

DeKalb County Historic Preservation Commission

Tuesday, January 20, 2026- 6:00 P.M.

Staff Report

Regular Agenda

D. 1035 Oxford Road, Ben Darmer for Parkwood Living, LLC. Modify a previously approved COA to construct a nonhistoric house. **1247910**.

To be Built - Nonhistoric (18 002 04 020)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

02-25 1035 Oxford Road, Ben Darmer for Parkwood Living, LLC. Demolish a historic house and construct a new house. 1247316. **Denied. (Remanded on Appeal)**

04-25 1035 Oxford Road, Ben Darmer for Parkwood Living, LLC. Demolish a historic house and construct a new house. 1247316. **Approved with Modifications.**

Summary

January 2026

The application was deferred with the consent of the applicant from the December 2025 meeting in order for the applicant to clarify the proposed scope of work for the application. The applicant clarified that the proposed rear addition was no longer a part of the proposed plans, and that the application would only be for the proposed inground pool in the backyard of the property and the proposed privacy fence that would be installed along the rear and side property lines.

December 2025

The applicant proposes the following work:

1. Construct a rear addition on a nonhistoric house. A "flex room" addition will be constructed on the rear, Northern corner of the previously approved nonhistoric house. The addition will be single story, constructed with a gable roof, and will not be visible from the Right of Way.
2. Install a pool in the backyard. An in-ground pool will be installed in the backyard of the property. A paver patio will be installed around the pool.
3. Install a privacy fence. A 6ft wood privacy fence will be installed around the perimeter of the property, along the rear and side property lines and extending towards the front property line.

Recommendation

Approval with Modification. Staff recommends approval of the proposed in-ground pool with the modification that the proposed fencing with the modification that the privacy fence only be installed in the backyard of the property and should not extend into the front yard or beyond the rear corners of nonhistoric house in accordance with Guideline 9.4; all other work shown on the plans provided that differ from the plans approved by the COA issued in April of 2025 is not included within this approval.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use. In the review of the installation of fencing, the front yard shall be defined as the portion of land between the front entrance of the main structure on the property and the Right of Way of which the property is addressed.

9.4 *Enclosures and Walls* (p90) Guideline – The plantings of shrubbery to create a hedge is considered fencing and will require review by the preservation commission.

9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to “soften” the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.

11.0 *Nonhistoric Properties* (p94) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.



DeKalb County

Chief Executive Officer
Michael Thurmond

Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____

Date Received: _____

Address of Subject Property: 1035 Oxford Rd

Applicant: Ben Darmer / Parkwood Living, LLC

E-Mail: [REDACTED]

[REDACTED]

Applicant's relationship to the owner: Owner Architect Contractor/Builder Other

Owner(s): PARKWOOD LIVING, LLC - MIKE WALL Email: [REDACTED]

Owner(s): Email: [REDACTED]

Owner(s) Mailing Address: [REDACTED]

Owner(s) Telephone Number: [REDACTED]

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input checked="" type="checkbox"/>	Fence/Wall	<input checked="" type="checkbox"/>	Other	<input checked="" type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

NEW FLEX ROOM ADDITION. NEW POOL. NEW WOOD PRIVACY FENCE.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant:

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

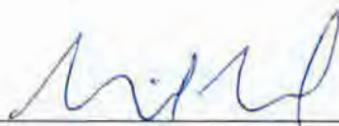
This form is required if the individual making the request is not the owner of the property.

I/ We: PARKWOOD LIVING, LLC / MIKE WALL

being owner(s) of the property at: 1035 Oxford Rd.

hereby delegate authority to: Ben Darmer / Parkwood Living, LLC

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): 

Date: 11/19/25

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

ZONING INFORMATION

CLASSIFICATION: R-85

MINIMUM LOT WIDTH - 85 FEET

MINIMUM LOT AREA - 12,000 sf.

SETBACKS: FRONT - 35 FEET

SIDE - 8.5 FEET

REAR - 40 FEET

MAXIMUM LOT COVERAGE - 35%.

MINIMUM FLOOR AREA - 2000 sf.

MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET

LL = LAND LOT

LLL = LAND LOT LINE

P.L. = PROPERTY LINE
CL = CENTERLINE

B.L. = BUILDING LINE

R/W = RIGHT-OF-WAY

S.S.E. = SANITARY SEWER EASEMENT

D.E. = DRAINAGE EASEMENT

MH = MANHOLE

C.B. = CATCH BASIN

J.B. = JUNCTION BOX

HW = HEADWALL

D.I. = DROP INLET

PP = POWER/UTILITY POLE

F.H. = FIRE HYDRANT

I.E. = INVERT ELEVATION

F.F.E. = FINISHED FLOOR ELEVATION

F.F.B. = FINISHED FLOOR BASEMENT

F.G. = FINISHED FLOOR GARAGE

BOC = BACK OF CURB

EP = EDGE OF PAVEMENT

N/F = NOW OR FORMERLY

P.O.B. = POINT OF BEGINNING

SS = SANITARY SEWER LINE/PIPE

X-X-X = FENCE LINE

—O— = FLOOD HAZARD ZONE LINE

—W— = STORM SEWER LINE/PIPE

—W— = WATER LINE

—G— = GAS LINE

CM = CONCRETE MONUMENT

C.E. = CONSTRUCTION EASEMENT

C&G = CURB AND GUTTER

LS = LIGHT STANDARD

OTP = OPEN TOP PIPE FOUND

CTP = CRIMP TOP PIPE FOUND

TREE INVENTORY:

SAVED:

1 - 16" MAPLE - 4.8
6 - 12" MAGNOLIA - 3.2
7 - 9" CHERRY - 2.4
8 - 19" POPLAR - 5.4
17 - 58" POPLAR - 32.6%

REMOVED:

2 - 25" REDTIP
3 - 10" JAPANESE MAPLE
4 - 15" REDTIP
5 - 50" OAK-POOR HEALTH
9 - 7" PRIVET
10 - 20" PRIVET
11 - 10" PECAN
12 - 25" MAPLE
13 - 30" REDBUD-POOR HEALTH
14 - 8" JAPANESE MAPLE
15 - 30" PECAN
16 - 12" MAPLE
18 - 30" PINE
19 - 15" CHERRY
20 - 12" MULBERRY
21 - 15" MULBERRY
22 - 15" PECAN
23 - 14" HARDWOOD
24 - 15" MULBERRY
25 - 8" CHERRY
26 - 8" HACKBERRY
27 - 11" MULBERRY
28 - 8" CHERRY
29 - 9" MULBERRY

