



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, December 10, 2025

Planning Department Staff Analysis



Juliana
Njoku

Interim
Director

N6. Case No: A-25-1247843

Parcel ID(s): 15 171 18 013

Commission District 03 Super District 07

Applicant: **Nicole Wellman**
2099 Barberrie Lane
Decatur, GA 30032

Owner: **Robert Smith**
2121 Simsbury Lane
Dunwoody, GA 30338

Project Name: **2121 Simsbury Lane – Decrease front setback for an addition**

Location: *2121 Simsbury Lane, Dunwoody, GA 30338*

Requests: *Application by Nicole Wellman to request variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance to decrease the front setback from 30 feet to the SE corner of the existing single-family residence within the R-75 (Residential Medium Lot-75) zoning district.*

Staff Recommendation: *Approval with Conditions.*

- 1. An updated surveyed site plan shall be submitted to verify the minimum front yard setback required; variance shall only apply to the confirmed dimension necessary to accommodate the second story and front porch based on the existing foundation.*
- 2. Variance relief shall apply only to the primary structure and not extend to any other accessory structures or improvements on the property.*

STAFF FINDINGS:

The subject property is located within the R-75 (Residential Medium Lot-75) zoning district. The home was constructed in 1951, before the adoption of DeKalb County's zoning ordinance in 2015 and is therefore a legally nonconforming structure. The applicant seeks a variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance to decrease the front setback to allow an addition of a second story and a new front porch. The existing homes existing foundation will remain, and the proposed improvements will not alter the building footprint.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The lot measures approximately 18,790 square feet in area, which is substantially larger than the required 10,000 square foot minimum standard for the district. The subject site is a corner lot - resulting in two front yard setback requirements-limiting the buildable area. The property line along Normal Street (legal front) is set back farther from Normal Street than adjacent homes (as shown on the surveyed site plan dated 8/11/25) reducing the buildable footprint. There is a stream buffer in the rear of the site further constraining potential expansion opportunities within the building footprint. Additionally, the site experiences roughly a 10-foot drop in elevation from front to rear, limiting grading options and foundation flexibility. These physical characteristics, not created by the current owner, may demonstrate extraordinary and exceptional conditions.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The applicant seeks to reduce the required front yard setback (along Normal Street) from 30 feet to the existing SE corner foundation (measurement not accurately shown) to allow the construction of a second story addition and front porch. The site plan received by Staff did not include a clear measurement of the setback reduction. However, it appears from the site plan and other measurements shown, the reduction may represent the minimum relief necessary to accommodate the improvements while maintaining compliance with the overall intent of the setback requirements. The request is relatively limited in scope and applies only to the existing foundation. Granting this relief would not provide the applicant with a special privilege inconsistent with other properties in the district but would allow a functional improvement and expansion that is still compatible with the residential character of the neighborhood.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The proposed second story addition and front porch will not negatively impact the existing development pattern or public right-of-way. The second story will still be compatible in scale and appearance with surrounding single-family residences. The subject site is surrounded by dense woods (except along Normal Street) and will not obstruct sight lines, create traffic concerns, or impact adjacent properties.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict application of the 30-foot front yard setback would likely prevent the applicant from expanding the house at all. Given the smaller buildable envelope due to the physical constraints and the legal nonconforming status, enforcing the 2015 setback standards may eliminate the possibility of most improvements without a complete demolition. This may be characterized as undue and unnecessary hardship.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The requested variance is consistent with the intent of the zoning ordinance and the DeKalb County Comprehensive Plan. The second story addition and front porch to an existing single-family residence maintains the suburban character of the neighborhood. The improvement provides functional living space while preserving the overall design and use of the property as a detached single-family home.

FINAL STAFF ANALYSIS:

The applicant is requesting a reduction of the required front yard setback to allow a second story addition and front porch. Staff's review indicates that while the application did not request a clear reduction measurement from the required 30-foot front setback, the encroachment appears to be the minimum necessary. However, Staff recommends that the exact front setback reduction be verified prior to permitting and to update the surveyed site plan to clearly show the measurement.

*Staff finds that the request meets the criteria for variance approval, provided the relief is limited to the minimum necessary and the subject site demonstrates significant physical hardships that limit opportunities for most improvements. The proposed second story and front porch are consistent with the residential character of the neighborhood and is compatible with the intent of the zoning ordinance and comprehensive plan. Therefore, staff recommends **Approval with Conditions**.*

Staff Recommendation: *Approval with Conditions*

Conditions:

- 1. An updated surveyed site plan shall be submitted to verify the minimum front yard setback required; variance shall only apply to the confirmed dimension necessary to accommodate the second story and front porch based on the existing foundation.*
- 2. Variance relief shall apply only to the primary structure and not extend to any other accessory structures or improvements on the property.*

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: (Leslie) Nicole Wellman
Mailing Address: 2099 Barberrie Ln
City/State/Zip Code: Decatur, GA 30032
Email: nicole@decaturdigs.com
Telephone Home: 404-618-4216 Business: Advantage Restoration and Contracting

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Robert Smith
Address (Mailing): 2121 Simsbury Lane, Dunwoody, GA 30338
Email: rasmith9000@yahoo.com Telephone Home: 323-602-4600 Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 1921 Normal Street City: Decatur State: GA Zip: 30032
District(s): 15 Land Lot(s): 171 Block: G Parcel: 15 171 18 013
Zoning Classification: R-75 Commission District & Super District: 3/7

CHECK TYPE OF HEARING REQUESTED:

☒ X VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: <u>10/23/25</u>	Applicant <u>Lalith Udayan</u>
	Signature: <u>[Signature]</u>
DATE: <u>10/23/25</u>	Applicant <u>[Signature]</u>
	Signature: <u>[Signature]</u>

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 10/22/2025 Applicant/Agent Signature: 

TO WHOM IT MAY CONCERN:

(I)/ (WE): ROBERT A. SMITH
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.


Notary Public




Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature

Letter of Intent

Subject: Variance Request for Front Yard Setback – Section 27-2.2.1 – Renovation and Second-Story Addition to Existing Nonconforming Residence

Dear Members of the Zoning Board of Appeals,

My name is Nicole Wellman and I am submitting this request on behalf of Robert Smith, owner of the property located at 1921 Normal Street, Decatur, GA, zoned R-75. I am the authorized applicant representing Advantage Restoration and Contracting, which will be completing the proposed renovation and addition.

This application requests a front yard setback variance to allow a full renovation of the existing 1951 single-family home, including the addition of a second story and a new front porch. The existing home will remain on its current foundation, and the proposed improvements will not alter the building footprint.

The home was constructed in 1951, before the adoption of DeKalb County's zoning ordinance, and is therefore legally nonconforming to the current front setback requirement. The proposed project will not alter the existing footprint or increase the degree of nonconformity.

Although the structure is legally nonconforming, a variance is required because the proposed work involves continuing construction within the existing nonconforming setback area. DeKalb County requires ZBA approval for such improvements to ensure ongoing use within a setback is properly reviewed and documented under the hardship criteria.

1. Physical Conditions of the Site

The property is a corner lot, which results in two front yard setback requirements and limits the buildable area more than typical interior lots. The front property line is set farther back from the roadway than neighboring homes, creating a visual offset and reducing usable depth. A stream buffer at the rear of the lot and a likely unused easement further constrain potential building placement.

Additionally, the site experiences roughly a 10-foot drop in elevation from front to rear, which limits grading options and foundation flexibility. These physical characteristics, corner-lot geometry, irregular property lines, topography, and environmental encumbrances, are preexisting and not the result of any action by the current owner.

2. Minimum Variance Necessary

This request represents the minimum variance necessary to accommodate renovation of the existing home while maintaining the current footprint and setback. The proposed improvements include a second-story addition and the addition of a front porch that complements the surrounding homes. Porches are permitted architectural features that may encroach within

setback areas, and the proposed porch will enhance the home's appearance and street presence without increasing any structural encroachment beyond what the code allows.

3. Public Welfare

The proposed renovation will contribute positively to the neighborhood by improving the home's architectural character, energy efficiency, and overall condition. The new design, including the front porch, will be compatible in scale and style with nearby homes. The project will not adversely affect neighboring properties, block views, increase noise, or alter stormwater patterns. On the contrary, it will help preserve and elevate the quality of the surrounding neighborhood.

