THE OUTSIDE.	DESIGNER ASSUMES FULL RESPONSIBILITY FOR FOUNDATION DESIGN FOR FAILURE TO PROVIDE DESIGNER AND ENGINEER WITH SOILS REPORT. DESIGNER ASSUMES NO LIABILITY FOR SOIL CONDITIONS ON THE SITE. PROVIDE TERMITE PROTECTION PER THE STRUCTURAL PEST CONTROL COMMISSION'S RECOMMENDATIONS AND BULLETIN 64. MINIMUM FINISHED FLOOR ELEVATION WILL BE 12" PLUS 2% ABOVE THE STREET GUTTER DISCHARGE POINT. SLOPE FINISH GRADE AWAY FROM STRUCTURE AT 5% FOR A DISTANCE OF 10' TO AN APPROVED WATER DIAPOSAL AREA OR PER SOILS REPORT - BUILDING OFFICIAL'S DISCREPTION. FINISH FLOOR ELEVATION (AS-BUILT) WILL BE CERTIFIED BY THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION (F.E.M.A.) WHERE REQUIRED.	MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUID ABOVE 105° F OR BELOW 55° F SHALL BE INSULATED TO MINIMUM R-2. ALL SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL OUTDOOR AIR INTAKES AND EXHAUSTS SHALL BE PROVIDED WITH DAMPERS (AUTOMATIC OR GRAVITY) TO EFFECTIVELY CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.	NO. DATE: DESCRIPTION
DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS.		ALL ELECTRICAL BOXES LOCATED IN GARAGE WALLS THAT ARE COMMON TO LIVABLE SPACES TO BE OF METAL OR OF U.L. APPROVED FIRE-RESISTIVE PLASTIC. RECEPTACLE BOXES LOCATED IN GARAGE CEILINGS SHALL BE METAL. RECEPTACLE BOXES SUPPORTING A CEILING FAN MUST BE LISTED AND APPROVED FOR THIS APPLICATION. ALL SURFACE MOUNTED CEILING FIXTURES IN CLOSETS SHALL BE 24" FROM ALL SHELVED WALLS TWO OR MORE 20 AMPERE SMALL APPLIANCE CIRCUITS WILL BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND DINING ROOM. SUCH CIRCUITS SHALL HAVE NO OTHER OUT-LET HAVE LETS IN ACCORDANCE WITH APPLICABLE NEC REQUIREMENTS NEC SECTION 210.11(c) ATTIC WIRING MUST BE PROTECTED WITHIN 6'-0" OF AN ATTIC ACCESS. PROVIDE A SEPARATE 110V, 20 AMPERE CIRCUIT IN UTILITY/ LAUNDRY ROOM FOR WASHING MACHINE. THIS CIRCUIT TO NO OTHER RECEPTACLES AS PER APPLICABLE NEC SECTION NEC SECTION 210.11(c)(2) . EXHAUST FANS TO EXTERIOR TO PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. PROVIDE A RECEPTACLE WITHIN 25' OF THE MECHANICAL EQUIPMENT FOR SERVICING. PER NEC SECTION 210.63 . ELECTRICAL PANELS, ELECTRICAL EQUIPMENT, AND SERVICE DISCONNECTS REQUIRE A 30" WIDE, 36" DEEP, AND 78" HIGH CLEAR WORKING SPACE PROVIDED IN FRONT ALL FIXTURES AT EXTERIOR OF HOUSE TO BE LISTED FOR WET LOCATIONS - NEC SECTION 410.10 AND 410.96 IRC SECTION E9305.11 . FIXED APPLIANCES REQUIRE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR. RECESSED INCANDESCENT LIGHTS SHALL COMPLY WITH NEC SECTION 410.110 . RECESSED LIGHT FIXTURE LOCATIONS MUST BE COORDINATED WITH THE MECHANICAL CONTRACTOR TO AVOID CONFLICTS. TELEPHONE JACKS TO BE PLACED WITHIN 12" OF AN ELECTRICAL RECEPTACLE AT ALL LOCATIONS SHOWN. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 & 20 AMP OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNKROOMS, RECREATION ROOMS, LAUNDRY ROOMS, UTILITY ROOMS, CLOSETS, HALLWAYS AND ALL SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION NEC SECTION 210.12 IRC SECTION E9302.16	FLASHING PROVIDE 30 LB. FELT BUILDING PAPER AS FLASHING AT ALL HEADS, JAMBS AND SILLS OF WINDOW AND DOOR OPENINGS. FLASH HORIZONTAL AND/OR SLOPED AREAS AND 6" OF VERTICAL WALL SURFACE AROUND OPENINGS. PROVIDE CONTINUOUS SEALANT WHERE STUCCO ABUTS WINDOW AND DOOR FRAMES SO AS TO PROVIDE A WEATHER-RESISTANT BARRIER.	PLUMBING FIXTURE WILL BE MARKED AS TO ITS FLOW RATE OR WITH A VERIFIABLE MODEL NUMBER AT THE TIME OF INSPECTION. HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS. PROVIDE ALL HOSE BIBBS WITH BACKFLOW PREVENTERS. ALL DISHWASHERS TO HAVE AIR GAPS INSTALLED. PROVIDE WATER HEATER WITH TEMPERATURE & PRESSURE RELIEF VALVE. T&P DRAIN LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING DOWN TO DISCHARGE INTO THE DRAIN PAN AND TERMINATING NOT MORE THAN 8" ABOVE THE RIM OF THE DRAIN PAN. PROVIDE DRAINAGE LINE FROM DRAIN PAN EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWENTY-FOUR INCHES NOR LESS THAN SIX INCHES ABOVE FINISH GRADE. DRAIN LINE SHALL BE SLOPED AND SUPPORTED AT 32" O.C. MAXIMUM AND BE A MINIMUM OF THREE FEET AWAY FROM ALL DOORS. DEADBOLTS SHALL BE HARDENED OR CONTAIN HARDENED INSERTS AND FASTENERS WHICH THREAD INTO THE CYLINDER BODY. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" INTO A HOLE THAT EXCEEDS BOLT THROW BY MINIMUM OF 1/4". A HOOK-SHAPED OR EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". JAMBS WILL BE SHIMMED SOLID FOR SIX CINCHES ABOVE AND BELOW THE DEADBOLT LOCK STRIKE PLATE. STRIKE PLATES WILL BE SECURED TO THE JAMB WITH A MIN. OF TWO SCREWS NOT LESS THAN #8 AND 2" IN LENGTH. CYLINDER GUARDS WILL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. SLIDING DOORS AND WINDOWS WILL BE PROVIDED WITH A LOCKING DEVICE AND WILL BE CONSTRUCTED AND INSTALLED OR EQUIPPED WITH A DEVICE SO AS TO PROHIBIT THE RAISING AND REMOVING OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED AND LOCKED POSITION. EXTERIOR SLIDING DOORS MUST BE EQUIPPED WITH AN AUXILIARY NON-KEYED LOCK. THE STATIONARY SECTION WILL NOT BE REMOVABLE FROM THE OUTSIDE. WINDOW PANELS WILL HAVE WEATHERSTRIP MOULDING OR GLAZING BEAD WHICH IS NOT EASILY REMOVED FROM THE OUTSIDE. AN AUXILIARY LOCK WILL BE INSTALLED ON ALL WINDOW TRACKS TO ALLOW THE WINDOW TO BE LOCKED PARTIALLY OPEN.	SECURITY EXTERIOR DOORS WILL COMPLY WITH ALL PROVISIONS OF APPLICABLE BUILDING CODE. 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DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS.		ALL ELECTRICAL BOXES LOCATED IN GARAGE WALLS THAT ARE COMMON TO LIVABLE SPACES TO BE OF METAL OR OF U.L. APPROVED FIRE-RESISTIVE PLASTIC. RECEPTACLE BOXES LOCATED IN GARAGE CEILINGS SHALL BE METAL. RECEPTACLE BOXES SUPPORTING A CEILING FAN MUST BE LISTED AND APPROVED FOR THIS APPLICATION. ALL SURFACE MOUNTED CEILING FIXTURES IN CLOSETS SHALL BE 24" FROM ALL SHELVED WALLS TWO OR MORE 20 AMPERE SMALL APPLIANCE CIRCUITS WILL BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND DINING ROOM. SUCH CIRCUITS SHALL HAVE NO OTHER OUT-LET HAVE LETS IN ACCORDANCE WITH APPLICABLE NEC REQUIREMENTS NEC SECTION 210.11(c) ATTIC WIRING MUST BE PROTECTED WITHIN 6'-0" OF AN ATTIC ACCESS. PROVIDE A SEPARATE 110V, 20 AMPERE CIRCUIT IN UTILITY/ LAUNDRY ROOM FOR WASHING MACHINE. THIS CIRCUIT TO NO OTHER RECEPTACLES AS PER APPLICABLE NEC SECTION NEC SECTION 210.11(c)(2) . EXHAUST FANS TO EXTERIOR TO PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. PROVIDE A RECEPTACLE WITHIN 25' OF THE MECHANICAL EQUIPMENT FOR SERVICING. PER NEC SECTION 210.63 . ELECTRICAL PANELS, ELECTRICAL EQUIPMENT, AND SERVICE DISCONNECTS REQUIRE A 30" WIDE, 36" DEEP, AND 78" HIGH CLEAR WORKING SPACE PROVIDED IN FRONT ALL FIXTURES AT EXTERIOR OF HOUSE TO BE LISTED FOR WET LOCATIONS - NEC SECTION 410.10 AND 410.96 IRC SECTION E9305.11 . FIXED APPLIANCES REQUIRE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR. RECESSED INCANDESCENT LIGHTS SHALL COMPLY WITH NEC SECTION 410.110 . RECESSED LIGHT FIXTURE LOCATIONS MUST BE COORDINATED WITH THE MECHANICAL CONTRACTOR TO AVOID CONFLICTS. TELEPHONE JACKS TO BE PLACED WITHIN 12" OF AN ELECTRICAL RECEPTACLE AT ALL LOCATIONS SHOWN. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 & 20 AMP OUTLETS INSTALLED IN KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNKROOMS, RECREATION ROOMS, LAUNDRY ROOMS, UTILITY ROOMS, CLOSETS, HALLWAYS AND ALL SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION NEC SECTION 210.12 IRC SECTION E9302.16	FLASHING PROVIDE 30 LB. FELT BUILDING PAPER AS FLASHING AT ALL HEADS, JAMBS AND SILLS OF WINDOW AND DOOR OPENINGS. FLASH HORIZONTAL AND/OR SLOPED AREAS AND 6" OF VERTICAL WALL SURFACE AROUND OPENINGS. PROVIDE CONTINUOUS SEALANT WHERE STUCCO ABUTS WINDOW AND DOOR FRAMES SO AS TO PROVIDE A WEATHER-RESISTANT BARRIER.	PLUMBING FIXTURE WILL BE MARKED AS TO ITS FLOW RATE OR WITH A VERIFIABLE MODEL NUMBER AT THE TIME OF INSPECTION. HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS. PROVIDE ALL HOSE BIBBS WITH BACKFLOW PREVENTERS. ALL DISHWASHERS TO HAVE AIR GAPS INSTALLED. PROVIDE WATER HEATER WITH TEMPERATURE & PRESSURE RELIEF VALVE. T&P DRAIN LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING DOWN TO DISCHARGE INTO THE DRAIN PAN AND TERMINATING NOT MORE THAN 8" ABOVE THE RIM OF THE DRAIN PAN. PROVIDE DRAINAGE LINE FROM DRAIN PAN EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWENTY-FOUR INCHES NOR LESS THAN SIX INCHES ABOVE FINISH GRADE. DRAIN LINE SHALL BE SLOPED AND SUPPORTED AT 32" O.C. MAXIMUM AND BE A MINIMUM OF THREE FEET AWAY FROM ALL DOORS. DEADBOLTS SHALL BE HARDENED OR CONTAIN HARDENED INSERTS AND FASTENERS WHICH THREAD INTO THE CYLINDER BODY. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" INTO A HOLE THAT EXCEEDS BOLT THROW BY MINIMUM OF 1/4". A HOOK-SHAPED OR EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". JAMBS WILL BE SHIMMED SOLID FOR SIX CINCHES ABOVE AND BELOW THE DEADBOLT LOCK STRIKE PLATE. STRIKE PLATES WILL BE SECURED TO THE JAMB WITH A MIN. OF TWO SCREWS NOT LESS THAN #8 AND 2" IN LENGTH. CYLINDER GUARDS WILL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. SLIDING DOORS AND WINDOWS WILL BE PROVIDED WITH A LOCKING DEVICE AND WILL BE CONSTRUCTED AND INSTALLED OR EQUIPPED WITH A DEVICE SO AS TO PROHIBIT THE RAISING AND REMOVING OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED AND LOCKED POSITION. EXTERIOR SLIDING DOORS MUST BE EQUIPPED WITH AN AUXILIARY NON-KEYED LOCK. THE STATIONARY SECTION WILL NOT BE REMOVABLE FROM THE OUTSIDE. WINDOW PANELS WILL HAVE WEATHERSTRIP MOULDING OR GLAZING BEAD WHICH IS NOT EASILY REMOVED FROM THE OUTSIDE. AN AUXILIARY LOCK WILL BE INSTALLED ON ALL WINDOW TRACKS TO ALLOW THE WINDOW TO BE LOCKED PARTIALLY OPEN.	SECURITY EXTERIOR DOORS WILL COMPLY WITH ALL PROVISIONS OF APPLICABLE BUILDING CODE. 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Survey