LANDSCAPE REQUIREMENTS:

120 x 0.438 = 53" DBH REQUIRED
PRESERVED = 114" DBH
SURPLUS = 61" DBH

15 x 0.438 = 6.6 UNITS REQUIRED
PRESERVED = 48.4 UNITS
SURPLUS = 41.8 UNITS

TWO FRONT YARD TREES REQUIRED
REQUIREMENT MET

SPECIMEN RECOMMEND:

ONE 30" PECAN TO BE REMOVED
30 x 1.5 = 45" DBH OWED
61(SURPLUS) - 45(OWED) = 16
REMAINING SURPLUS = 16" DBH

ADDITIONAL SPECIMEN SIZE TREES SLATED FOR
REMOVAL HAVE BEEN DEEMED IN POOR CONDITION
AND SHOULD NOT BE CONSIDERED SPECIMENS.

GENERAL NOTES:

- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:

MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

16) I, ROBERT W. RICHARDSON, CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

24 HR CONTACT:

MICHAEL WALL

(404)438-6120
MIKEWALL4@GMAIL.COM
PARKSIDE DEVELOPMENT
1440 DUTCH VALLEY PL
ATLANTA, GA. 30324

BUILDER/OWNER:

PARKWOOD LIVING LLC
MIKE WALL
MIKEWALL4@GMAIL.COM
(404)438-6120
1440 DUTCH VALLEY PL
ATLANTA, GA. 30324

LOT AREA:

19,110 sf.
0.438 ACRES

20 0 20 40 60
GRAPHIC SCALE - FEET

NO GRADED SLOPE SHALL EXCEED 3H:1V
ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 14,390 sf.
0.330 ACRES

Tr - 4' ORANGE MESH TREE SAVE FENCE

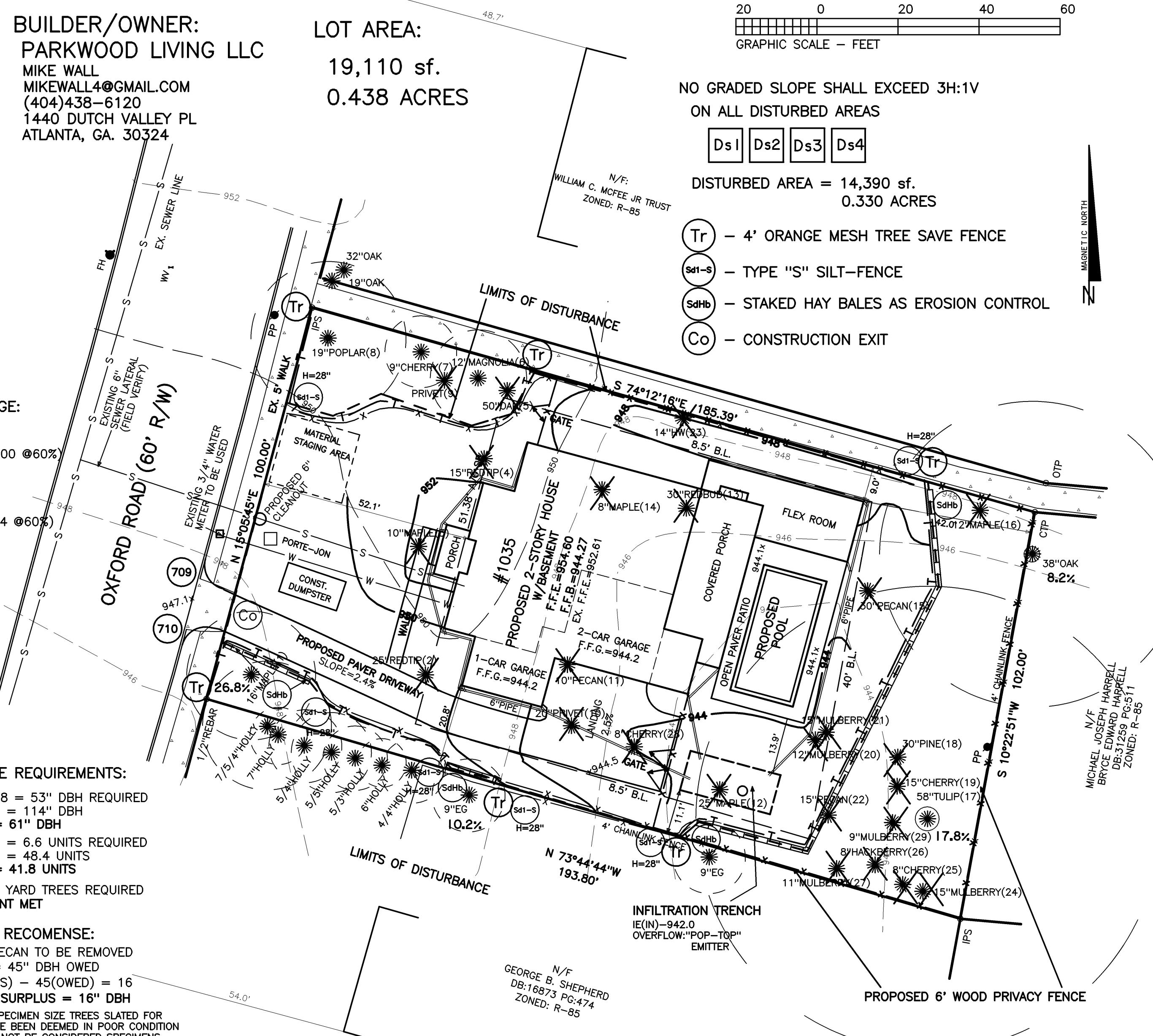
Sd1-S - TYPE "S" SILT-FENCE

SdHb - STAKED HAY BALES AS EROSION CONTROL

Co - CONSTRUCTION EXIT

MAGNETIC NORTH

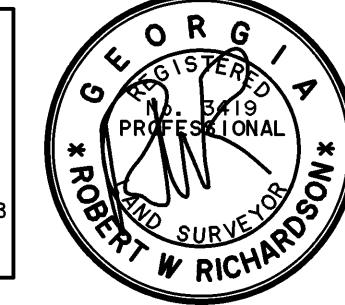
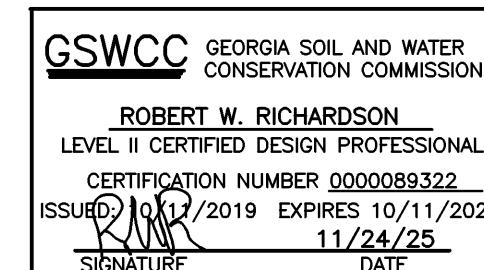
MICHAEL JOSEPH HARRELL
N/F
BRUCE EDWARD HARRELL
DB-51259 PG-511
ZONED: R-85