4. Ordinance Hardship

Strict interpretation of the front setback ordinance would effectively prevent the homeowner from renovating or vertically expanding the existing structure without full demolition and relocation. Given the combination of the corner-lot configuration, stream buffer, unused easement, and grade change, there is no feasible area on the property that fully meets current setback standards. These factors create a clear hardship that was not self-imposed. Granting the requested variance allows the reasonable improvement of the property consistent with its original layout and long-standing neighborhood character.

5. Alignment with the Spirit of the Law

This request is consistent with the purpose and spirit of the DeKalb County Zoning Ordinance and Comprehensive Plan, which encourage reinvestment in existing homes and preservation of neighborhood integrity. The project does not expand the building footprint or further encroach into setbacks. Instead, it modernizes the structure and enhances architectural quality while maintaining harmony with the established streetscape.

In conclusion, the requested front yard setback variance for 1921 Normal Street represents a modest and necessary accommodation that enables renovation of a legally nonconforming home on a uniquely constrained corner lot. The project preserves the home's placement, adds a porch consistent with neighborhood character, and aligns fully with the intent of the zoning ordinance.

Thank you for your time and consideration.

Sincerely,

Nicole Wellman
Applicant / Authorized Representative for Robert Smith
Advantage Restoration and Contracting
nicole@decaturdigs.com | 404-618-4216

Submitted on behalf of Robert A. Smith owner of record for 1921 Normal Street, Decatur, GA.

1921 Normal Street – Variance Application Photos



Front View

Front of existing house from Normal Street showing current setback relative to property line.



Angled Front View

Angled view of existing house showing its placement relative to the front property line and corner lot configuration.



Neighborhood Context

View of nearby homes along Normal Street showing consistent front setbacks and established neighborhood character. Some original homes have already been renovated to add second story additions.



Rear of House

Rear of existing house showing slope down toward the wooded rear yard and stream buffer area.



Side/Rear Slope

View from side yard showing downward slope toward wooded area at the rear of the property.



Wooded Buffer

Wooded side yard illustrating the stream buffer and vegetation that limit buildable area.



Steeper Grade and Stream Buffer

Steeper grade and tree coverage at the side property line within the stream buffer area.



Environmental Buffer

Rear property edge showing dense vegetation and environmental buffer behind the existing house.

1921 NORMAL ST.
DECATUR. GA. 30032

NORMAL ST. PROJECT

ESCOPE OF WORK

RENOVATE EXISTING FIRST FLOOR
FINISH EXISTING ATTIC AND ADD A NEW
DORMER. ALL CONSTRUCTION WITHIN
EXISTING FOOTPRINT

OWNER

ROBERT SMITH
TEL 323 602-4600

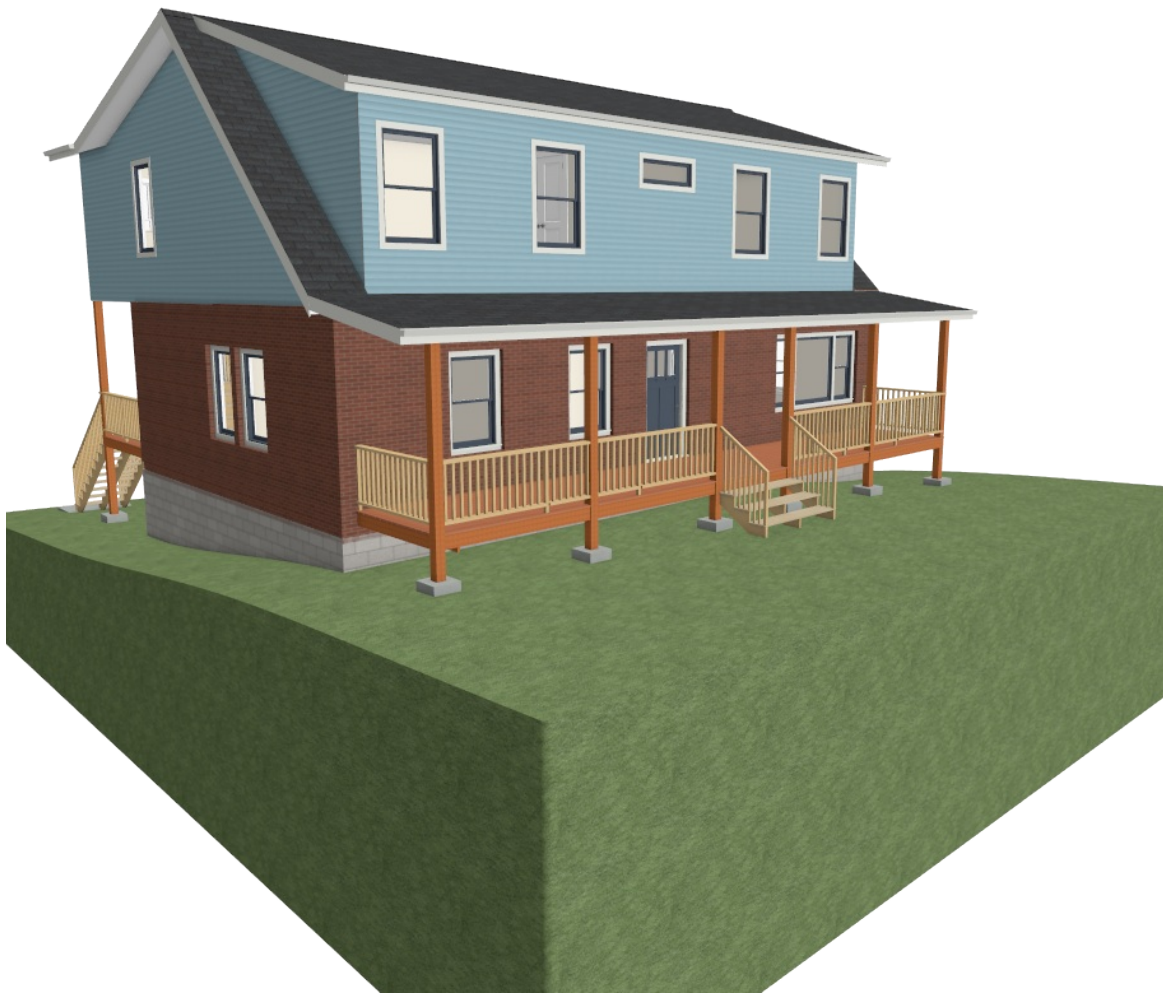
DESIGNER/CONTRACTOR
INNOVATION RENOVATIONS
TEL 678 3008477

ZONING

PERMITING JURISDICTION
CITY OF DEKALB

INDEX

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- A5 FRAMING FLOOR PLAN DECK
- A6 FRAMING FLOOR PLAN SECOND FLOOR
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- A9 FRONT AND EAST ELEVATIONS
- A 10 DETAILS



CODES TO BE APLIED

ALL WORK SHALL BE DONE IN ACCORDANCE WITH
THE
FOLLOWING GEORGIA STATE MINIMUN CODES

INTERNATIONAL BUILDING CODE, 2018
EDITION WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL RESIDENTIAL CODE FOR ONE
AND TWO FAMILY DWELLINGS, 2018 EDITION

INTERNATIONAL MECHANICAL CODE. 2018
EDITION WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL PUMBLING CODE 2018 EDITION
WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL ELECTRIC CODE 2020 EDITION
WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL ENERGY CONSERVATION CODE,
2015 EDITION WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL FIRE CODE, 2018 EDITION
WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL FUEL GAS CODE 2018 EDITIO
WITH GEORGIA STATE AMENDMENTS

Notes to the project:

- All tree protection areas to be protected from sedimentation.
- The installation of erosion and sediment control measures and practices shall occur prior to or concurrent with land disturbing activities. If applicable.
- All tree protection devices to be installed prior to land disturbance and maintained until final landscaping. All tree protection fencing to be inspected daily and repaired or replaced as needed.
- Sediment and erosion control measures shall be inspected daily.
- 72 hours is required to Georgia Utility Protection Center before any planned digging, <http://www.georgia811.com>