GENERAL NOTES:
1: This Plat has been prepared without the benefit of a current title report. Easements or encumbrances may exist that are not shown on this plat.
2: This plat is subject to any restrictions, easements, covenants or restrictions that may exist either written or unwritten.
3: Underground utilities not shown hereon may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.
4: No Geodetic monuments were found within 500 feet of this site.
5: This Plat has been prepared for the exclusive use of the person(s) or entities named hereon.

FIELD DATA:

DATE OF FIELD SURVEY 5-20-25.

THE CALCULATED POSITIONAL TOLERANCE BASED ON REDUNDANT LINEAR MEASUREMENTS OF OBSERVED POSITIONS WAS FOUND TO BE 0.01 FEET.

EQUIPMENT:
ELECTRONIC TOTAL STATION AND RTK GPS
GPS RECEIVER: TRIMBLE R12i,
SN: 6340F00404 ROVER
6340F00685 BASE
NETWORK: TRIMBLE VRS NOW RTK GNSS

N/F
ANDRIA THOMAS
549 STEWART MILL ROAD
PARCEL #18-032-02-013
DB:10270 PG:74

TOTAL AREA: 27,410.50 SQ FT, 0.62 ACRES.

CALCULATED PLAT CLOSURE: 1 FOOT IN 128,698.56 FEET

SURVEY DATA:

TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT PROPERTY: DB 17026 PG 715
PROPERTY OWNER AT TIME OF SURVEY: TARA DAVIS
PARCEL NUMBER: 18-032-02-118

REFERENCE: PLAT BOOK 130 PG 113-118

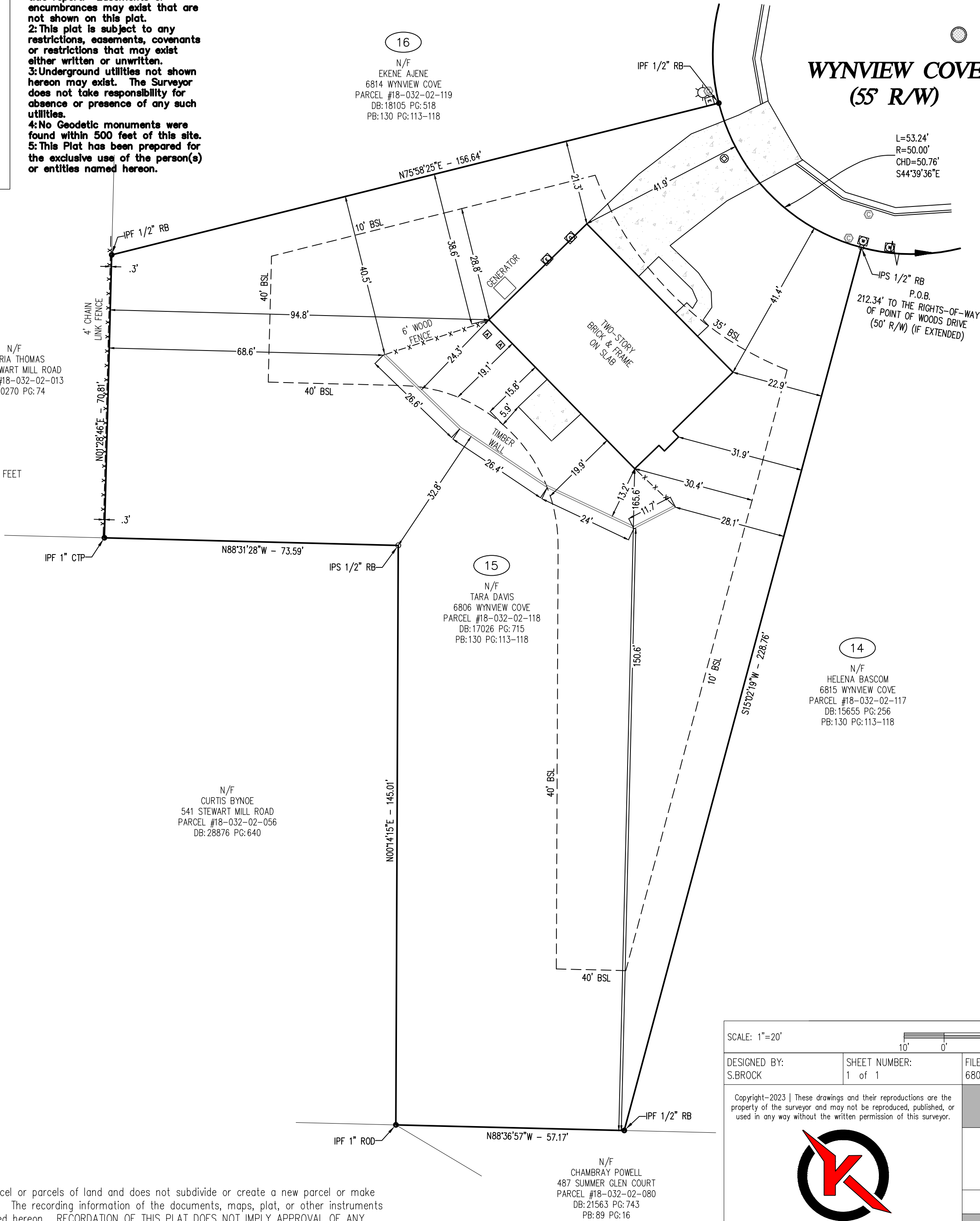
FLOOD HAZARD NOTE: THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY, GEORGIA 13089C0111K EFFECTIVE DATE DECEMBER 8, 2016



HORIZONTAL & VERTICLE DATUM:
HORIZONTAL: NORTH AMERICAN DATUM OF 1983 (2011) GEORGIA STATE PLANE, WEST ZONE.
VERTICAL: NORTH AMERICAN VERTICAL DATUM OF 1988. ORTHOMETRIC HEIGHTS WERE COMPUTED USING GEOID 18.
UNIT OF MEASURMENT IS U.S. SURVEY FOOT.
DISTANCES SHOWN ARE HORIZONTAL AT GROUND LEVEL.
THE DATUM FOR THIS SURVEY IS FROM TRIMBLE VRSNOW NETWORK

DEKALB COUNTY ZONING
PROPERTY ZONED: R-100

MINIMUM YARD SETBACKS
FRONT: 35 FEET
SIDE: 10 FEET
REAR: 40 FEET

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plat, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set for in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A Section 15-6-67



SCALE: 1"=20'		GRAPHIC SCALE -- IN FEET		CLIENT: TARA DAVIS																					
DESIGNED BY: S.BROCK		SHEET NUMBER: 1 of 1		DATE: 5-29-2025																					
FILE NAME: 6806 WYNVIEW COVE_LN		JOB NUMBER: SURV-2975																							
Copyright-2023 These drawings and their reproductions are the property of the surveyor and may not be reproduced, published, or used in any way without the written permission of this surveyor.		<div>BOUNDARY SURVEY FOR</div> <div>WYNBROOKE CHASE</div> <div>BLOCK A - LOT 15</div> <div>6806 WYNVIEW COVE</div> <div>LAND LOT 32 - 18TH DISTRICT</div> <div>UNINCORPORATED DEKALB COUNTY, GEORGIA.</div> <div>REVISIONS</div> <table><tr><td>1</td><td>8-4-25</td><td>ADD DIMENSIONS</td><td>BROCK</td></tr><tr><td>2</td><td></td><td></td><td></td></tr><tr><td>3</td><td></td><td></td><td></td></tr><tr><td>4</td><td></td><td></td><td></td></tr><tr><td>5</td><td></td><td></td><td></td></tr></table>				1	8-4-25	ADD DIMENSIONS	BROCK	2				3				4				5			
1	8-4-25	ADD DIMENSIONS	BROCK																						
2																									
3																									
4																									
5																									
<div></div> <div>KEYSTONE LAND SURVEYING, INC.</div> <div>262 WEST CROGAN STREET</div> <div>LAWRENCEVILLE, GEORGIA 30046</div> <div>770.545.8700</div> <div>www.keystonelandsurveying.com</div>		<div>5-29-2025</div> <div></div> <div>FOR</div> <div>KEYSTONE LAND SURVEYING, INC.</div> <div>www.keystonelandsurveying.com</div>																							

Site plan

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3: Underground utilities not shown hereon may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.
4: No Geodetic monuments were found within 500 feet of this site.
5: This Plat has been prepared for the exclusive use of the person(s) or entities named hereon.

FIELD DATA:

DATE OF FIELD SURVEY 5-20-25.