GEORGE B. SHEPHERD
N/F
DB-16873 PG-474
ZONED: R-85

* LOT IS PART OF DRUID HILLS SUBDIVISION;
NO RECORD OF ORIGINAL SUBDIVISION PLAT
CAN BE FOUND.

PAGE 2 OF 4



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA 30052
ENGINEERING & LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

POOL SITE PLAN FOR:
1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020
LAND LOT: 2
LOT: 54 BLOCK: 12B
DISTRICT: 18TH DEKALB COUNTY
SUB: DRUID HILLS
FIELD DATE: 09/05/24 AREA = 0.438 ACRES
PLAT DATE: 11/24/25 JOB No. 244125PP

INSTALLATION SPECIFICATIONS:

1. INSTALLATION, PRODUCT SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. LOOSE COARSE SOIL TO A MINIMUM DEPTH OF THREE (3) INCHES PRIOR TO APPLICATION.
3. DRY STRAW OR HAY SHALL BE IN CLEAN CONDITION AND APPLIED BY HAND OR MACHINE TO A THICKNESS OF TWO (2) TO FOUR (2) INCHES. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.
4. MULCH ON SLOPES GREATER THAN 3% SHOULD BE ANCHORED WITH EMULSIFIED ASPHALT OR OTHER SUITABLE TACKIFIER.
5. ADDITIONAL MULCHING IS REQUIRED IF THE MINIMUM THICKNESS IS NOT ACHIEVED OR IF SOIL COVERAGE IS LESS THAN 90%.

Ds1 DISTURBED AREA STABILIZATION WITH MULCHING

INSTALLATION SPECIFICATIONS:

1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY TO ALLOW PROPER GERMINATION AND STABILIZATION.
3. SOIL SURFACES MAY NEED TO BE TILLED, PITTED, OR OTHERWISE SCARIFIED TO ALLOW FOR PROPER SEED LODGING AND GERMINATION. APPLY LIME AT A RATE OF ONE TON PER ACRE AS NEEDED.
4. APPLY 10-10-10 FERTILIZER TO SOILS WITH LOW FERTILITY AT A RATE OF 500 TO 700 POUNDS PER ACRE.
5. SEEDS SHALL BE PLANTED AT A DEPTH OF TEN TIMES THE SEED DIAMETER.
6. ACCEPTABLE PLANTING METHODS INCLUDE HYDRO-SEEDING, DRILLING, AND BROADCAST SPREADING BY MACHINE OR HAND.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BARLEY	144 LBS								X	X	X	X	
ANNUAL LESPEDEZA	40 LBS	X	X	X	X								
WEEPING LOVEGRASS	4 LBS	X	X	X	X	X							
BROWNTOP MILLET	40 LBS			X	X	X	X						
OATS	128 LBS							X	X	X			
RYE	168 LBS						X	X	X	X			
ANNUAL RYEGRASS	40 LBS	X	X	X				X	X	X	X		
SUDANGRASS	60 LBS		X	X	X	X	X						
WHEAT	180 LBS			X	X	X	X	X					

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

Ds2 DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project is desirable.
- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather, if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area.

Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type	Fertilizer Rate (lbs./acre)	Fertilizer Rate (lbs./sq.ft.)	Season
10-10-10	1000	.025	Fall

- On slopes steeper than 3:1, sod should be anchored with pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod and soil.
- Irrigate sod and soil to a depth of 4" immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.
- Fertilize grasses in accordance with soil tests or Table 3.

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool season grasses	First 6-12-12	6-12-12	1500	50-100
	Second Maintenance 10-10-10	400	400	30