COVER PAGE

PROJECT DESCRIPTION:
1921 NORMAL ST.
DECATUR,GA,30032

DRAWINGS PROVIDED BY:
FRANCO VENTURES

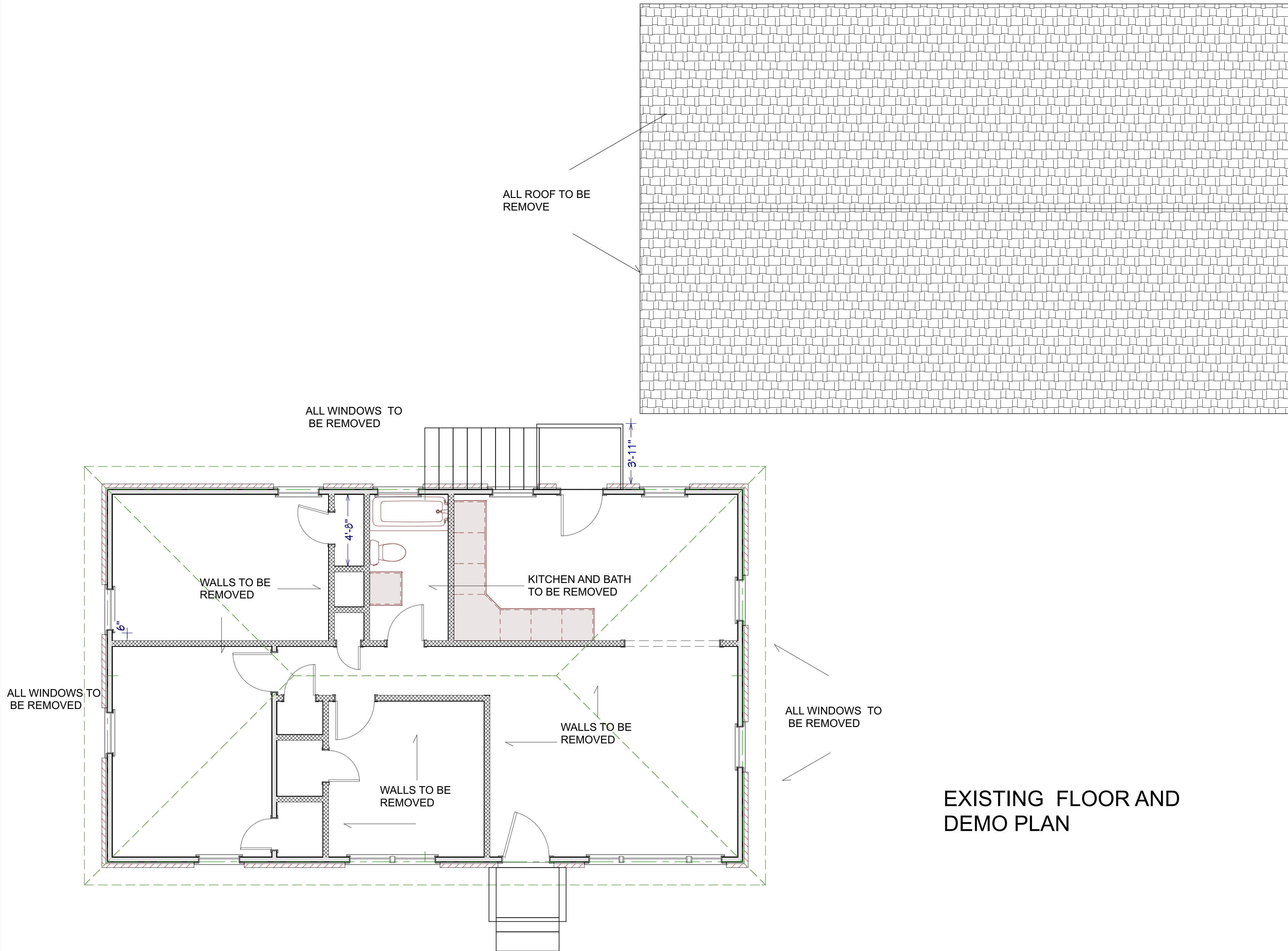
DATE:

SCALE:

3/16" = 1'

SHEET:

C-1



EXISTING FLOOR AND
DEMO PLAN

1st Floor

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	EXISTING AND DEMO PLAN
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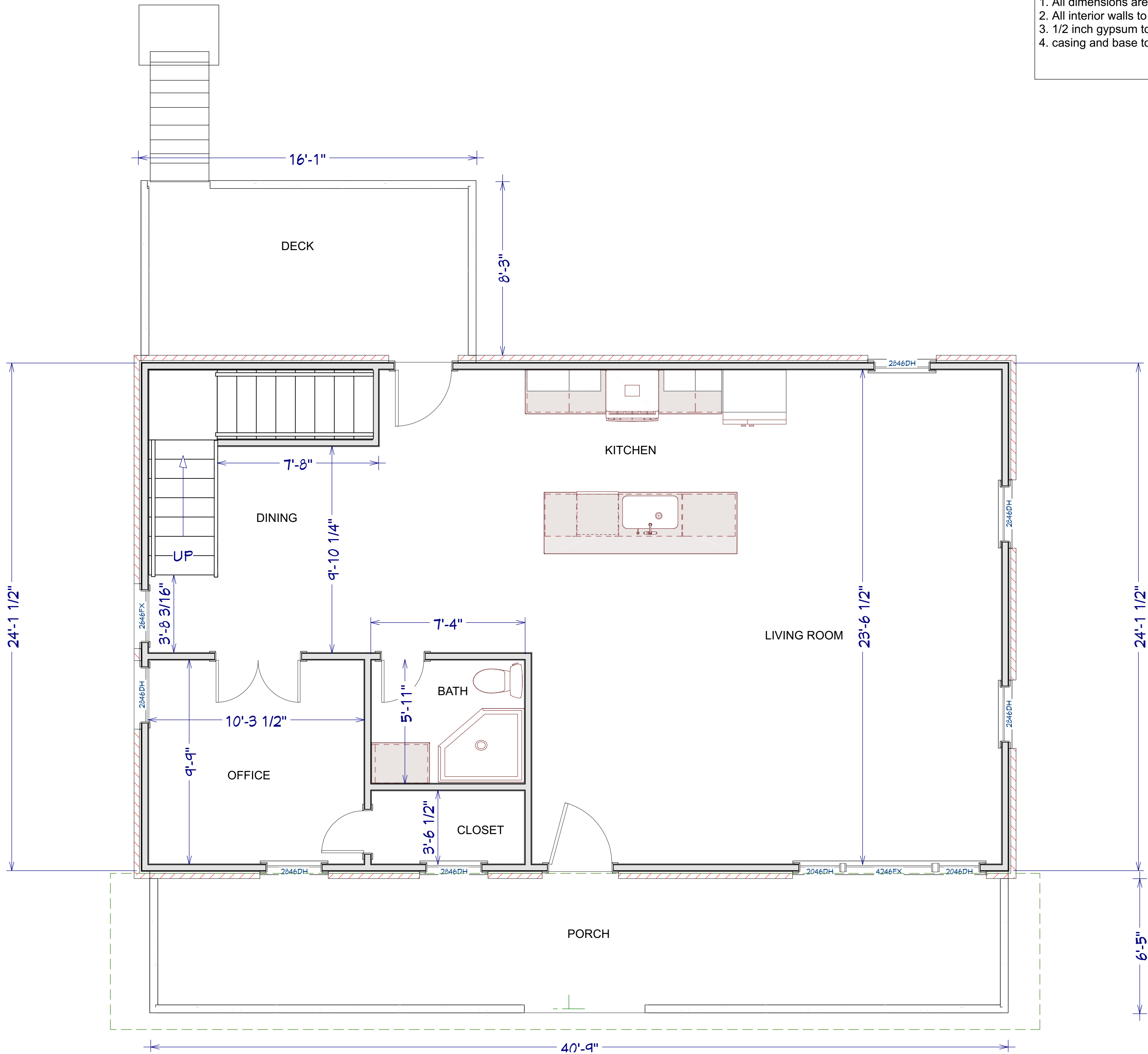
PROJECT DESCRIPTION:	1921 NORMAL ST. DECATUR, GA. 30032
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DRAWINGS PROVIDED BY:	FRANCO VENTURES
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DATE:	
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SCALE:	1/4 " = 1'
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SHEET:	A-1
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- FLOOR PLANS GENERAL NOTES**
1. All dimensions are from finish face of framing
 2. All interior walls to be 2x4 framing
 3. 1/2 inch gypsum to be used trouhgout new
 4. casing and base to be 1x 3