THE CALCULATED POSITIONAL TOLERANCE BASED ON REDUNDANT LINEAR MEASUREMENTS OF OBSERVED POSITIONS WAS FOUND TO BE 0.01 FEET.

EQUIPMENT:

ELECTRONIC TOTAL STATION AND RTK GPS
GPS RECEIVER: TRIMBLE R12,
SN: 6340F00404 ROVER
6340F00685 BASE
NETWORK: TRIMBLE VRS NOW RTK GNSS

N/F
ANDRIA THOMAS
549 STEWART MILL ROAD
PARCEL #18-032-02-013
DB:10270 PG:74

TOTAL AREA: 27,410.50 SQ FT, 0.62 ACRES.

CALCULATED PLAT CLOSURE: 1 FOOT IN 128,698.56 FEET

SURVEY DATA:

TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT PROPERTY: DB 17026 PG 715
PROPERTY OWNER AT TIME OF SURVEY: TARA DAVIS
PARCEL NUMBER: 18-032-02-118

REFERENCE: PLAT BOOK 130 PG 113-118

FLOOD HAZARD NOTE: THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY, GEORGIA 13089C0111K EFFECTIVE DATE: DECEMBER 8, 2016

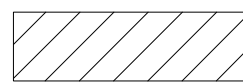
HORIZONTAL & VERTICLE DATUM:
HORIZONTAL: NORTH AMERICAN DATUM OF 1983 (2011) GEORGIA STATE PLANE, WEST ZONE.
VERTICAL: NORTH AMERICAN VERTICAL DATUM OF 1988. ORTHOMETRIC HEIGHTS WERE COMPUTED USING GEOID 18. UNIT OF MEASUREMENT IS U.S. SURVEY FOOT.
DISTANCES SHOWN ARE HORIZONTAL AT GROUND LEVEL.
THE DATUM FOR THIS SURVEY IS FROM TRIMBLE VRSNOW NETWORK

DEKALB COUNTY ZONING

PROPERTY ZONED: R-100

MINIMUM YARD SETBACKS
FRONT: 35 FEET
SIDE: 10 FEET
REAR: 40 FEET

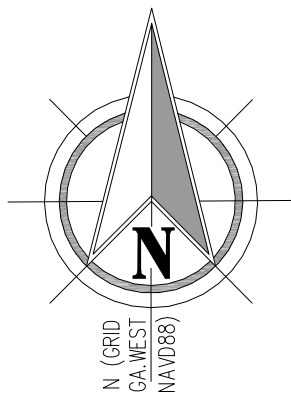
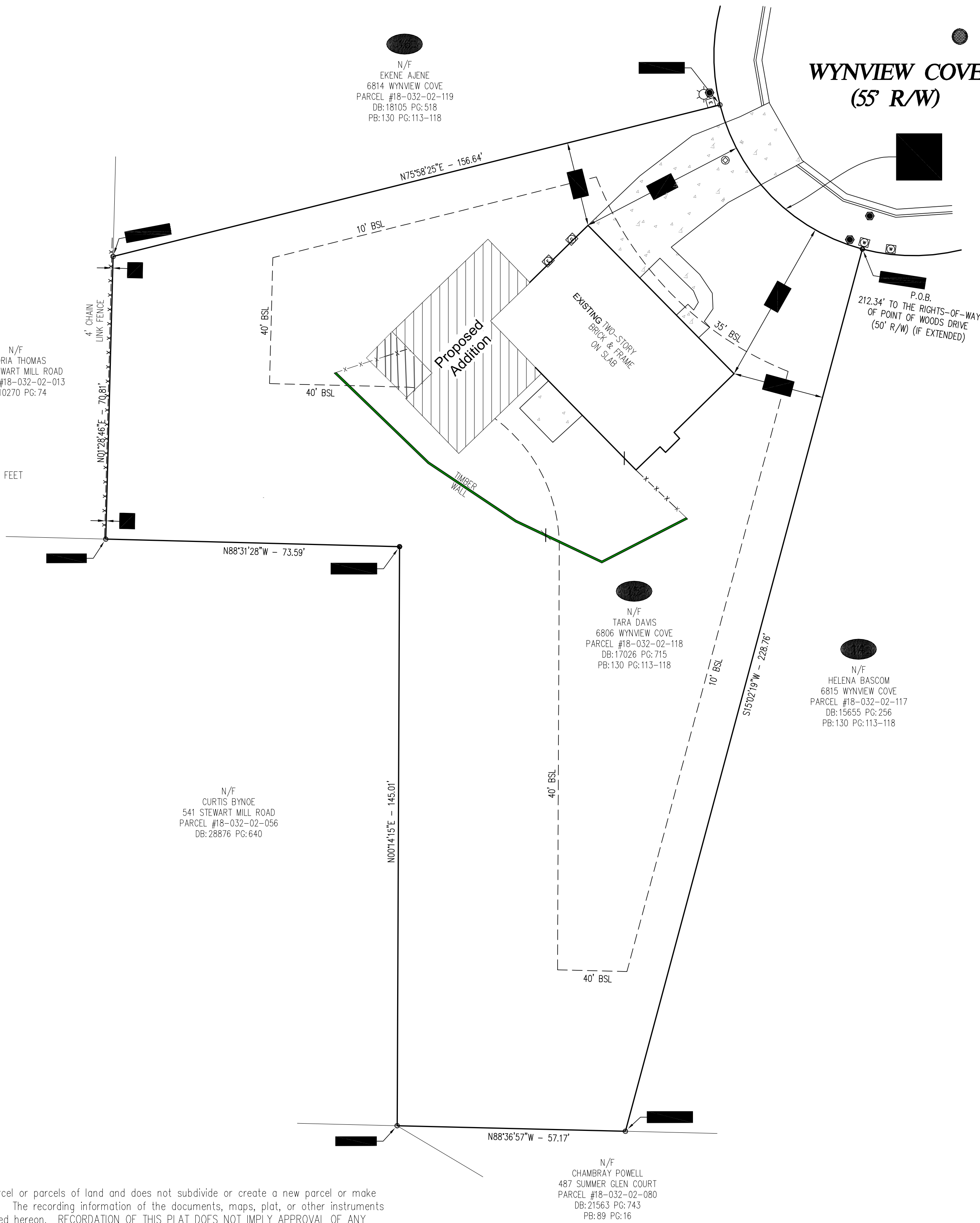
This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plat, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A Section 15-6-67



Proposed Addition



New Retaining Wall (30' back)



LEGEND	
BSL	BUILDING SETBACK LINE
DE	DRAINAGE EASEMENT (STORM)
SSE	SANITARY SEWER EASEMENT
EOP	EDGE OF PAVEMENT (CURB)
R/W	RIGHT OF WAY
S/W	SIDEWALK
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
FFE	FINISHED FLOOR ELEVATION
PAD	PAD ELEVATION
GFE	GARAGE FLOOR ELEVATION
WL	GARAGE WEATHER LIP ELEV.
MFFE	MIN. FINISHED FLOOR ELEVATION
⊗	POWER POLE
⊕	1" IRON REBAR SET
●	IRON PIN FOUND
○	BOLLARD
~	OVERHEAD POWER
▲	FIRE HYDRANT
⊗	WATER METER
⊗	WATER VALVE
⊗	GAS VALVE
⊗	GAS METER
☆	LIGHT POLE
□	CONCRETE PAD
●	TELEPHONE MARKER
⊗	AIR CONDITIONER UNIT
⊗	MAIL BOX
⊗	CLEAN OUT
⊗	SANITARY SEWER MANHOLE
▲	LEFT WING CATCH BASIN
▲	RIGHT WING CATCH BASIN
▲	DOUBLE WING CATCH BASIN
⊗	DROP INLET
)	HEADWALL

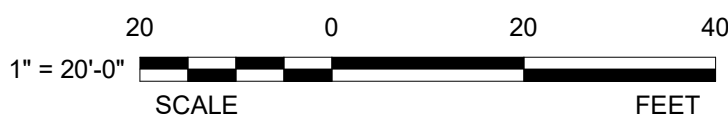
PROPOSED ADDATION
6806 WYNVIEW COVE

DRAWN BY: RA | CHECKED BY: MS | APPROVED BY: Approver
DATE: JULY-2025 DWG SCALE: 1" = 20'-0" | PROJECT NO: 0405

Site Plan

DRAWING NO.:
A101
SHEET OF

① SITE
1" = 20'-0"



Proposed addition overlay



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ANDRIA THOMAS
549 STEWART MILL ROAD
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UNIT OF MEASUREMENT IS U.S. SURVEY FOOT.
DISTANCES SHOWN ARE HORIZONTAL AT GROUND LEVEL.
THE DATUM FOR THIS SURVEY IS FROM TRIMBLE VRSNOW NETWORK

DEKALB COUNTY ZONING

PROPERTY ZONED: R-100

MINIMUM YARD SETBACKS
FRONT: 35 FEET
SIDE: 10 FEET
REAR: 40 FEET

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16
N/F
EKDNE A JENE
6814 WYNVIEW COVE
PARCEL #18-032-02-119
DB:18105 PG:618
PB:130 PG:113-118

WYNVIEW COVE
(55' R/W)

L=53.24'
R=50.00'
CHD=50.76'
S44°39'36"E

IPS 1/2" RB
212.34' TO THE RIGHTS-OF-WAY
OF POINT OF WOODS DRIVE
(50' R/W) (IF EXTENDED)