Warm season

First 6-12-12 6-12-12 1500 50-100

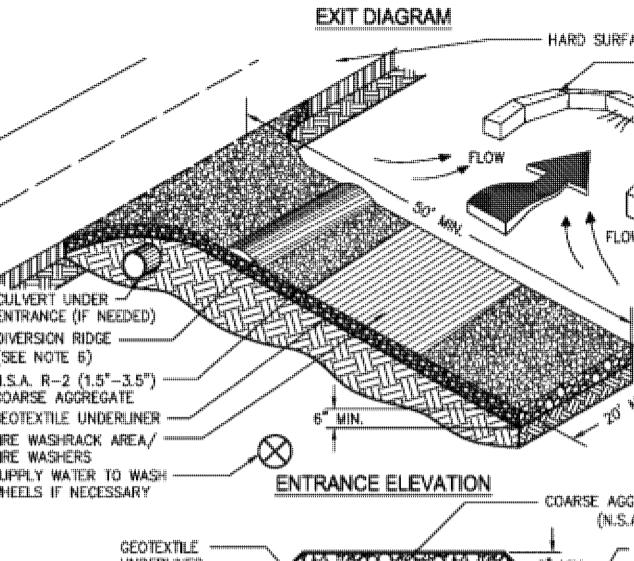
Second 800

50-100

MAINTENANCE

The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



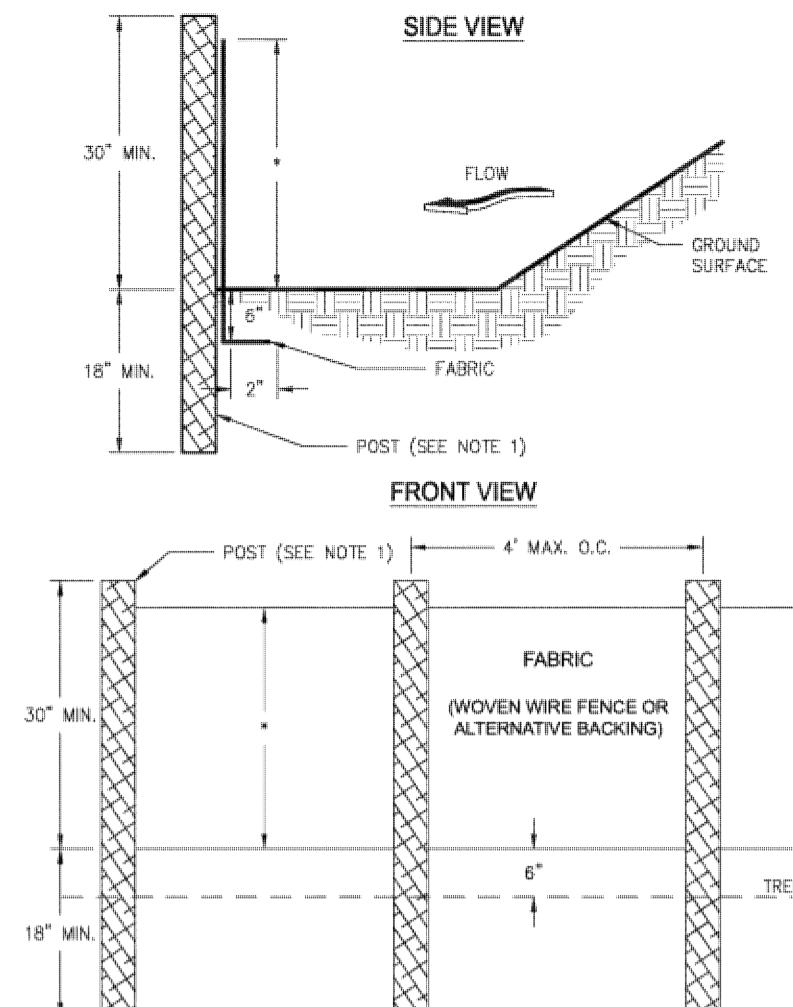
NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. COARSE PAD THICKNESS SHALL BE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHOULD BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS AWAY FROM THE ENTRANCE. DO NOT DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE.
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

GSWCC (Amended - 2013)

SILT FENCE Sd1-S (TYPE C)



NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Figure 6-27.2

GSWCC 2016 Edition

6-142

PLANTING SPECIFICATIONS:

1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. PERMANENT VEGETATION SHALL INCLUDE GROUND PREPARATION, LIMING, FERTILIZING, SEEDING, AND MULCHING.
3. INTERIM EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL AT LEAST 70% OF THE EXPOSED SURFACE IS SUFFICIENTLY STABILIZED.
4. PREPARE THE LAND FOR SEEDING BY APPLYING LIME AND FERTILIZER AND DISKING THE SURFACE TO A MAXIMUM DEPTH OF FOUR (4) INCHES. FINISHED SURFACE SHALL BE SMOOTH, UNIFORM, AND FREE OF DEBRIS SUCH AS TRASH, ROCKS, ROOTS, AND WEEDS.
5. MULCH SHALL BE APPLIED UNIFORMLY WITHIN 24 HOURS OF SEEDING. REFER TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR ADDITIONAL PLANTING SPECIFICATIONS AND ALTERNATIVE VEGETATIVE COVER SUCH AS TREES AND SHRUBS.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BAHIA	60 LBS	X	X	X	X	X	X	X	X	X	X	X	
BERMUDA (HULLED)	10 LBS	X	X	X	X								
BERMUDA (UNHULLED)	10 LBS	X	X										
TALL FESCUE	50 LBS		X	X			X	X	X	X			
WEEPING LOVEGRASS	4 LBS		X	X	X								
SERICEA LESPEDEZA	60 LBS	X	X	X	X								

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

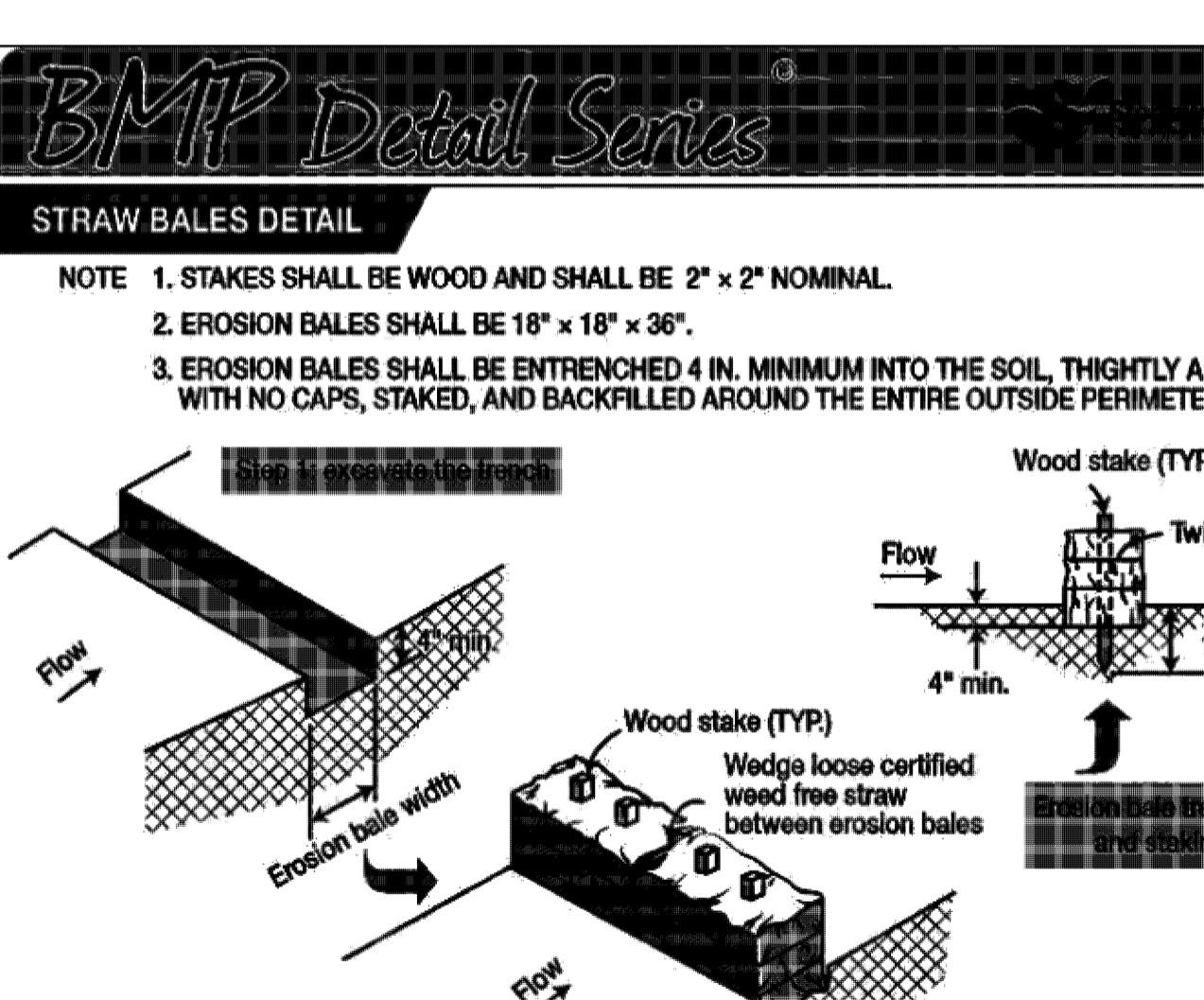
LIME AND FERTILIZER APPLICATION:

1. GRADED AREAS REQUIRE LIME APPLICATION.
2. AGRICULTURAL LIME SHALL BE APPLIED AT A RATE OF ONE (1) TO TWO (2) TONS PER ACRE UNLESS SOIL TESTS SUGGEST OTHERWISE. REPEAT APPLICATION EVERY FIVE (5) YEARS OR AS NEEDED.

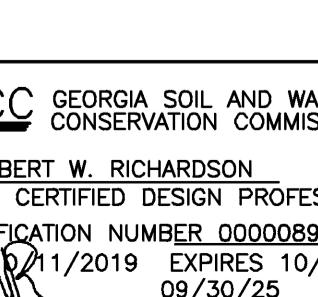
TYPE OF SPECIES	PLANTING YEAR	RECOMMENDED N-P-K		FERTILIZER RATE PER ACRE
		1	2	
COOL SEASON GRASSES	1	6-12-12		1500 LBS
	2	6-12-12		1000 LBS
	MAINTENANCE	10-10-10		400 LBS
COOL SEASON GRASSES AND LEGUMES	1	6-12-12		1500 LBS
	2	0-12-12		1000 LBS
	MAINTENANCE	0-10-10		400 LBS
WARM SEASON GRASSES	1	6-12-12		1500 LBS
	2	6-12-12		800 LBS
	MAINTENANCE	10-10-10		400 LBS
WARM SEASON GRASSES AND LEGUMES	1	6-12-12		1500 LBS
	2	0-10-10		1000 LBS
	MAINTENANCE	0-10-10		400 LBS

* PERMANENT SEEDING MAY BE SUBSTITUTED WITH SODDING (Ds4) AT THE DISCRETION OF THE PROPERTY OWNER AND LOCAL INSPECTOR.