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**PROPOSED PLAN
FIRST FLOOR**

PROJECT DESCRIPTION:
**1921 NORMAL ST.
DECTUR. GA. 30032**

DRAWINGS PROVIDED BY:
FRANCO VENTURES

DATE:

SCALE:
5/16" = 1'

SHEET:

A-2

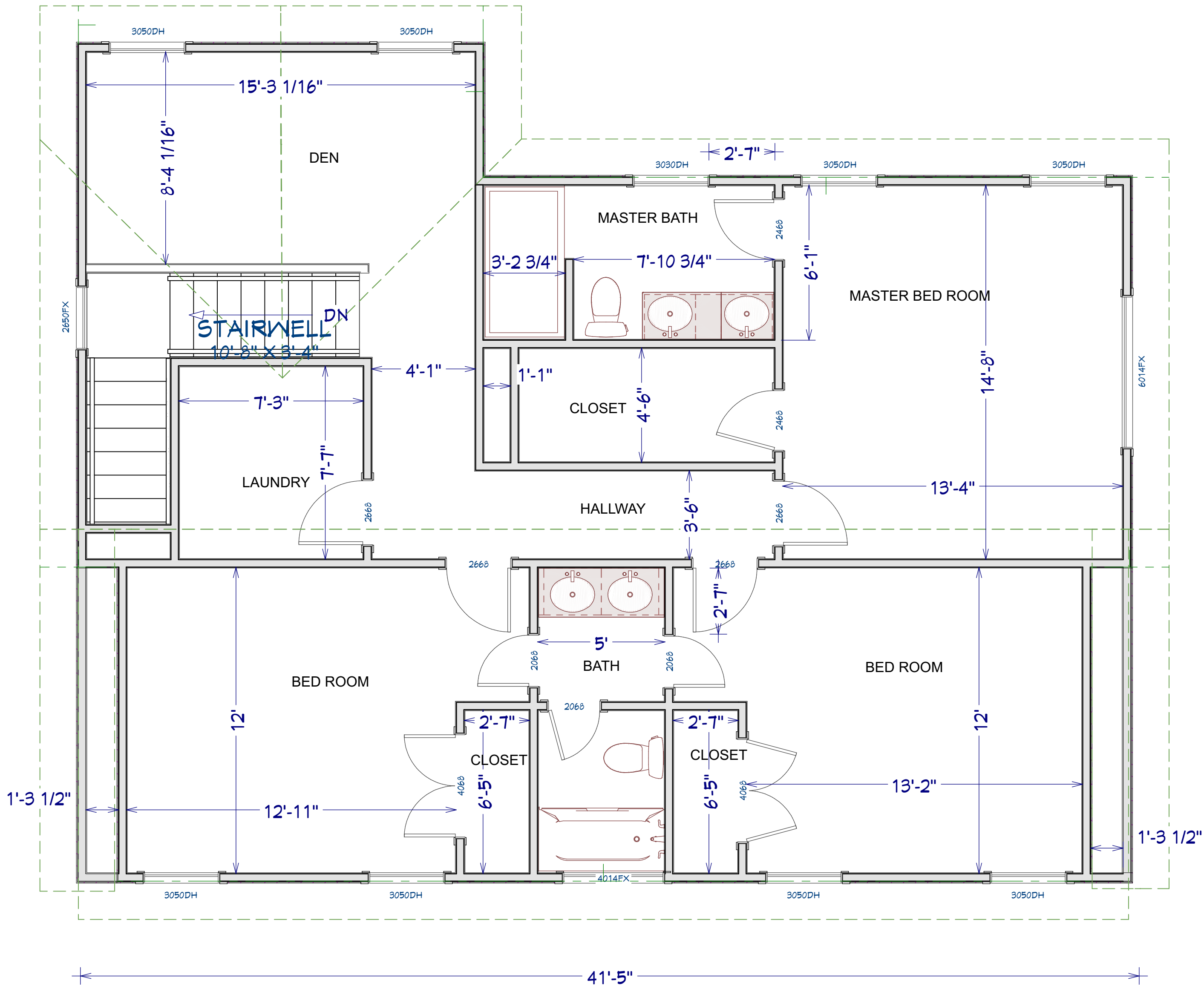
FIRTS FLOOR PLAN PROPOSAL

- FLOOR PLANS GENERAL NOTES
1. All dimensions are from finish face of wall

2. All interior walls to be 2x4 framing

3. 1/2 inch gypsum to be used trouhgout new

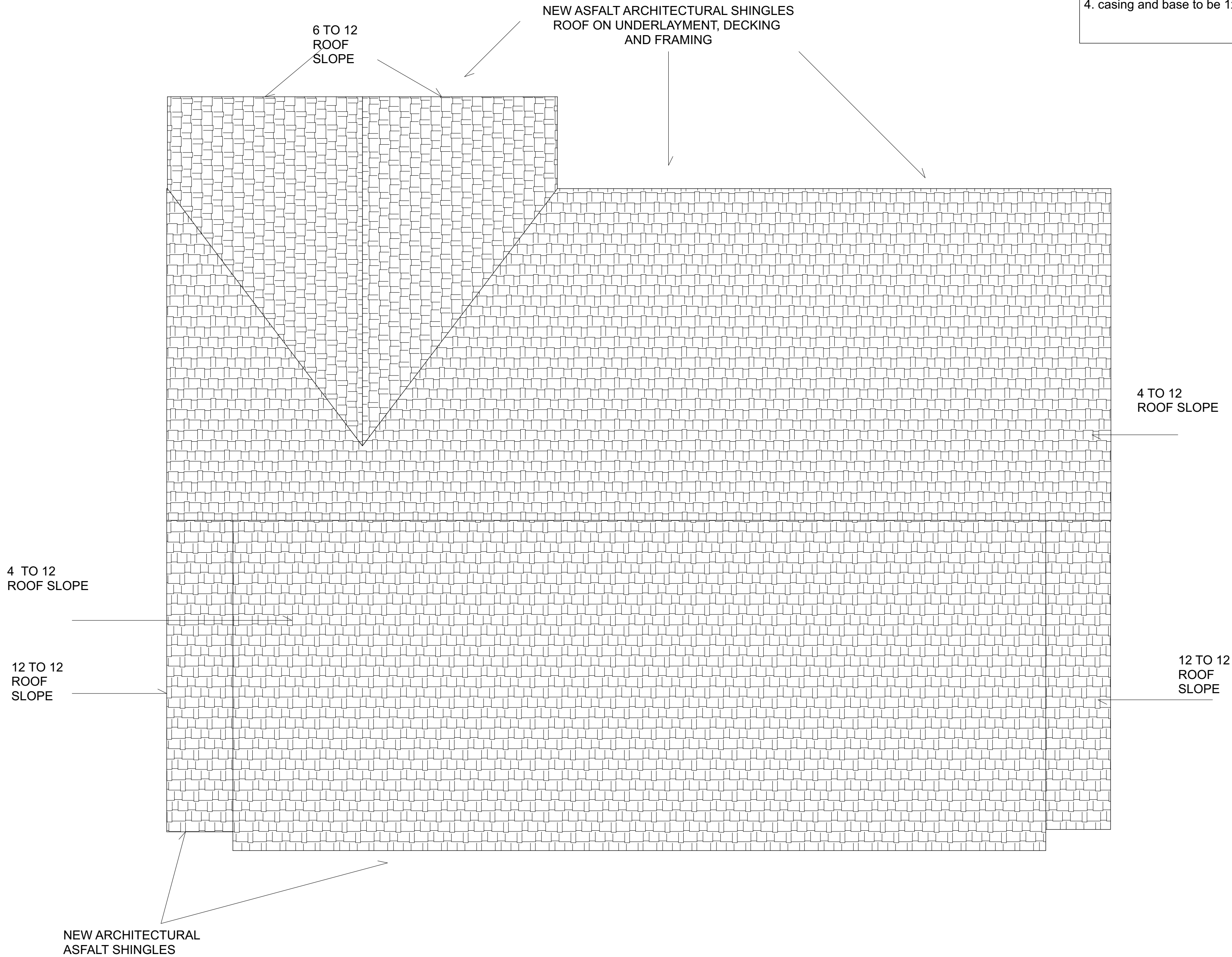
4. casing and base to be 1x3



SECOND FLOOR PLAN PROPOSAL

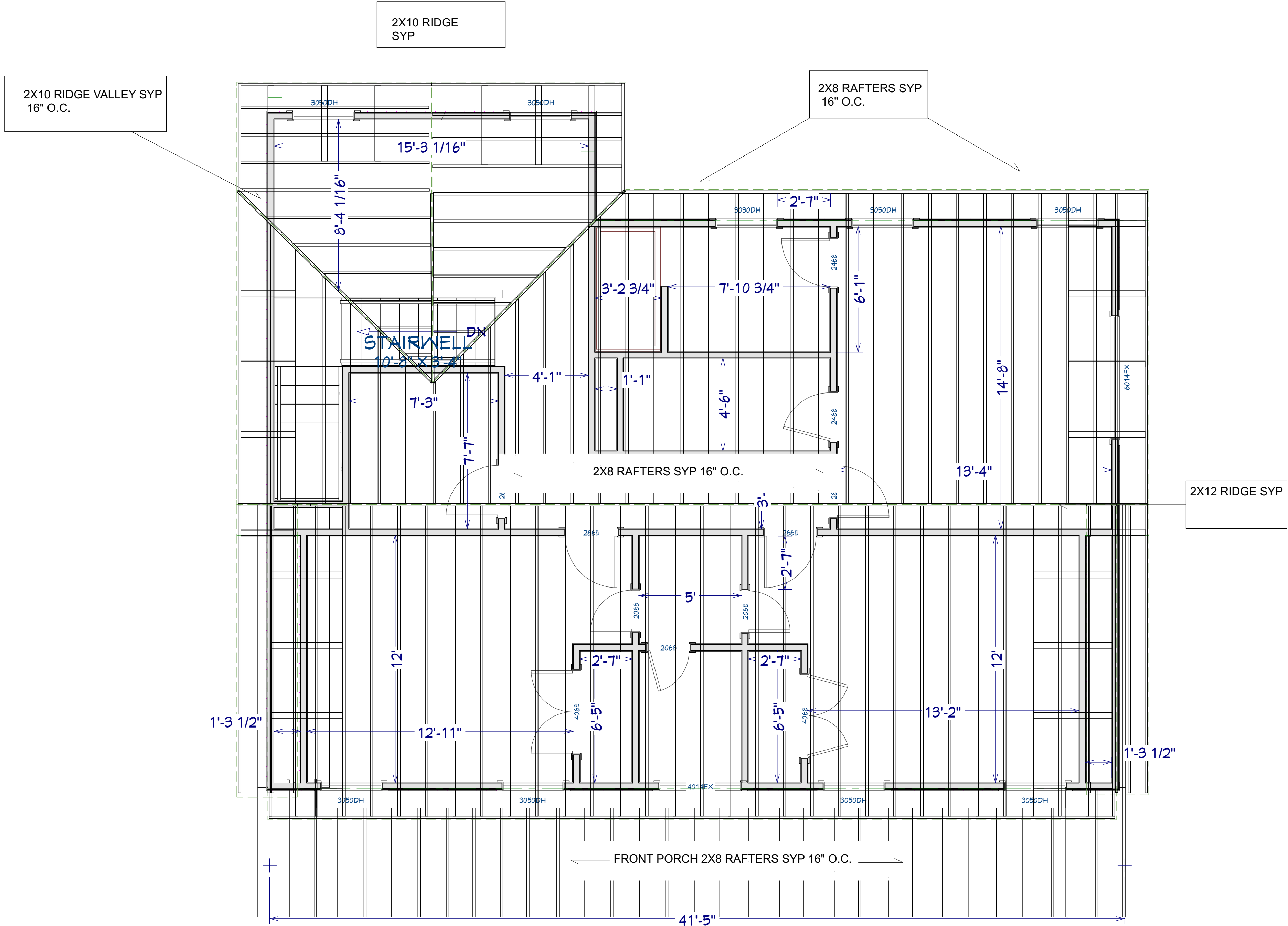
PROJECT DESCRIPTION:				SHEET TITLE:	
FRANCO VENTURES				PROPOSED SECOND FLOOR	
1921 NORMAL ST. DECTUR. GA. 30032					
DRAWINGS PROVIDED BY:				BY	
DATE:				DATE	
SCALE:					
5/16" = 1'					
SHEET:					
A-3					

- FLOOR PLANS GENERAL NOTES**