15
N/F
TARA DAVIS
6806 WYNVIEW COVE
PARCEL #18-032-02-118
DB:17026 PG:715
PB:130 PG:113-118

14
N/F
HELENA BASCOM
6815 WYNVIEW COVE
PARCEL #18-032-02-117
DB:15655 PG:256
PB:130 PG:113-118

N/F
CURTIS BYNOE
541 STEWART MILL ROAD
PARCEL #18-032-02-056
DB:25876 PG:640

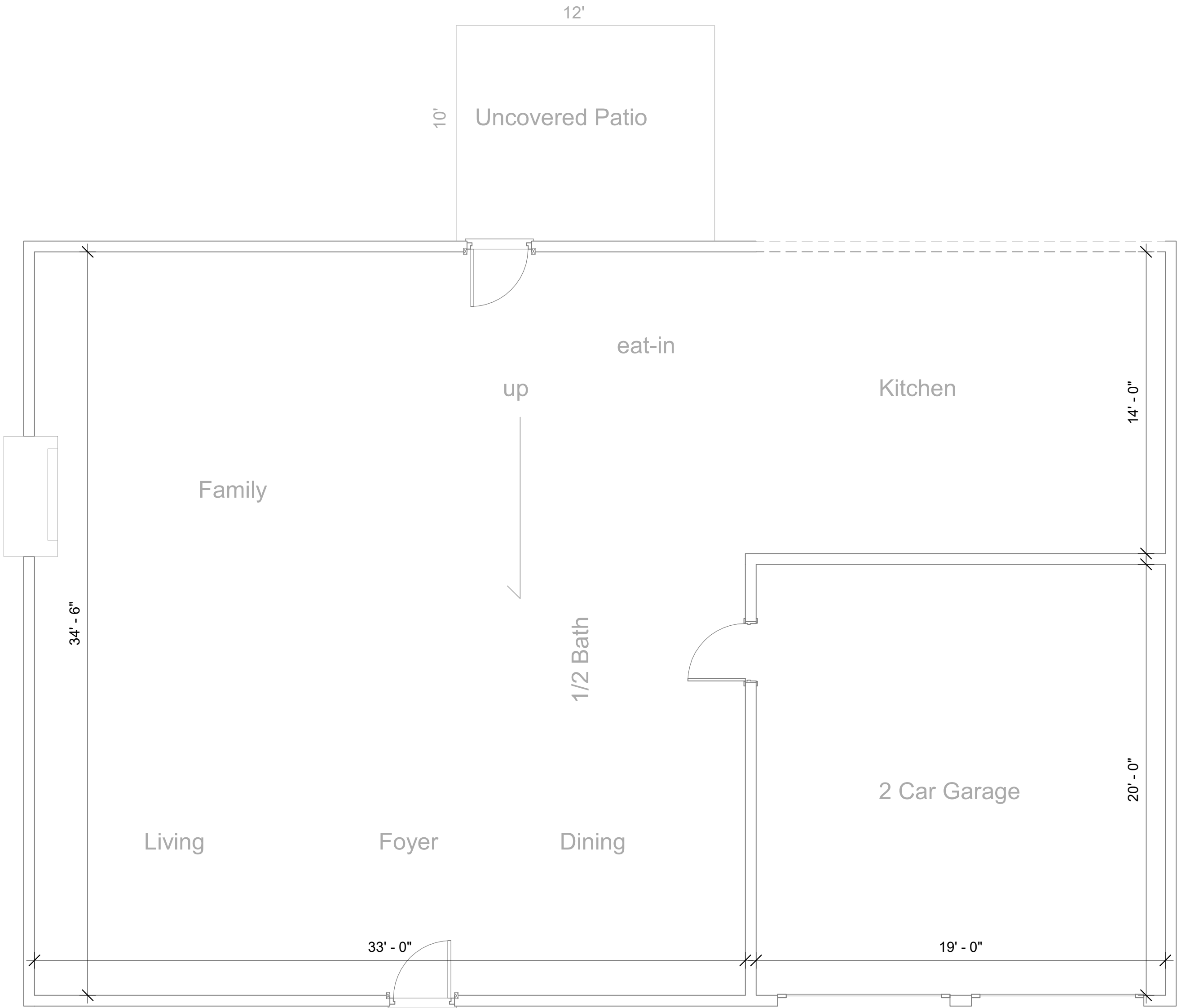
N/F
CHAMBRAY POWELL
487 SUMMER GLEN COURT
PARCEL #18-032-02-080
DB:21563 PG:743
PB:89 PG:16

SCALE: 1"=20'		GRAPHIC SCALE - IN FEET		CLIENT: TARA DAVIS	
DESIGNED BY: S.BROCK	SHEET NUMBER: 1 of 1	FILE NAME: 6806 WYNVIEW COVE_LN		DATE: 5-29-2025	JOB NUMBER: SURV-2975
Copyright-2023 These drawings and their reproductions are the property of the surveyor and may not be reproduced, published, or used in any way without the written permission of this surveyor.					
BOUNDARY SURVEY FOR					
WYNBROOKE CHASE					
BLOCK A - LOT 15					
6806 WYNVIEW COVE					
LANDLOT 32 - 18TH DISTRICT					
UNINCORPORATED DEKALB COUNTY, GEORGIA.					
REVISIONS					
2					
3					
4					
5					

KEYSTONE LAND SURVEYING, INC.
262 WEST OROGAN STREET
LAWRENCEVILLE, GEORGIA 30046
770.545.8700
www.keystonelandsurveying.com

5-29-2025

FOR
KEYSTONE LAND SURVEYING, INC.
www.keystonelandsurveying.com



1 1.0 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

EXISTING WALL

DEMOLISH WALL

NEW WALL

REVISION RECORD		
NO	DATE:	DESCRIPTION
SUBMITTAL RECORD		
NO	DATE:	DESCRIPTION

NOTICE

CONTRACTOR SHOULD VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK OR THE ORDERING OF MATERIALS.

- GENERAL NOTES:**
- SLEEPING ROOMS, BASEMENTS, AND HABITABLE ATTICS SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING WITH A NET CLEAR HEIGHT OF NOT LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20".
 - THE BUILDING THERMAL ENVELOPE SHALL BE SEALED AND MUST:
- BE IMPERMEABLE TO AIR FLOW.
 - BE CONTINUOUS OVER THE ENTIRE CONDITIONED ENVELOPE.
 - BE DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING.
 - HAVE ALL SEAMS AND EDGES SEALED/TAPED PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE 1/2" GYPSUM BOARD AT GARAGE WALLS UP TO OPEN CEILING AND SEAL WITH ACOUSTIC RATED SEALANT.
 - PROVIDE R-21 FACED INSULATION AT ALL WALLS COMMON TO HOUSE AND GARAGE.
 - GARAGE DOOR OPENER MOUNTED AT CEILING WITH OUTLET. AUTOMATIC GARAGE DOOR OPENER TO BE UL LISTED IN ACCORDANCE WITH UL 325, R309.
 - ± 6" STEP DOWN FROM HOUSE TO GARAGE SLAB.
 - 1/10" TO 1/8" SLOPE IN GARAGE.
- FIREPLACES NOTES:**
- CONTRACTOR TO PROVIDE MANUFACTURER, MODEL NUMBER AND ICC REPORT OR EQUAL FOR EACH ETHANOL FIREPLACE. (R1002, R1004 & R1005)
- COOKTOP AND RANGE NOTES:**
- CONTRACTOR PROVIDE A LISTED AND APPROVED RANGE AND/OR COOKTOP UNIT INSTALLED IN ACCORDANCE WITH THE LISTING AND WITH THE MANUFACTURER INSTALLATION INSTRUCTIONS. VERIFY AND MAINTAIN REQUIRED HORIZONTAL AND VERTICAL CLEARANCES ABOVE THE FINISHED COUNTERTOP SURFACE BEFORE ORDERING OR INSTALLING CABINETS.

PROPOSED ADDATION

6806 WYNVIEW COVE

DRAWN BY: RA | CHECKED BY: MS | APPROVED BY: DAP

DATE: JULY-2025 | DWG SCALE: As indicated | PROJECT NO: 0405

Existing Floor Plan

DRAWING NO.: A102

SHEET OF

DOOR SHEDULE				
Type Mark	Width	Height	Count	

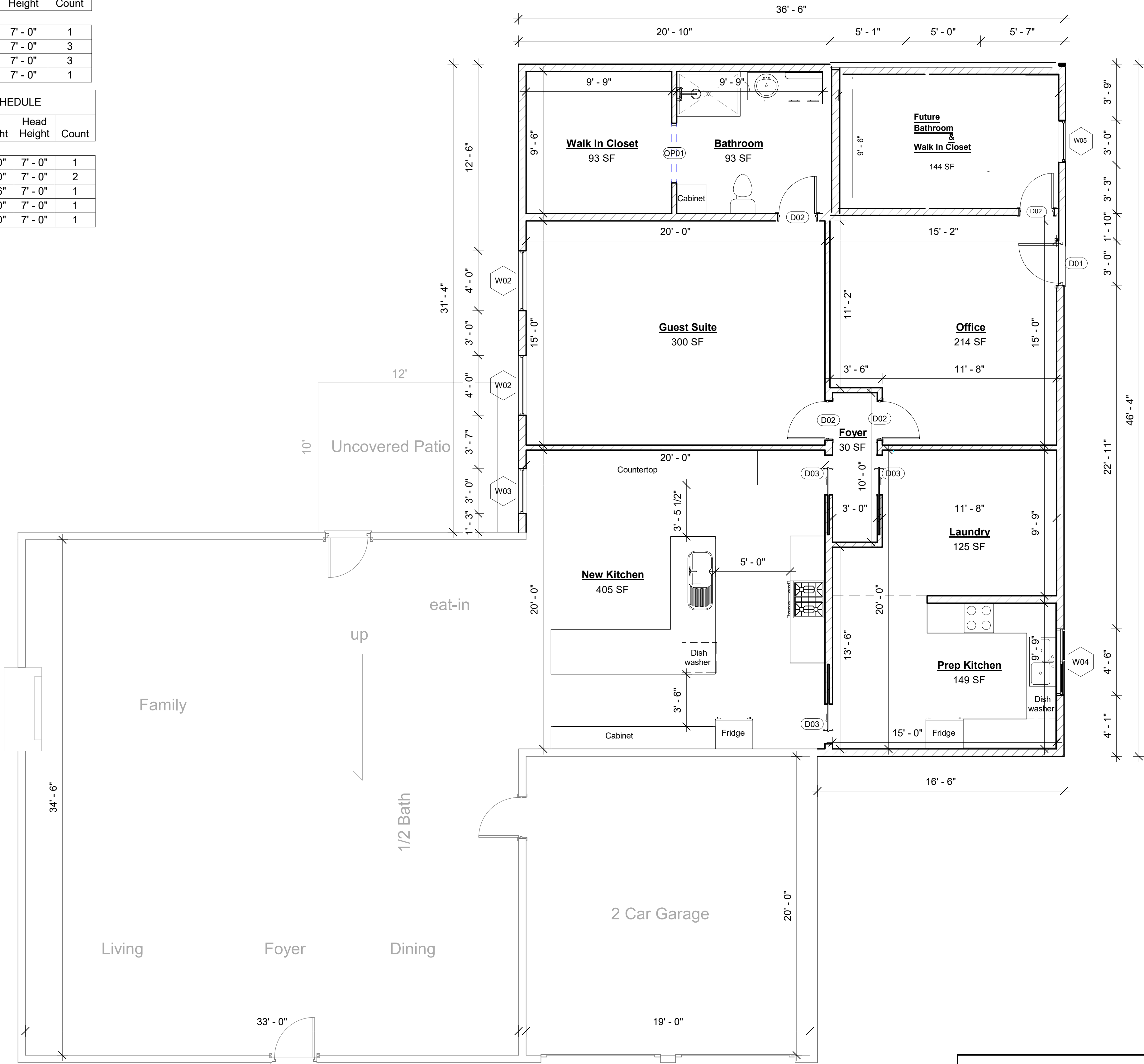
D01	3' - 0"	7' - 0"	1	
D02	2' - 6"	7' - 0"	3	
D03	2' - 8"	7' - 0"	3	
OP01	4' - 0"	7' - 0"	1	

WINDOW SHEDULE				
Type Mark	Width	Height	Head Height	Count

W01	5' - 0"	5' - 0"	7' - 0"	1
W02	4' - 0"	5' - 0"	7' - 0"	2
W03	3' - 0"	3' - 6"	7' - 0"	1
W04	4' - 6"	3' - 0"	7' - 0"	1
W05	3' - 0"	1' - 0"	7' - 0"	1

A105 2

A105 1



- EXISTING WALL
- DEMOLISH WALL
- NEW WALL

REVISION RECORD

NO	DATE	DESCRIPTION

SUBMITTAL RECORD

NO	DATE	DESCRIPTION

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- 2. BE CONTINUOUS OVER THE ENTIRE CONDITIONED ENVELOPE.
- 3. BE DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING.
- 4. HAVE ALL SEAMS AND EDGES SEALED/TAPED PER MANUFACTURER'S SPECIFICATIONS.
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BUILDING INFORMATION:

First Floor Area:

Proposed Living Area: 1234.50 S.ft.