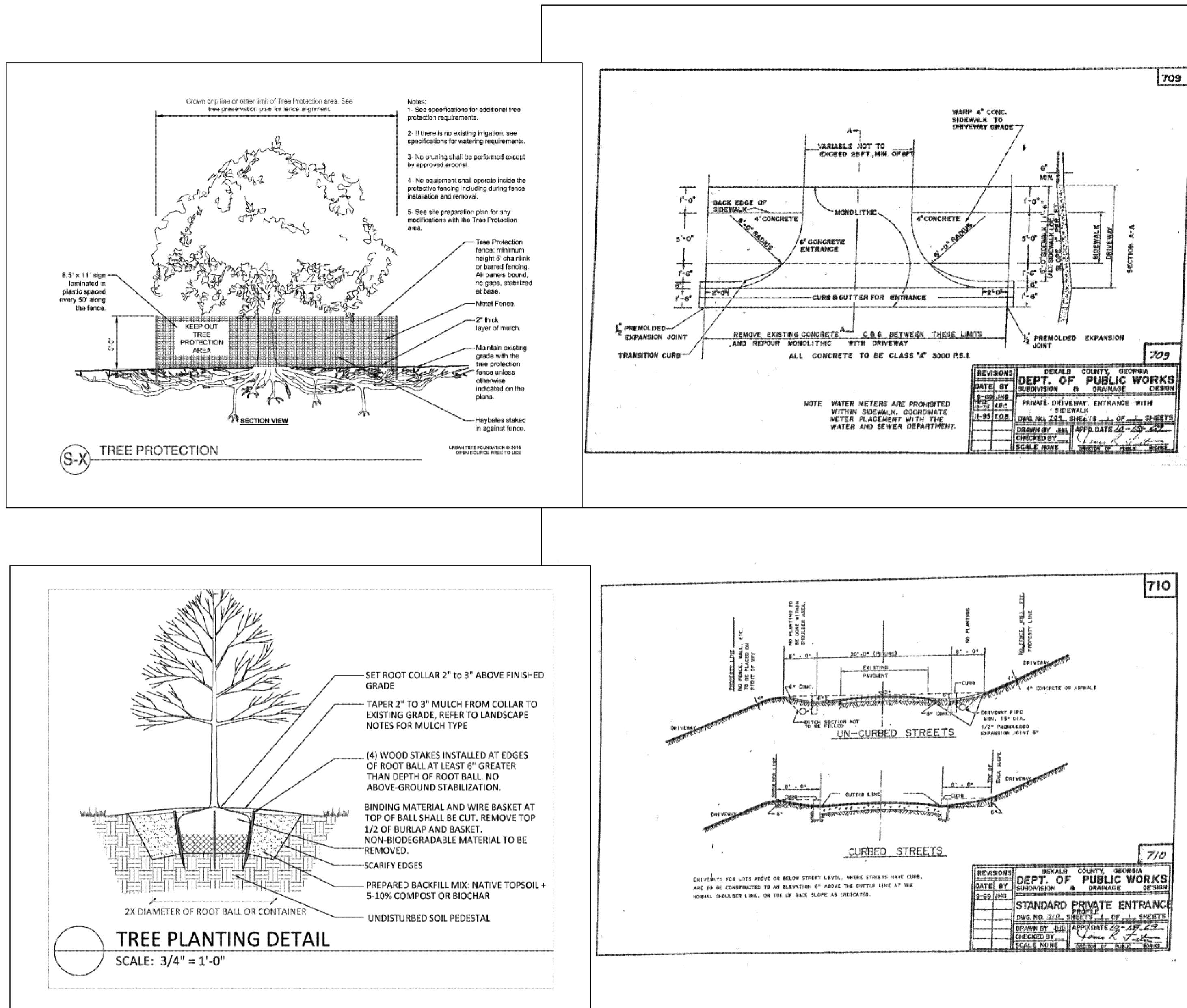
Ds3 DISTURBED AREA STABILIZATION WITH PERMANENT SEEDING



©2013 Summiter USA LLC



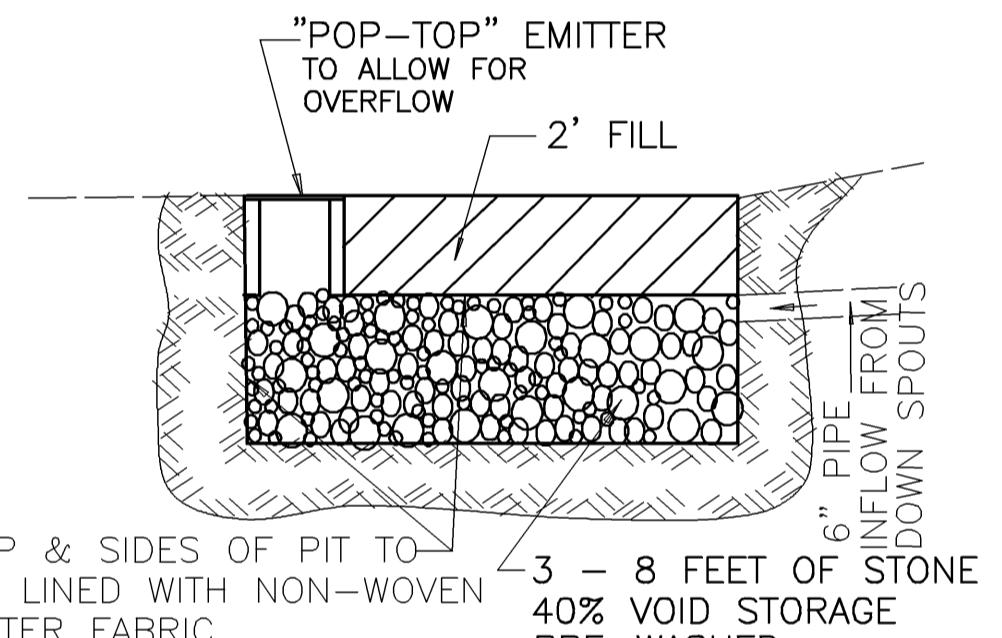
ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED: 10/11/2019 EXPIRES 10



INFILTRATION TRENCH MAINTENANCE ACTIVITIES AND SCHEDULE

ACTIVITY	SCHEDULE
- REPLACE GRAVEL AND TOPSOIL (WHEN CLOGGED)	AS NEEDED
<ul style="list-style-type: none"> <li data-bbox="3204 359 3426 406">- CLEAR INLETS OF DEBRIS, INCLUDING SEDIMENT AND OIL/GREASE <li data-bbox="3204 406 3426 432">- STABILIZE THE SURROUND AREA. <li data-bbox="3204 432 3426 478">- MOW GRASS AND REMOVE GRASS CLIPPINGS FROM FILTER STRIP AREAS, IF APPLICABLE <li data-bbox="3204 478 3426 571">- REPAIR UNDERCUT AND ERODED AREAS AT INFLOW/OUTFLOW STRUCTURES. 	MONTHLY
<ul style="list-style-type: none"> <li data-bbox="3204 571 3426 709">- INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR DEBRIS ACCUMULATION AND STRUCTURAL INTEGRITY; TAKE CORRECTIVE ACTION AS NEEDED. 	SEMIANNUALLY
<ul style="list-style-type: none"> <li data-bbox="3204 726 3426 772">- AERATE PRETREATMENT BASIN BOTTOM OR DE-THATCH BASIN BOTTOM, IF APPLICABLE. 	ANNUALLY
<ul style="list-style-type: none"> <li data-bbox="3204 818 3426 894">- SCRAPE PRETREATMENT BASIN BOTTOM TO REMOVE ACCUMULATED SEDIMENT AND RE-SEED GROUND COVER, IF APPLICABLE. 	EVERY 5 YEARS
<ul style="list-style-type: none"> <li data-bbox="3204 977 3426 1003">- TOTALLY REHABILITATE THE TRENCH AND RESTORE ITS DESIGN STORAGE CAPACITY. <li data-bbox="3204 1003 3426 1069">- EXCAVATE TRENCH WALLS TO EXPOSE CLEAN SOIL IF APPLICABLE. 	UPON FAILURE

1.) DOWN DRAINS SHALL HAVE POSITIVE SLOPE AWAY FROM FOUNDATION.