- 1. All dimensions are from finish face of wall
 - 2. All interior walls to be 2x4 framing
 - 3. 1/2 inch gypsum to be used trouhgout new
 - 4. casing and base to be 1x4 and 1x6



ROOF PLAN PROPOSAL

NO.	DESCRIPTION	BY	DATE
SHEET TITLE: ROOF PLAN			
PROJECT DESCRIPTION: 1921 NORMAL ST. DECTUR. GA. 30032			
DRAWINGS PROVIDED BY: FRANCO VENTURES			
DATE:			
SCALE:			
5/16" = 1'			
SHEET:			
A-4			



ROOF FRAMING STRUCTURE PROPOSED

NO.	DESCRIPTION	BY	DATE
SHEET TITLE: ROOF FRAMING			
PROJECT DESCRIPTION: 1921 NORMAL ST. DECATUR, GA. 30032			
DRAWINGS PROVIDED BY: FRANCO VENTURES			
DATE: 			
SCALE: 5/16"=1'			
SHEET: A-7			



FRONT ELEVATION
PROPOSED



EAST ELEVATION
PROPOSED

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATIONS

PROJECT DESCRIPTION:
1921 NORMAL ST. DECATUR, GA. 30032

DRAWINGS PROVIDED BY:
FRANCO VENTURES

DATE:

SCALE:

SHEET:
A-8



REAR ELEVATION PROPOSED



WEST ELEVATION PROPOSED

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	ELEVATIONS
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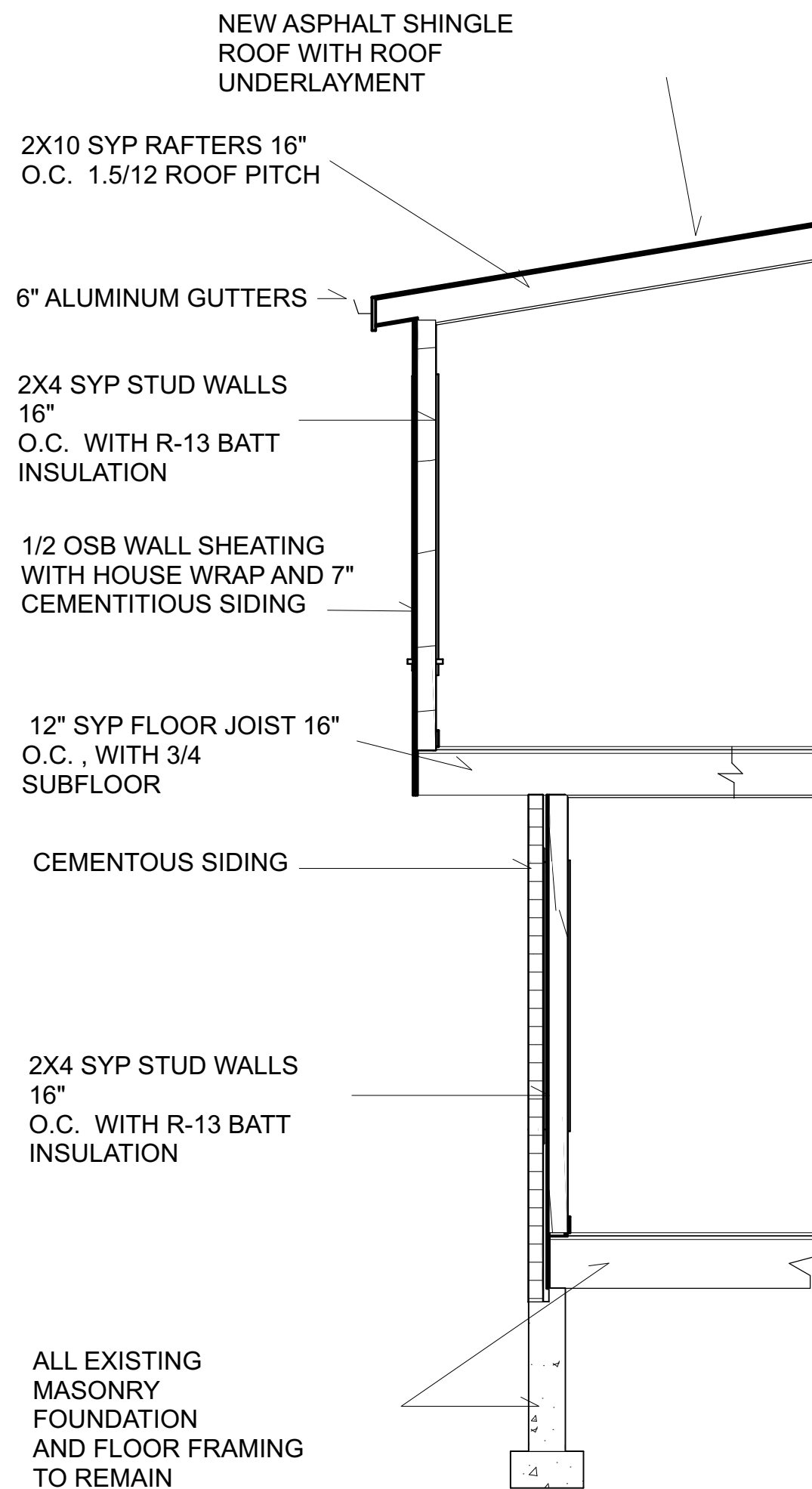
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DRAWINGS PROVIDED BY:	FRANCO VENTURES
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DATE:	
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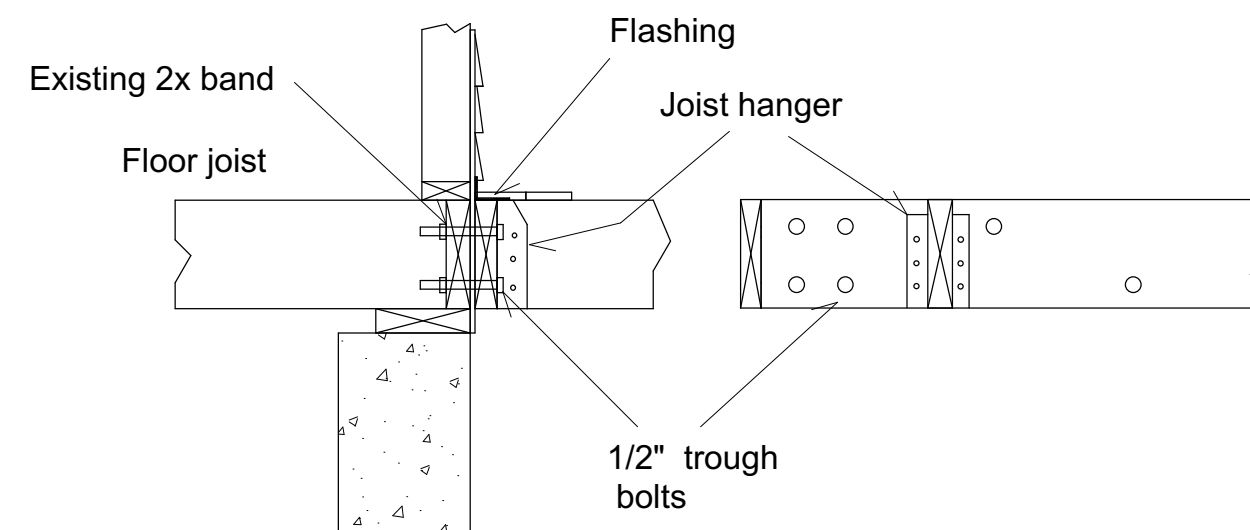
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SHEET:	A-9
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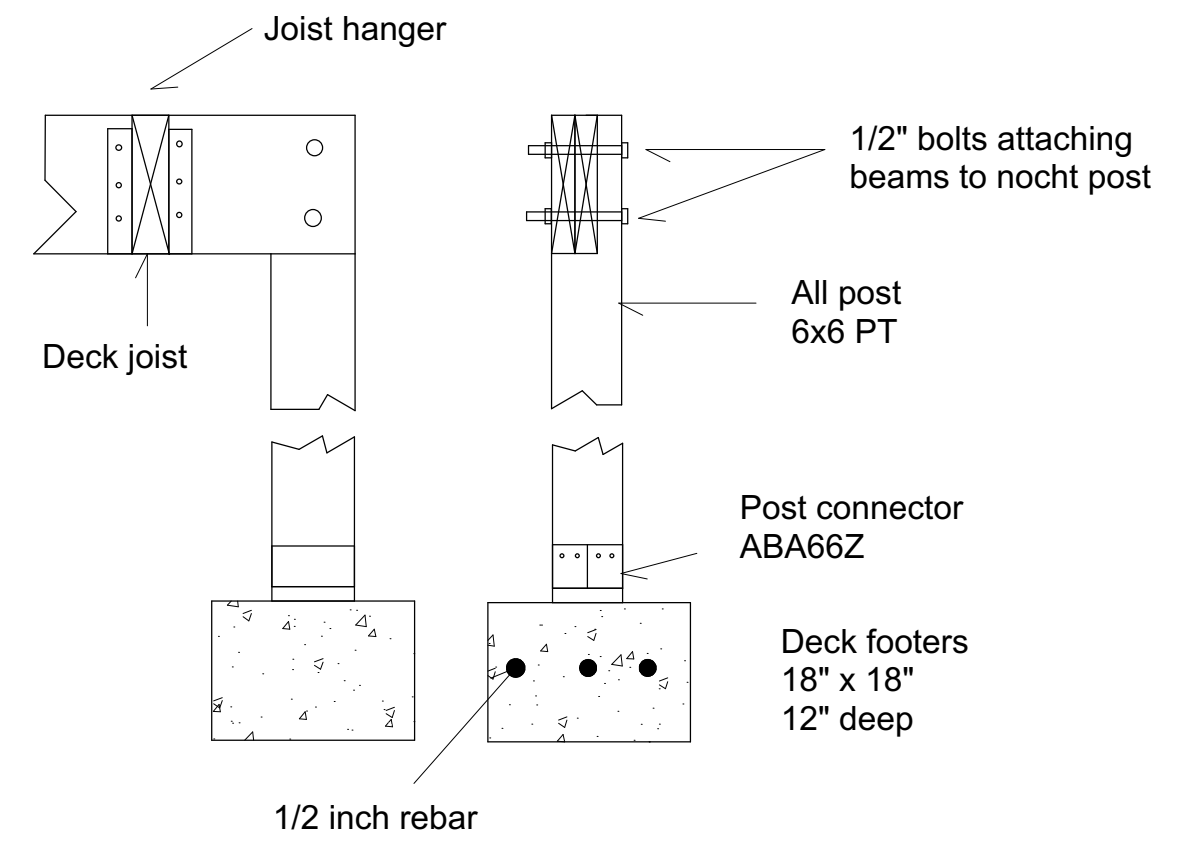
WALL SECTION