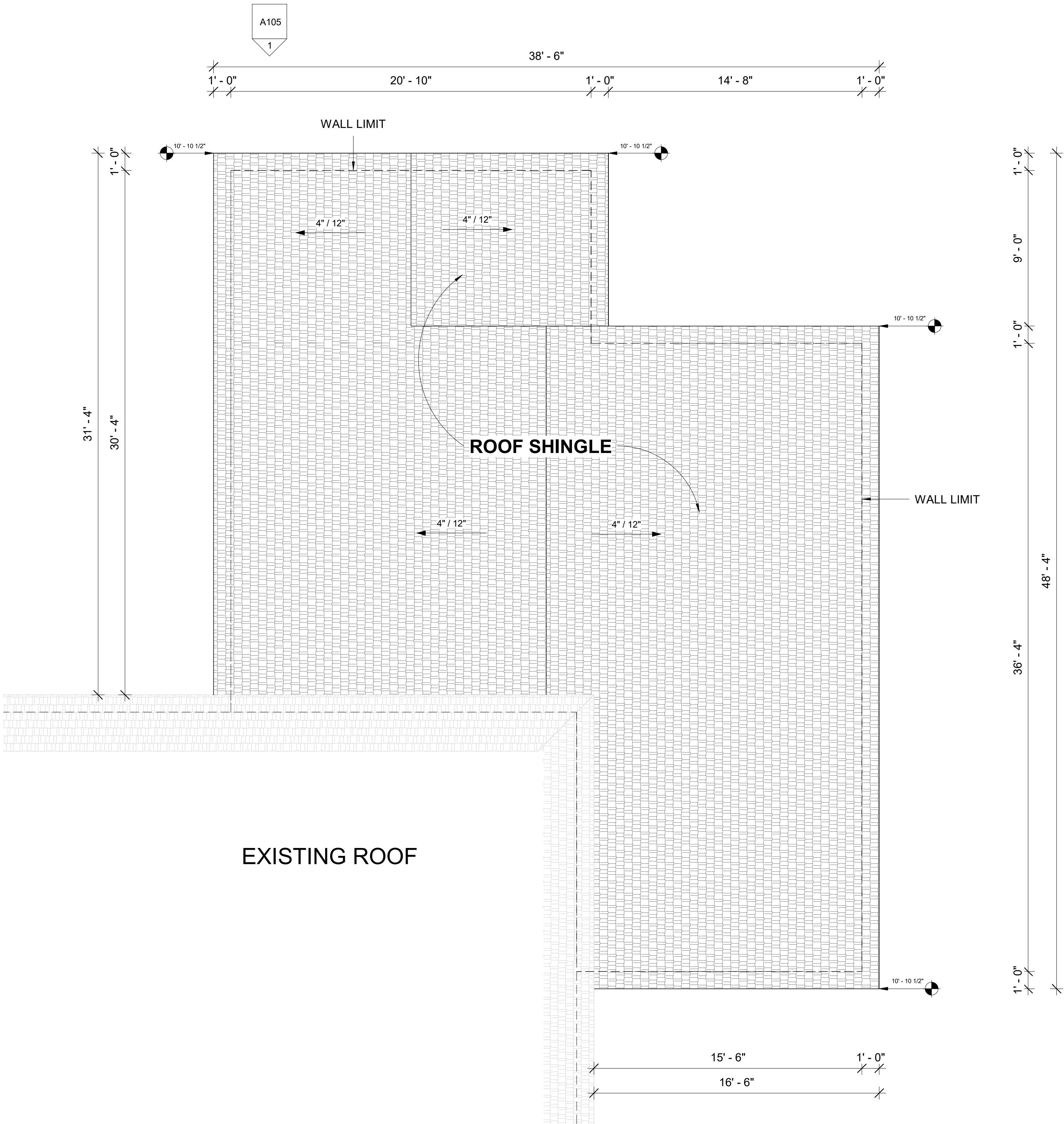
PROPOSED ADDATION 6806 WYNVIEW COVE

DRAWN BY: RA | CHECKED BY: MS | APPROVED BY: DAP
DATE: JULY-2025 DWG SCALE: As indicated | PROJECT NO: 0405

Proposed Floor Plan

A103

SHEET OF



REVISION RECORD		
NO	DATE	DESCRIPTION
SUBMITTAL RECORD		
NO	DATE	DESCRIPTION

NOTICE

CONTRACTOR SHOULD VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK OR THE ORDERING OF MATERIALS.

- ROOF PLAN: GENERAL NOTES**
- TYPICAL FLAT ROOF ASSEMBLY: MECHANICALLY FASTENED FULLY ADHERED SINGLE PLY MEMBRANE ROOFING SYSTEM OVER CONTINUOUS COVER BOARD ON R-30 LTTR ROOF INSULATION, 6" THICKNESS AND VAPOR BARRIER.
 - WHERE ROOF STRUCTURE IS SLOPED, SLOPE SHOULD BE NO LESS THAN 1/4" PER 1'-0"
 - TAPERED INSULATION SHOWN AT CRICKETS IS APPROXIMATE SCOPE. PROVIDE ADDITIONAL TAPERED INSULATION AS NECESSARY. NO PITCH SHALL BE LESS THAN 1/2" PER 1'-0"
 - ROOFING CONTRACTOR TO COORDINATE, PROVIDE AND INSTALL SPLASH BLOCKS AT ALL MECHANICAL CONDENSATE DRAINS.
 - COORDINATE ELEVATION OF ALL THRU-WALL SCUPPERS AND OVERFLOW SCUPPERS WITH THE FINAL ELEVATION OF ADJACENT ROOF AND DRAINS. INFORM ARCHITECT OF ANY DIFFERENCES FROM THOSE PROVIDED IN THESE DOCUMENTS.
 - ALL EXISTING DIMENSIONS ARE +/- AND ARE TO BE VERIFIED IN THE FIELD.

COOL / LIGHT REFLECTIVE COATED ROOFS

FOR ROOF SLOPES LESS THAN 2:12.
ROOF SOLAR REFLECTANCE AND THERMAL EMITTANCE THREE-YEAR-AGED SOLAR REFLECTANCE INDEX (SRI) OF 64, THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A THREE-YEAR AGED THERMAL EMITTANCE OF 0.75 OVER CONDITIONED AND NON-CONDITIONED SPACES.

PER N1102.6 AMENDED.

PROPOSED ADDATION

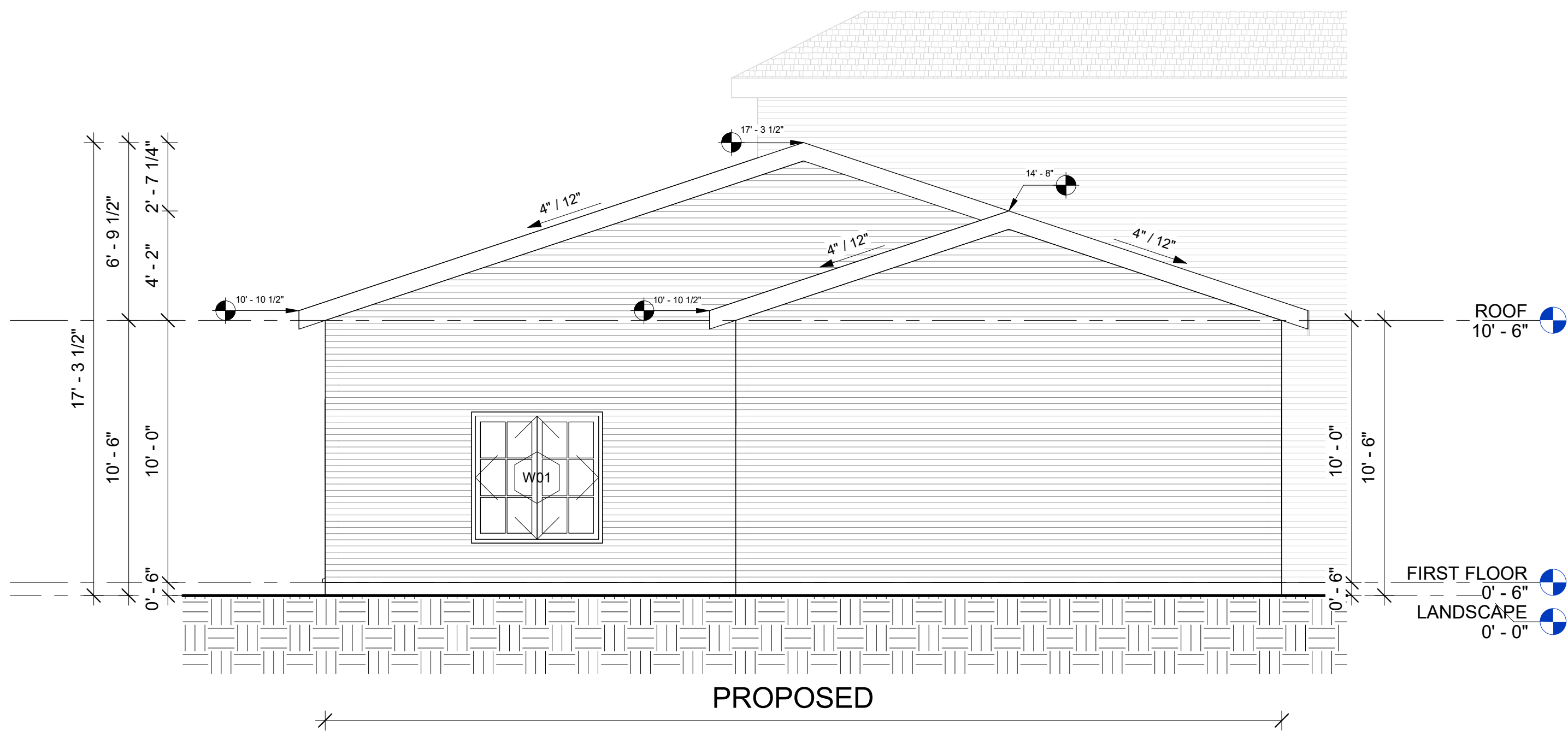
6806 WYNVIEW COVE

DRAWN BY: RA | CHECKED BY: MS | APPROVED BY: Approver
DATE: JULY-2025 | DWG SCALE: As indicated | PROJECT NO: 0405

Roof Plan

A104

SHEET OF



① FRONT ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"