**PRE-WASHED
GRAVEL TRENCHS**

2.) DOWN SPOUTS SHALL NOT BE DISCHARGE CLOSER THAN 5' FROM FOUNDATION





1035 OXFORD ROAD

A NEW CUSTOM HOUSE PROJECT INCLUDING NEW FLEX ROOM

PROJECT DIRECTORY	INDEX OF DRAWINGS	VICINITY MAP																				
OWNER MICHAEL WALL PARKSIDE DEVELOPMENT 1440 DUTCH VALLEY PLACE ATLANTA, GEORGIA 30324 TEL. (404) 438-6120 Email: mikewall4@gmail.com	CONTRACTOR ROBERT LONG JR. ROBERT LONG CONSTRUCTION LLC P.O. BOX 801208 ACWORTH, GEORGIA 30101 TEL. (404) 626-3302 Email: robert.long@robertlongconstruction.com	A001 COVER SHEET A002 ABBREV. & GRAPHIC SYMBOLS A100 BASEMENT PLAN A101 FLOOR PLANS A102 ROOF PLAN & VERT. CIRCULATION A201 EXTERIOR ELEVATION A202 EXTERIOR ELEVATION A203 EXTERIOR ELEVATION A204 EXTERIOR ELEVATION A301 SECTIONS & DETAILS A302 SECTIONS & DETAILS																				
DESIGN TEAM GOODMAN DESIGN, INC. BRANT J. GOODMAN P.O. BOX 1296 ALPHARETTA, GEORGIA 30009 TEL. (678) 427-8466 Email: brant@goodmandesign.us	BUILDING CODE REVIEW BUILDING CODE: THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES: <ul style="list-style-type: none"> International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022), (2024) International Residential Code, 2018 Edition, with Georgia Amendments (2020), (2024) International Fire Code, 2018 Edition (Contact State Fire Marshal Below) International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022), (2023), (2024) International Mechanical Code, 2018 Edition, with Georgia Amendments (2020), (2024) International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022) National Electrical Code, 2023 Edition, with Georgia Amendments (2021) International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022), (2023) International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020) 																					
SITE DEVELOPMENT ALPHA LAND SERVICES ROBERT RICHARDSON PO BOX 1651 LOGANVILLE, GEORGIA 30052 TEL. (770) 696-4054 Email: robert@alphalandsurveyor.com	SCOPE OF WORK A NEW CUSTOM HOME PROJECT INCLUDING NEW FLEX ROOM. ELECTRICAL LOAD CALCULATIONS AND PANEL SCHEDULE FOR EV CHARGING STATION WILL BE PROVIDED BY HOMEOWNER'S ELECTRICAL CONTRACTOR AND SUBMITTED TO THE CITY OF ATLANTA PRIOR TO ELECTRICAL PERMIT ISSUANCE.	AREA SUMMARY <table border="1"> <tr> <td>BASEMENT:</td> <td>1,613 HEATED SF</td> </tr> <tr> <td>MAIN LEVEL:</td> <td>2,578 HEATED SF</td> </tr> <tr> <td>UPPER LEVEL:</td> <td>2,440 HEATED SF</td> </tr> <tr> <td>TOTAL:</td> <td>6,631 HEATED SF</td> </tr> </table> <table border="1"> <tr> <td>FLEX ROOM:</td> <td>395 HEATED SF</td> </tr> <tr> <td>FRONT STOOP:</td> <td>80 SF</td> </tr> <tr> <td>COVERED PATIO:</td> <td>588 SF</td> </tr> <tr> <td>COVERED DECK:</td> <td>588 SF</td> </tr> </table> <table border="1"> <tr> <td>TWO CAR GARAGE:</td> <td>530 SF</td> </tr> <tr> <td>ONE CAR GARAGE:</td> <td>222 SF</td> </tr> </table>	BASEMENT:	1,613 HEATED SF	MAIN LEVEL:	2,578 HEATED SF	UPPER LEVEL:	2,440 HEATED SF	TOTAL:	6,631 HEATED SF	FLEX ROOM:	395 HEATED SF	FRONT STOOP:	80 SF	COVERED PATIO:	588 SF	COVERED DECK:	588 SF	TWO CAR GARAGE:	530 SF	ONE CAR GARAGE:	222 SF
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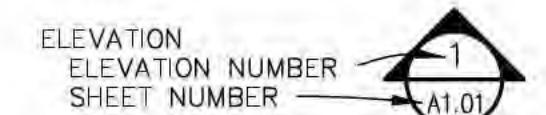
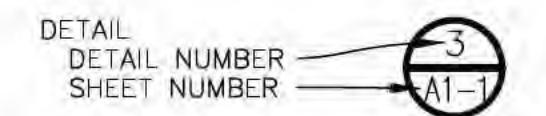
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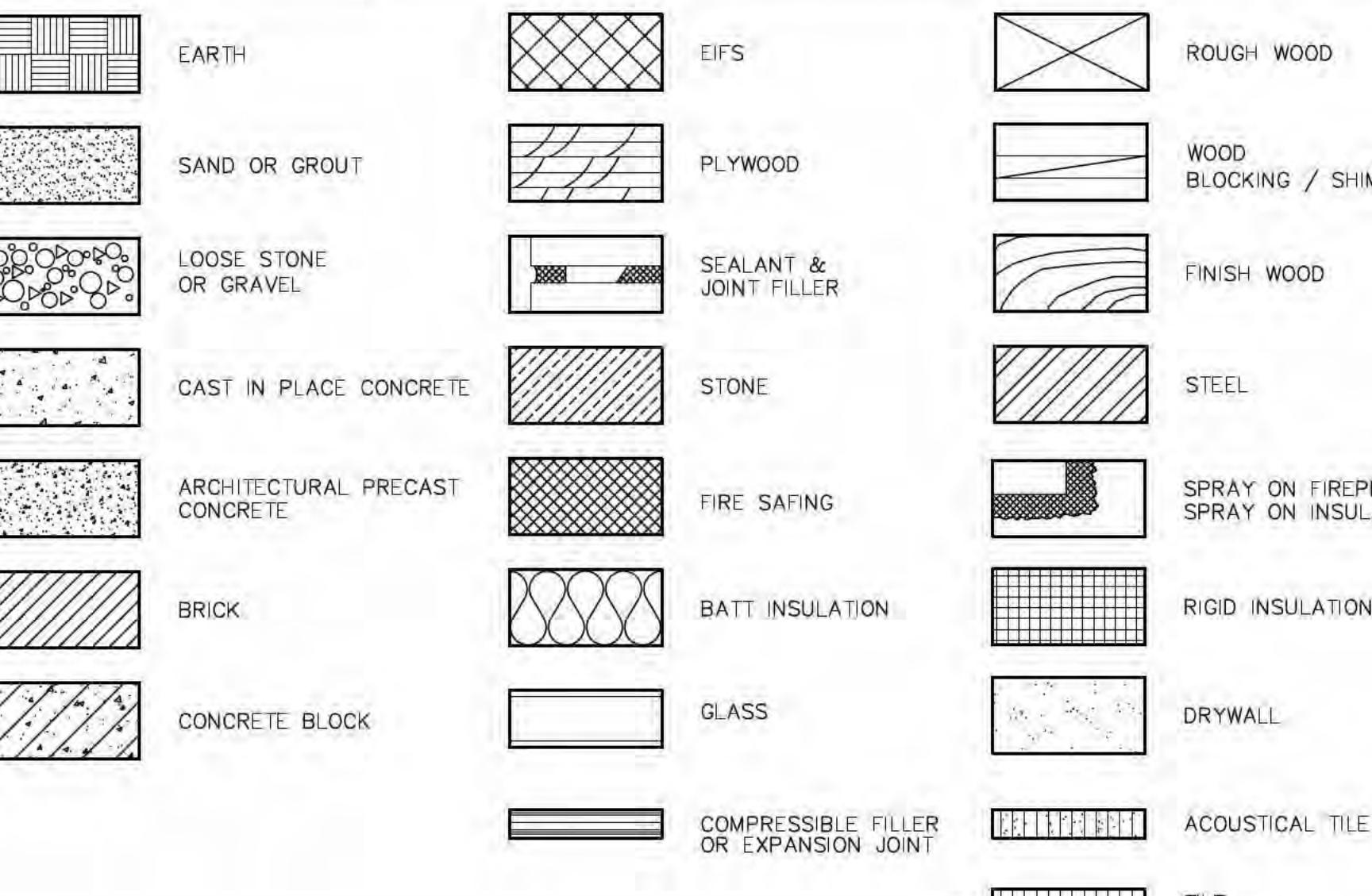
ABBREVIATIONS