4
A 10



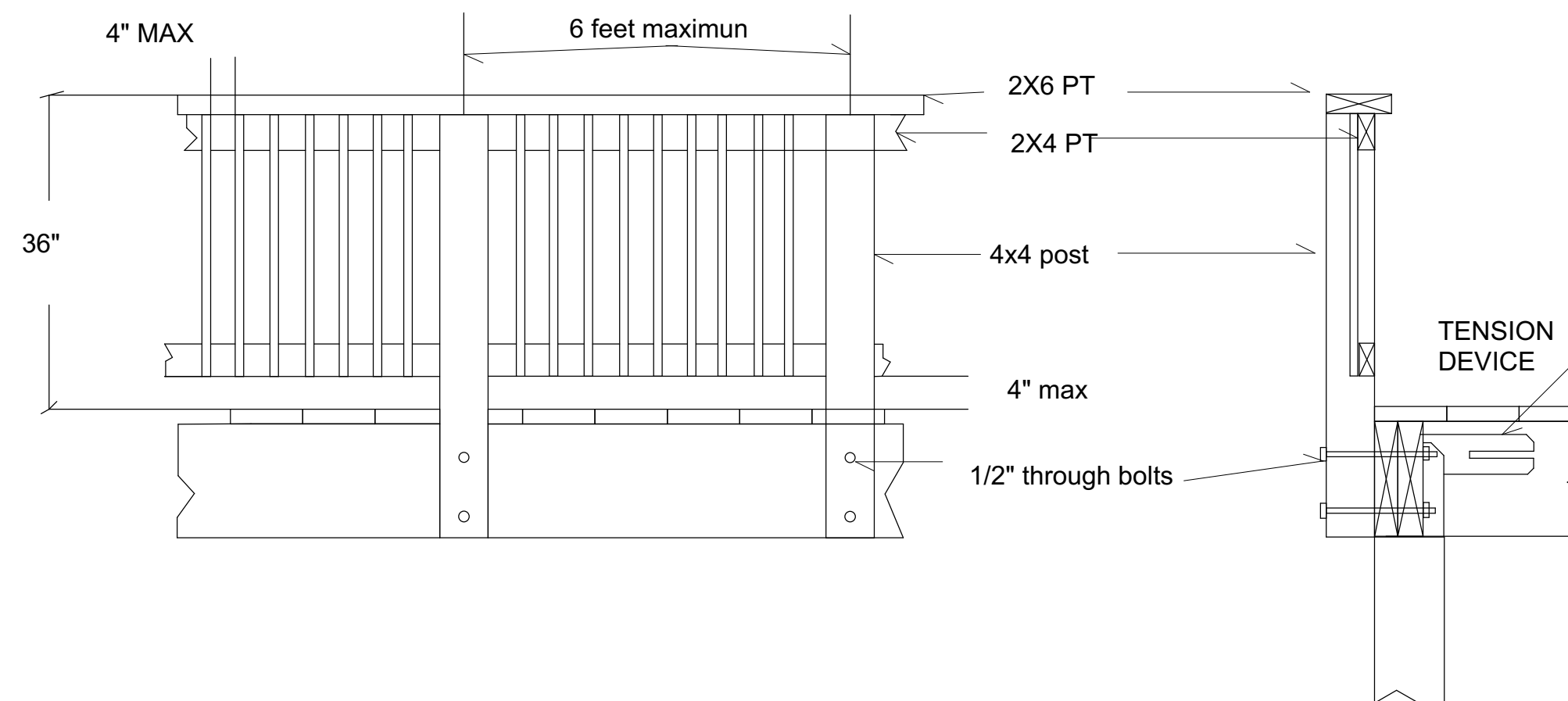
SECTION DETAIL DECK CONNECTION TO HOUSE

1
A 10



SECTION DETAIL POST TO BEAM

2
A 10



SECTION DETAIL DECK GUARDRAIL

3
A 10

SHEET TITLE:

DETAILS

PROJECT DESCRIPTION:

1921 NORMAL ST.
DECATUR, GA. 30032

DRAWINGS PROVIDED BY:

FRANCO VENTURES

DATE:

SCALE:

SHEET:

A-10

I HAVE THIS DATE. EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

PANEL 13089C0131J

EFFECTIVE DATE: 05/16/2013

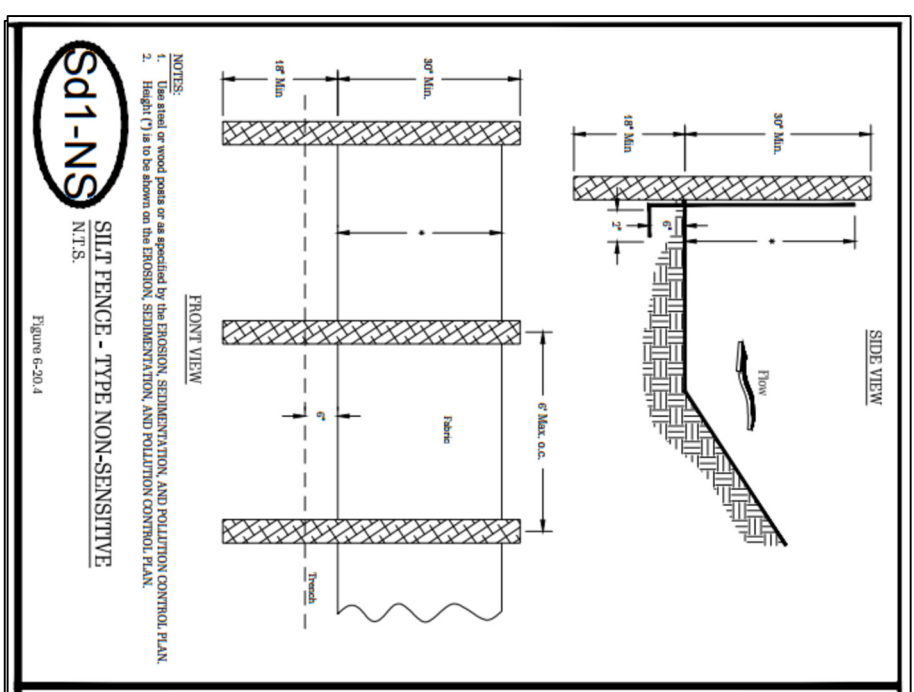
ZONE 'X'

[illegible]

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CANNOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY SYSTEMS ATLANTA TITLE BLOCK. SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITE PLANS AND CAN NOT BE INSERTED WITH SURVEY SYSTEMS ATLANTA TITLE BLOCK. SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

Ds1	TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF 6 MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SPECIES TO PREVENT SOIL EROSION CONTROL. NOTES: ESTABLISHING PERMANENT VEGETATION COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR REEDS.
Ds3	ON DISTURBED AREAS, SEE ENLARGED PLANS
Ds4	ON DISTURBED AREAS, STABILIZATION (WITH SODDING)
Du	CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON LAND DISTURBING ACTIVITIES

INDICATES SILENCE



TREE PROTECTION SIGNS are to be placed at least every 50' along the length of the Tree Protection Fence. The signs should be in a language so that all workers on site are able to understand.

TREE PROTECTION SIGNS are to be placed at least every 50' along the length of the Tree Protection Fence. The signs should be in a language so that all workers on site are able to understand.

PROTECTION AREA KEEP OUT!

6"

2'-0" MIN.

4. HIGH, ORANGE, POLYETHYLENE

INDICATES TREE PROTECTION FENCE

USE EXISTING WALLS
CONSTRUCTION OUTLET

9 CU.YD. DEMO DEBRIS TO BE
HAULED OFF SITE.

NO GRADING
NO CUT, NO FILL

REF. PRESERVATION CALCULATION:

5 UNITS PER ACRE REQUIRED
5 X 0.43 = 6.45 TOTAL
323 INCHES PROVIDED

NOTES

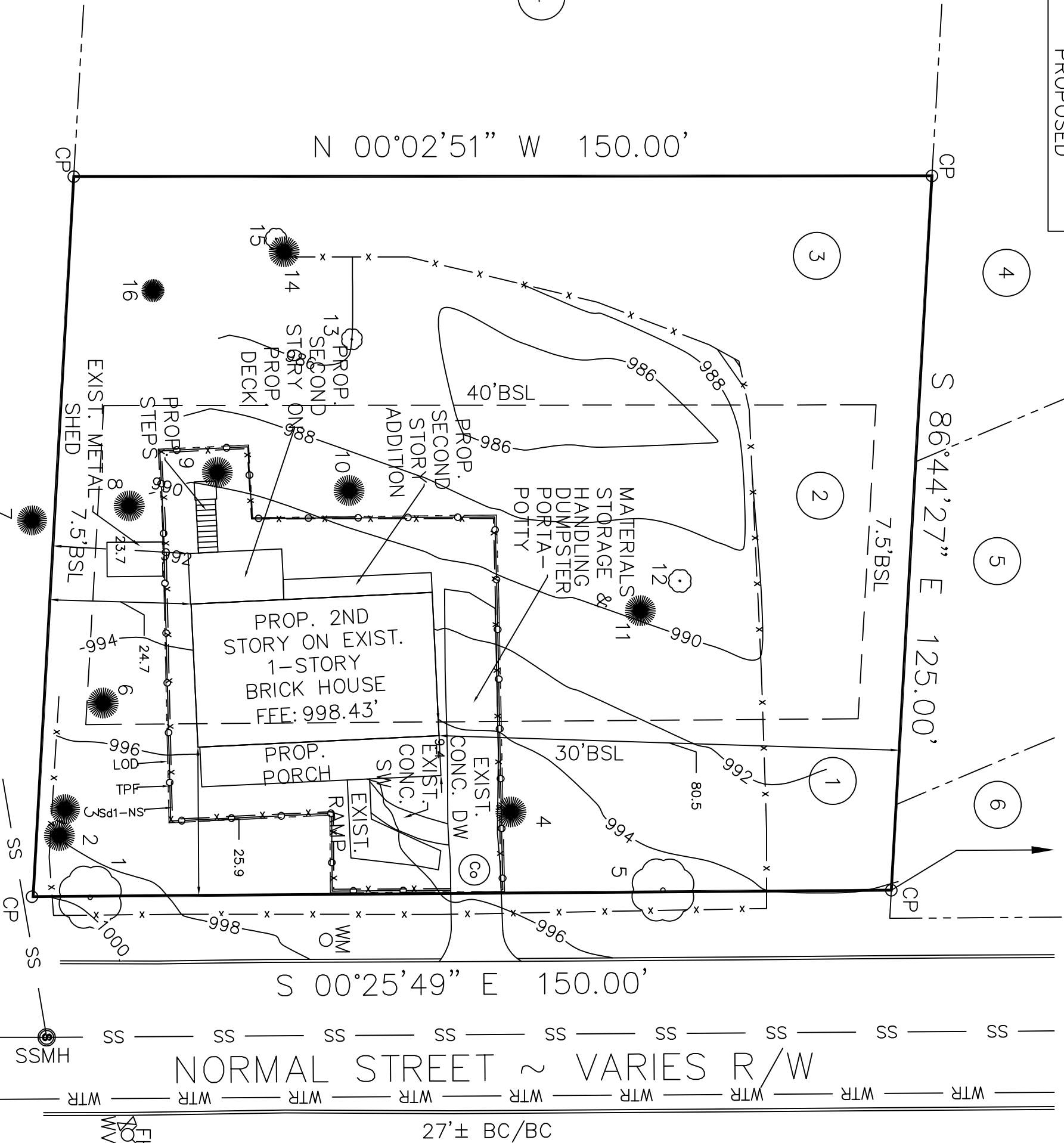
ALL TREES TO REMAIN AND HAVE PROPER
ALL LAND DISTURBANCE TO BE STABILIZED WITH
VEGETATION UPON COMPLETION OF DEMOLITION.

PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.

ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE
DUMPSTERS AND/OR TEMPORARY SANITARY

INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.

ELLDALE AVENUE



NO PROPOSED GRADING
EXCEEDING TWO (2)'.
CONTOURS SHOWN ARE
EXISTING.
MAX 3H:1V SLOPES

DISTURBED AREA
3669 SF=
0.08422 AC

NO UTILITY WORK
PROPOSED

251.4 R/W
TO HILLSIDE
AVENUE (40' R/W)



IF YOU DIG GEORGIA...
CALL US FIRST
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

PROPERTY IS ZONED R-75

BUILDING SETBACK:

FRONT 30'
SIDE 7.5'
REAR 40'
MAX LOT COVERAGE - 35%

ZONING NOTE:

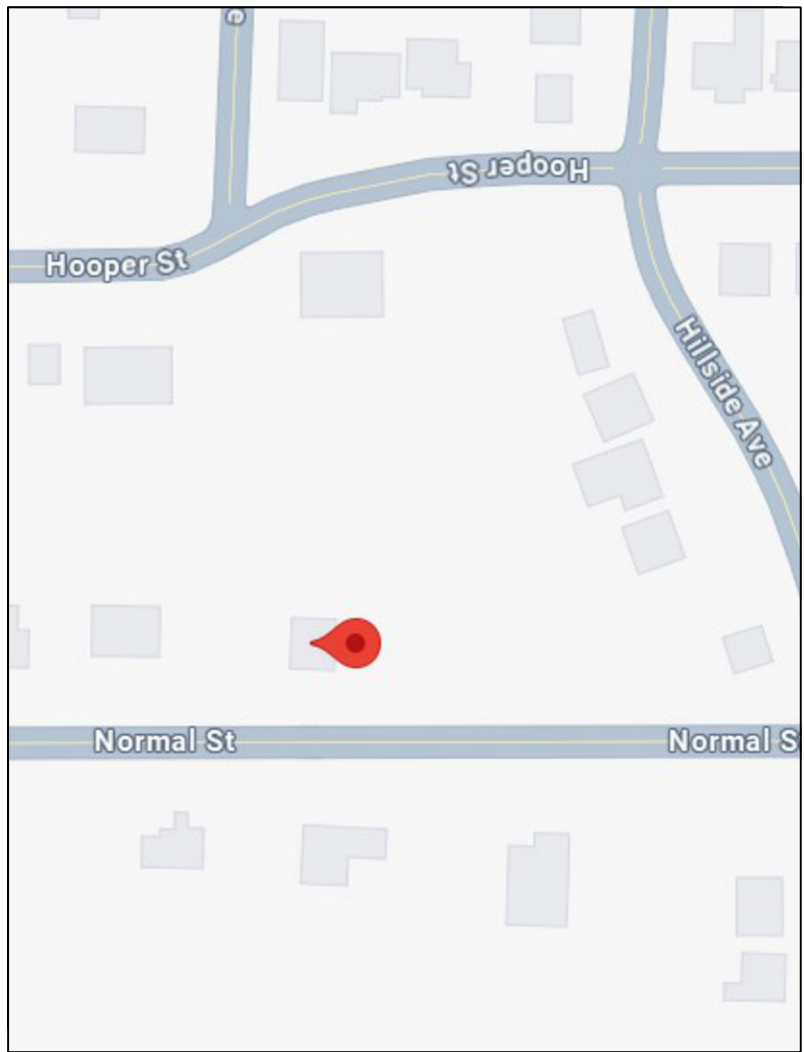
BEFORE DEVELOPMENT OF THIS PROPERTY,
DEVELOPER AND ARCHITECT TO CONFIRM
ZONING DISTRICT, PER ZONING DEPARTMENT

IMPERVIOUS (IN SQUARE FEET)		
HOUSE	1057	
CONC. DW	460	
CONC. SW	56	
PORCH	35	
METAL SHED	58	
STEPS	29	
RAMP	130	
TOTAL IMPERVIOUS	1825	
REMOVED		
PORCH	35	
RAMP	14	
STEPS	29	
TOTAL REMOVED	78	
TOTAL IMPERVIOUS		
PORCH	291	
ADDITION	91	
DECK	145	
STEPS	44	
TOTAL PROPOSED IMPERVIOUS	571	
TOTAL IMPERVIOUS	2318	
IMPERVIOUS %	12.330000	

TREE TABLE			
TR.NO.	DIAMETER	TYPE	
1	47	OAK	
2	19	PINE	
3	13	POPULAR	
4	22	PINE	
5	30	OAK	
6	15	PINE	
7	13	POPULAR	
8	29	POPULAR	
9	20	PINE	
10	22	PINE	
11	33	POPULAR	
12	7	OAK	
13	8	OAK	
14	27	POLAR	
15	8	OAK	
16	10	POPULAR	

*
LEGEND
*

NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAN	
AKA ALSO KNOWN AS	N/F NOW OR FORMERLY
APD AS PER DEED	NAIL NAIL FOUND
APP AS PER PLAT	P PLAT (BOOK/PAGE)
BSL BUILDING (SETBACK) LINE	POB POINT OF BEGINNING
CP COMPUTED POINT	POC POINT OF COMMENCEMENT
CTP CRIMP TOP PIPE FOUND	R RADIUS LENGTH
OTP OPEN TOP PIPE FOUND	R/W RIGHT-OF-WAY
D DEED (BOOK/PAGE)	RBF REINFORCING BAR FOUND
DW DRIVEWAY	(1/2" UNO)
EEP EDGE OF PAVEMENT	RBS 1/2" REINFORCING BAR SET
FEE FINISH FLOOR ELEVATION	SW SIDEWALK
FKA FORMERLY KNOWN AS	SSE SANITARY SEWER EASTMENT
IPF IRON PIN FOUND	SSCO SANITARY SEWER CLEANOUT
L ARC LENGTH	SSMH SANITARY SEWER MANHOLE
LL LAND LOT	-X- FENCE LINE
LLL LAND LOT LINE	CB CATCH BASIN
NEIGHBOR'S	SCWB STORM WATER CATCH BASIN



VICINITY MAP
(NOT TO SCALE)