REVISION RECORD		
NO	DATE	DESCRIPTION
SUBMITTAL RECORD		
NO	DATE	DESCRIPTION

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EXTERIOR FINISH LEGEND:	
BASE BUILDING:	ULTRA-SMOOTH STUCCO / PAINT: DEC737 JAKARTA
BUILDING FASCIA:	BURNISHED SLATE ALUMINUM PANEL
BUILDING SOFFIT:	ALUMINUM PANEL - WOOD GRAIN - LIGHT FIR / OAK COLOR
WINDOW FRAME:	MATTE BLACK

- GENERAL EXTERIOR FINISH NOTES:**
1. PROVIDE SHEATHING PER STRUCTURAL AT ENTIRE FRONT WALL OF GARAGE.
 2. THE EXTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE TOTALLY SHEATHED AND COVERED IN A WATER RESISTANT BARRIER WITH FLASHED DRIP BASE.
 3. PROVIDE GI FLASHING AS REQUIRED AT ALL ROOF TO WALL CONNECTIONS.
 4. PROVIDE 1/2" MOP BOARD AT ALL ROOF TO WALL CONNECTIONS AS FLASHING BACKING
 5. PROVIDE WEATHER FLASHING / PROOFING AT EXTERIOR WALL PENETRATIONS AND OPENINGS. (R703.1 & 703.2)

PROPOSED ADDATION			
6806 WYNVIEW COVE			
DRAWN BY:	RA	CHECKED BY:	MS
DATE:	JULY-2025	DWG SCALE:	As indicated
APPROVED BY:	Approver	PROJECT NO:	0405
Elevations		DRAWING NO.:	A105
SHEET		OF	

GENERAL NOTES: ELECTRICAL / LIGHTING

1. ELECTRICAL CONTRACTOR TO VERIFY SERVICE SIZE BY CALCULATION BASED UPON ACTUAL NAME PLATE RATINGS OF SELECTED EQUIPMENT.
2. PROVIDE WEATHER RESISTANT RECEPTACLES (COVERED & SEALED RECEPTACLES AND DAMP RATED FIXTURES) IN ALL HIGH MOISTURE AREAS.
3. VERIFY LOCATION OF SERVICE ENTRANCE WITH LOCAL POWER COMPANY.
4. PROVIDE A BONDING CONDUCTOR CONSISTING OF A MINIMUM OF ONE #4 BARE COPPER WIRE CONNECTING THE BUILDING'S METAL WATER PIPING SYSTEM TO THE SERVICE EQUIPMENT ENCLOSURE GROUNDING. PROVIDE A UFER GROUND ENCASED IN CONCRETE FOOTING. (E3808.1.2)
5. AT LEAST ONE 20 AMPERE BRANCH CIRCUITS SHALL BE PROVIDED TO SERVICE THE LAUNDRY AND BATHROOMS. THIS CIRCUIT SHALL HAVE NO OTHER RECEPTACLES.
6. JUNCTION BOXES USED AS ANCHOR FOR CEILING FANS SHALL BE U.L. LISTED AND APPROVED FOR SUCH USE AND IN COMPLIANCE WITH IRC.
7. VERIFY EQUIPMENT LOCATIONS WITH OWNER.
8. BATHROOM RECEPTACLES SHALL BE SUPPLIED WITH AT LEAST ONE 20 AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
9. PROVIDE A 120 VOLT SERVICE RECEPTACLE THAT IS G.F.C.I. PROTECTED WITHIN 25 FEET OF OUTDOOR MECHANICAL EQUIPMENT.
10. FIXTURES WHICH ARE LOCATED IN DAMP OR WET LOCATION SHALL BE U.L. LISTED AS SUITABLE FOR SUCH LOCATION.
11. RECESSED LIGHTING FIXTURES INSTALLED IN CEILINGS SHALL BE SUFFICIENTLY SEALED TO PROHIBIT AIR TRANSFER AND BE IC RATED.
12. PROVIDE INTER-CONNECTED SMOKE DETECTORS WITH BATTERY BACKUP.
13. PLACE WALL SWITCHES IN EQUAL GROUPS OF MATCHING QUANTITIES WHERE POSSIBLE.
14. INTERCONNECTED SMOKE DETECTORS TO BE ON NON-ARC FAULT CIRCUIT AND SEPARATE CIRCUIT FROM BEDROOM OUTLETS.
15. ALL EXTERIOR FIXTURES TO BE WEATHERPROOF IN EXPOSED AREAS AND WATERPROOF IN SUBMERGED AREAS.
16. WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED, OR EXTENDED IN ANY AREAS, THE BRANCH CIRCUIT MUST BE PROTECTED BY: (1) A LISTED COMBINATION AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT;(2) A LISTED OUTLET BRANCH CIRCUIT AFCI LOCATED AT THE FIRST RECEPTACLE OUTLET OF THE EXISTING BRANCH CIRCUIT.
17. ENSURE ADEQUATE CONNECTION IS PROVIDED FOR ALL APPLIANCES, INCLUDING TELEVISIONS AND AV EQUIPMENT.
18. ALL BRANCH CIRCUITS THAT SUPPLY 125V, 15A & 20A RECEPTACLE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS SHALL BE PROTECTED BY AN AFCI PER IRC E3902.16.
19. IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (E4002.14)
20. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW INSTALLATION OF A DUAL POLE CURCUIT BREAKER FOR "FUTURE SOLAR ELECTRIC" INSTALLATION AND SHALL BE LABELED AS SUCH. (U103.7)
21. A MINIMUM 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES CONTAIN ONLY HIGH-EFFICACY LAMPS (N1104.1 AMENDED).
- EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3)

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. (N1104.1)

ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2)

REVISION RECORD

NO	DATE	DESCRIPTION

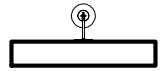

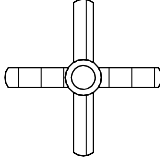
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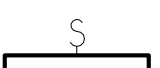
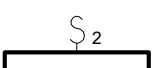
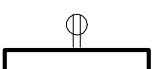


NOTICE

CONTRACTOR SHOULD VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK OR THE ORDERING OF MATERIALS.

LIGHT FIXTURE LEGEND

	INTERIOR WALL LIGHT FIXTURE
	RECESSED 4" LED DOWNLIGHT
	CEILING FAN WITH LED CENTER LIGHT - MOUNT WITH CEILING BRACE

ELECTRICAL LEGEND

	ELECTRICAL LINE WIRE
	LIGHT SWITCH SINGLE
	LIGHT SWITCH DOUBLE
	WALL OUTLET DUPLEX
	WALL OUTLET RANGE
	WALL OUTLET GFI

PROPOSED ADDATION
6806 WYNVIEW COVE

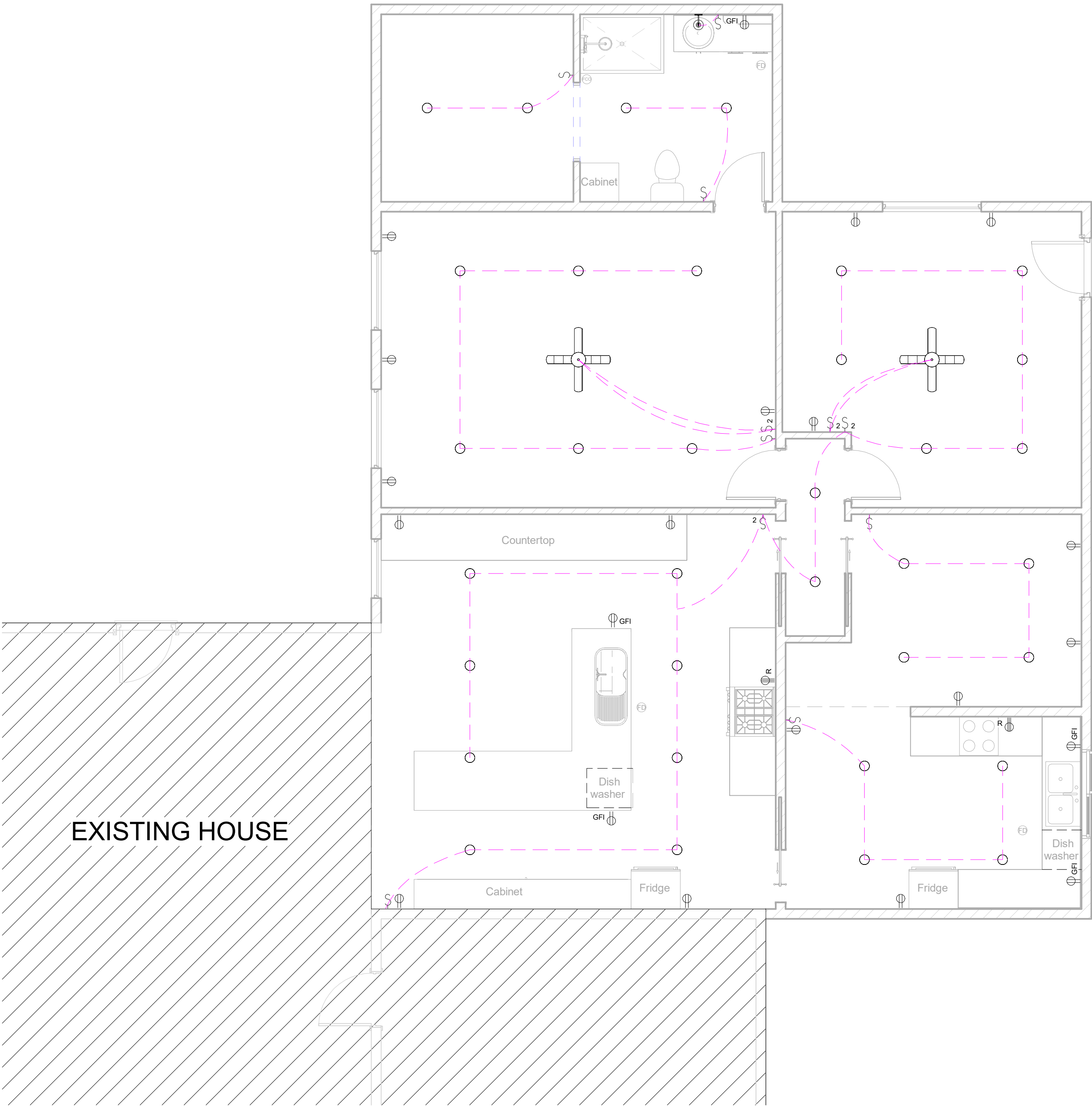
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DATE: JULY-2025 DWG SCALE: As indicated | PROJECT NO: 0405

Electrical Plan

E200

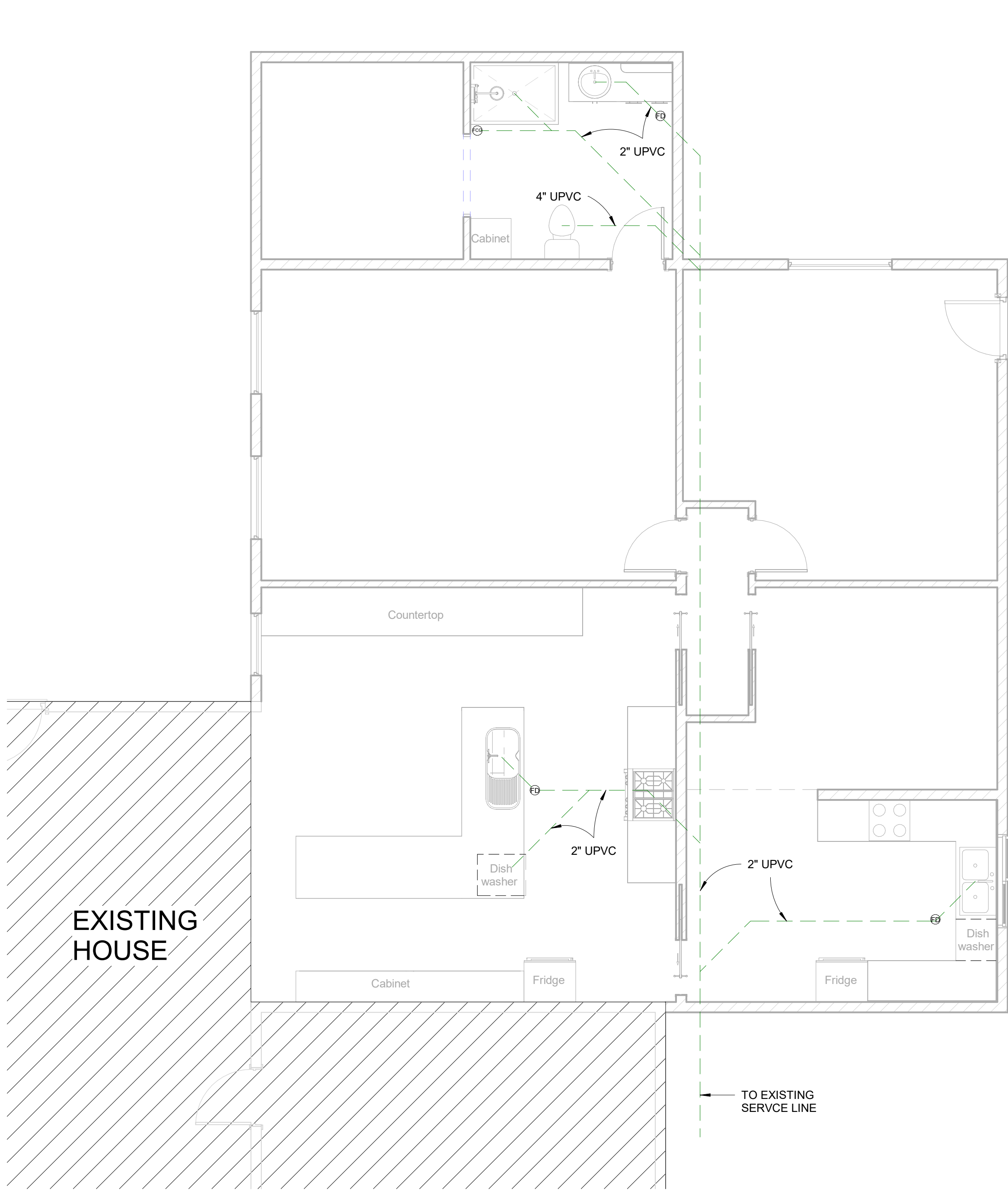
SHEET OF



1 1.1 FIRST FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

DRAINAGE SUPPLY PLAN

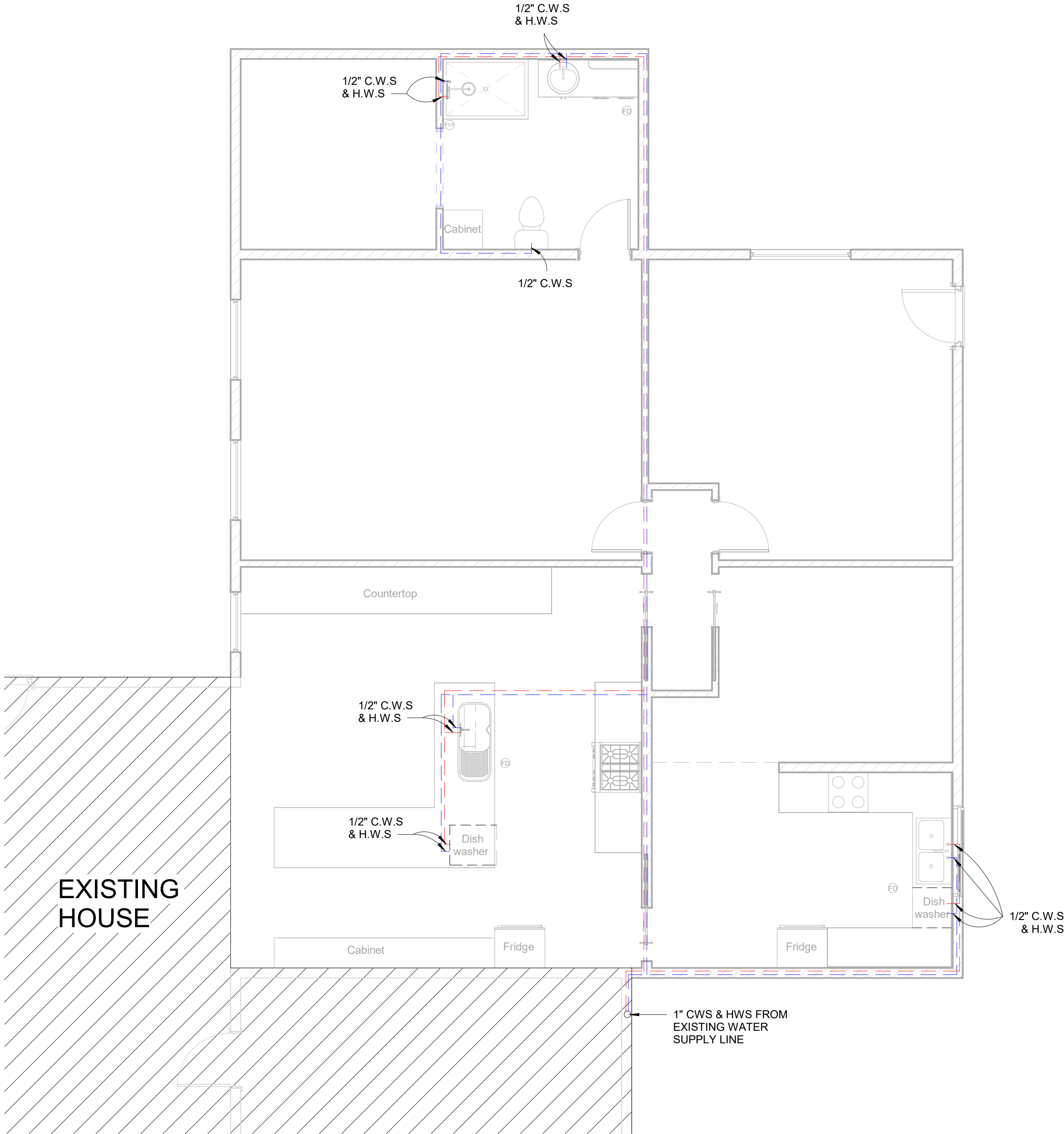


1.3 FIRST FLOOR SANITRY PLAN
1/4" = 1'-0"

- Hot Water Line
- Cold Water Line
- Sanitary Line

WATER PRESSURE NOTE: WHERE CHANGES IN THE MUNICIPAL WATER SUPPLY SYSTEM IS UNDER DEVELOPMENT AND SUBJECT TO AVAILABLE PRESSURE CHANGES, OR INFORMATION REGARDING THE RESIDUAL PRESSURE AT THE BUILDING POINT OF CONNECTION FOR THIS PROJECT IS UNAVAILABLE AT THE TIME OF DESIGN, IT IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR(S) TO CONFIRM WITH THE PROJECT ENGINEER THE MINIMUM WATER PRESSURE REFLECTED IN THE PLUMBING WATER CALCULATION IS AVAILABLE AND MAINTAINED AT THE BUILDING PRIOR TO CONSTRUCTION. 45 PSI ASSUMED UNTIL SITE PRESSURE VERIFIED.

WATER SUPPLY PLAN



1.2 FIRST FLOOR WATER SUPPLY PLAN
1/4" = 1'-0"

REVISION RECORD

NO	DATE	DESCRIPTION

SUBMITTAL RECORD

NO	DATE	DESCRIPTION

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PLUMBING:	WASTE CONNECTIONS:
WATER CLOSETS SHOWERS LAV. FAUCETS KITCHEN SINK BAR SINK HOSE BIBB	1.28 GALLONS PER FLUSH MAX 2.00 GALLONS PER MINUTE MAX 2.20 GALLONS PER MINUTE MAX 2.20 GALLONS PER MINUTE MAX 2.20 GALLONS PER MINUTE MAX 3.00 GALLONS PER MINUTE MAX
PER P2903.2 AMENDED	2" TO SINK 3" TO TOILET / SHOWER / BATH

PLUMBING LEGEND	PLUMBING FIXTURES
Cold Water 1/2" & 3/4" Pipe	SINK
Hot Water 1/2" & 3/4" Pipe	TOILET
Drainage 2", 3" & 4" UPVC Pipe	SHOWER
Floor Drain	
Floor Clean Out	
Water Meter	

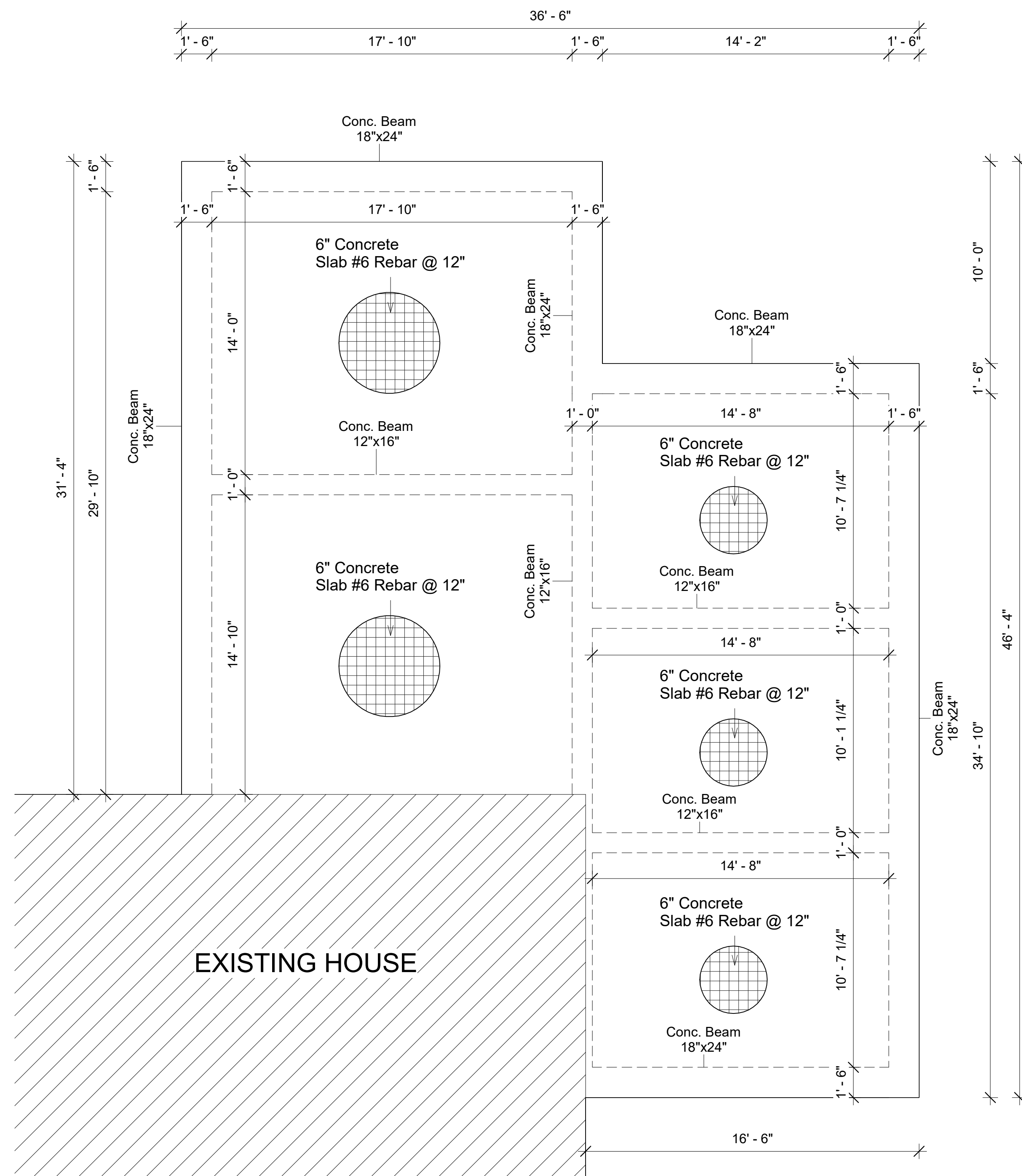
- FIXTURE WILL BE MARKED AS TO ITS FLOW RATE OR WITH A VERIFIABLE MODEL NUMBER AT THE TIME OF INSPECTION.
- HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS PROVIDE ALL HOSE BIBBS WITH BACKFLOW PREVENTERS.
- ALL DISHWASHERS TO HAVE AIR GAPS INSTALLED.
- PROVIDE WATER HEATER WITH TEMPERATURE & PRESSURE RELIEF VALVE. T&P DRAIN LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING DOWN TO DISCHARGE INTO THE DRAIN PAN AND TERMINATING NOT MORE THAN 6" ABOVE THE RIM OF THE DRAIN PAN.
- PROVIDE DRAINAGE LINE FROM DRAIN PAN EXTENDED TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN TWENTY-FOUR INCHES NOR LESS THAN SIX INCHES ABOVE FINISH GRADE. DRAIN LINE SHALL BE SLOPED AND SUPPORTED AT 32" O.C. MAXIMUM AND BE A MINIMUM OF THREE FEET AWAY FROM ALL DOORS.
- PIPING FOR WATER SUPPLY LINES INTERIOR OF THE HOUSE TO BE APPROVED COPPER OR CROSS-LINKED POLYETHYLENE (CONTRACTOR'S OPTION).
- ALL CROSS-LINKED POLYETHYLENE TUBING USED IN WATER PIPING ABOVE THE FLOOR SLAB TO BE "AQUAPEX" OR APPROVED EQUAL.
- ALL COPPER TUBING USED IN WATER PIPING UNDER THE FLOOR SLAB MUST BE TYPE L MINIMUM WEIGHT, INSTALLED WITHOUT JOINTS.
- ALL COPPER TUBING USED IN WATER PIPING ABOVE THE FLOOR SLAB MUST BE TYPE M MINIMUM WEIGHT.
- ALL ABS AND PVC USED IN DWY SYSTEMS MUST BE SCHEDULE 40.
- SEAL ALL VOIDS AROUND PENETRATIONS THROUGH ON GRADE CONCRETE FLOOR SLABS.
- SOLDERS AND FLUX HAVING A LEAD CONTENT IN EXCESS OF TWO TENTHS OF ONE PERCENT SHALL NOT BE USED IN THE INSTALLATION OR REPAIR OF ANY PLUMBING IN RESIDENTIAL OR NONRESIDENTIAL FACILITIES PROVIDING WATER FOR HUMAN CONSUMPTION WHICH ARE CONNECTED TO PUBLIC WATER SYSTEMS (A.R.S. SEC. 49-353 AND A.R.S. SEC. 49-353.1).
- IRC SECTION P2905.14
- PROVIDE A THERMAL EXPANSION TANK AT THE WATER HEATER IF A BACKFLOW PREVENTER IS ON THE WATER LINE.
- PROVIDE WATER SHUTOFF VALVES IN ACCORDANCE WITH APPLICABLE CODE SECTION.
- IRC SECTION P2905.9
- PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROL VALVES FOR ALL SHOWER AND TUB-SHOWER COMBINATIONS.
- IRC SECTION P2708.3
- CENTER OF WATER CLOSETS SHALL BE LOCATED A MINIMUM OF 15" FROM VERTICAL SURFACES AT SIDES - SEE FLOOR PLAN.
- PROVIDE 1" TRAP AND AIR VENT FOR CONDENSATION.
- NO PLASTIC PIPE OR REFRIGERATION LINE INSULATION SHALL PENETRATE ANY FIRE-RATED WALL.
- ALL GFCI RECEPTACLES ON SIDE WALLS ADJACENT TO LAVS TO BE LOCATED AT FRONT EDGE OF LAV. GANG WITH OR STACK BELOW SWITCHES WHERE OCCURS. GFCI CIRCUITS FOR BATHROOMS TO BE 20A WITH NO OTHER RECEPTACLES.
- THE FLOW VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. WATER-HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WATER-HAMMER ARRESTORS SHALL CONFORM TO ASSE 1010 PER IRC SECTION P2903.5
- A HOT WATER CIRCULATION SYSTEM SHALL BE PROVIDED WHEN THE LENGTH OF THE HOT WATER PIPE TUBING FROM THE SOURCE TO THE FARTHEST FIXTURE EXCEEDS 21 FT FOR A 3/4" LINE, 32 FT FOR A 1/2" LINE, 43 FT FOR A 1/2" LINE, AND 55 FT FOR A 3/8" LINE OR LESS. (N1103.5.1.1 AND N1103.5.1.2 AMENDED)

PROPOSED ADDATION
6806 WYNVIEW COVE

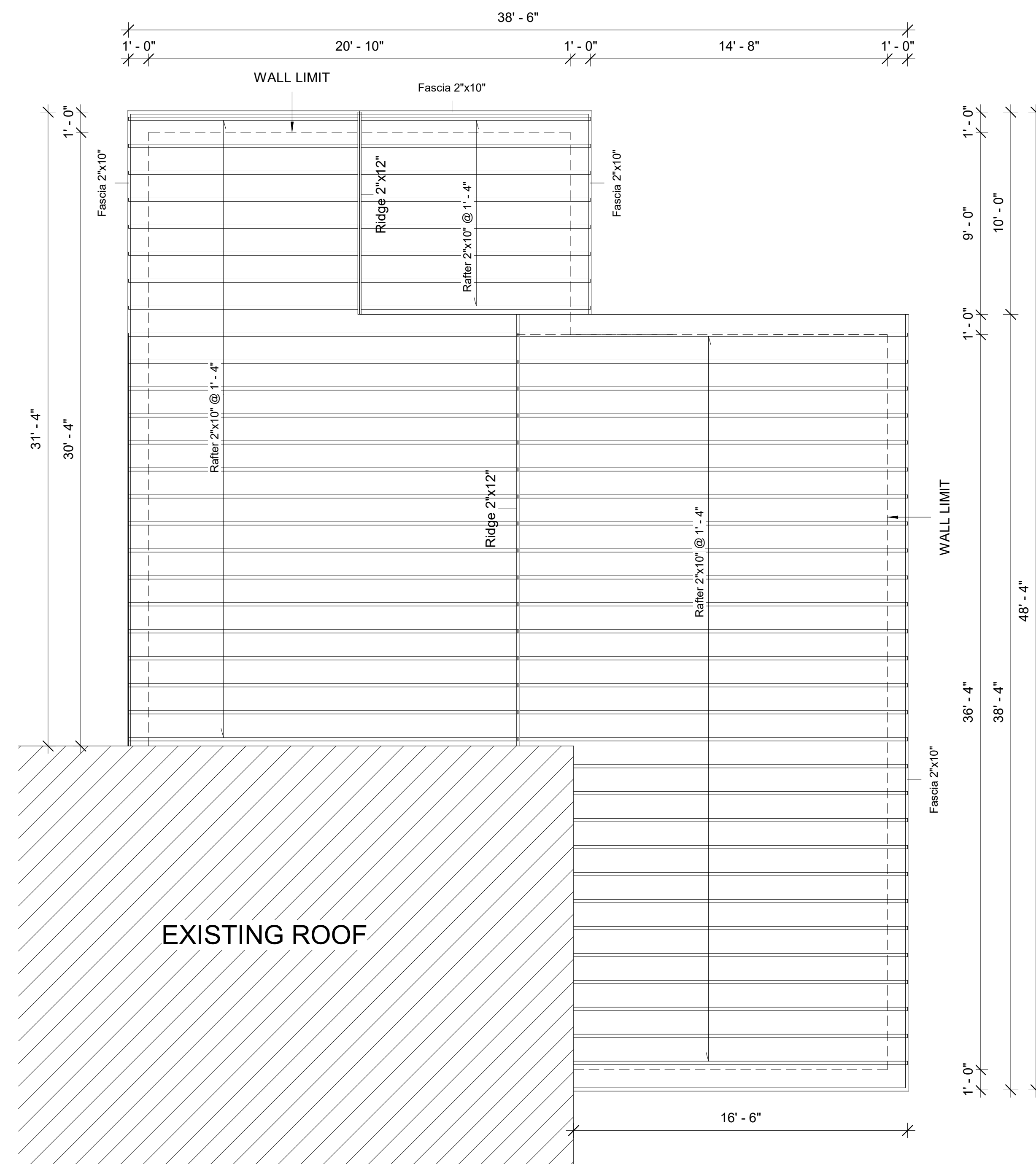
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Plumbing Plan

DRAWING NO.:
P300
SHEET OF



1 1.4 FOUNDATION PLAN
1/4" = 1'-0"



2.4 ROOF FRAMING PLAN
1/4" = 1'-0"

[illegible]

NOTICE

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DATE: JULY-2025		DWG SCALE: 1/4" = 1'-0"		PROJECT NO: 0405	
<h1>Foundation & Roof Framing Plans</h1>				DRAWING NO.: S400	
				SHEET OF	