AND	FA	FIRE ALARM	PART	PARTIAL
AT	FAC	FIRE APPARATUS CABINET	PC	PRECAST CONCRETE
AB	FAB	FABRICATE (OR)	PD	PLAZA DRAIN
AC	FCRC	FLUOROCARBON RESINOUS	PERF	PERFORATE (ED)
ACOUS		COATING	PRIM	PERIMETER
ACT	FD	FLOOR DRAIN	PKG	PARKING
ADDL	FDTN	FOUNDATION	PL	PLATE
ADH	FE	FIRE EXTINGUISHER	P/L	PROPERTY LINE
ADJ	FEC	FIRE EXTINGUISHER CABINET	P LAM	PLASTIC LAMINATE
ADMIN	FF	FINISH FLOOR	PLAS	PLASTER
AFF	FFE	FINISH FLOOR ELEVATION	PLUMB	PLUMBING
AGG	FHC	FIRE HOSE CABINET	PLYWD	PLYWOOD
ALT	FIB	FIBER (OUS)	PMR	PROTECTED MEMBRANE ROOFING
ALUM	FIN	FINISH	PMW	PROTECTED MEMBRANE WATERPROOFING
AMSL	FIXT	FIXTURE	PNL	PANEL
ANOD	FLEX	FLEXIBLE	POL	POLISH (ED)
APPROX	FLR	FLOOR (ING)	PR	PAIR
ARCH	FLUOR	FLUORESCENT	PREFAB	PREFABRICATE (ED)
ASPH	FM	FACTORY MUTUAL	PRELIM	PRELIMINARY
ASSY	FOUNT	FOUNTAIN	PRESS	PRESSURE
AU	FOF	FACE OF FINISH	PROJ	PROJECTION, PROJECT
AUTO	FPRF	FIREPROOF (ED, INC)	PROT	PROTECT (ED)
AUX	FR	FIRE RESISTIVE	PSF	POUNDS PER SQUARE FOOT
B/	FRP	FIBER REINFORCED PLASTER	PSI	POUNDS PER SQUARE INCH
BAL	FS/C	FIRE SAFING ON CLIPS	PT	PRESSURE TREATED
BALC	FSTN	FASTEN (ER)	PTD	PAINTED
BA RM	FT	FOOT (FEET)	PRN	PARTITION
DEV	FTG	FOOTING	PVF2	POLYVINYLIDENE FLUORIDE FINISH
BD	FURN	FURNISH	PVG	PAVING
BG	FURR	FURRING	PVMT	PAVEMENT
BITUM	FVC	FIRE VALVE CABINET	QRK	QUIRK
BLDG	FCWP	FABRIC COVERED WALL PANEL	QT	QUARRY TILE
BLKG	GA	GAUGE	QTY	QUANTITY
BLRM	GAL	GALLON	R	RISER
BLST	GALV	GALVANIZE (ED)	RAD	RADIUS
BM	GB	GRAB BAR	RB	RESILIENT BASE
BOL	GC	GENERAL CONTRACTOR	RBR	RUBBER
BOT	GEN	GENERAL	RCP	REFLECTED CEILING PLAN
BRG	GFRC	GLASS FIBER REINFORCED CONCRETE	RD RDRN	ROOF DRAIN
BRK	GFRG	GLASS FIBER REINFORCED GYPSUM	RDG	RIDGE
BRKT	GRDRL	GUARDRAIL	RE	REGARDING
BRZ	GRD	GRADE	REF	REFER TO (REFERENCE)
B/S	GRND	GROUND	REG	REGISTER
BSMT	GSB	GYPSUM SOFFIT BOARD	REFL	REFLECT (ED, IVE)
BT	GSF	GROSS SQUARE FEET	REINF	REINFORCE (ED, INC, MENT)
BTWN	GSTRM	GUESTROOM	REM	REMOVE (ABLE)
BUR	GTR	GUTTER	REQD	REQUIRED
C	GWB	GYPSUM WALL BOARD	RES	RESILIENT
CAB	GYP	GYPSUM	REST	RESTAURANT
CAP			RET	RETAIN (ED, INC)
CB	HB	HOSE BIBB	RH	RIGHT HAND
CBL	HC	HANDICAPPED	RM	ROOM
CC	HD	HEAD	RND	ROUND
CEG	HDW	HARDWARE	RO	ROUGH OPENING
CEM	HDEPS	HIGH DENSITY EXTRUDED POLYSTYRENE	ROW	RIGHT-OF-WAY
CER	HGR	HANGER	RT	RUBBER TILE
CERT	HM	HOLLOW METAL	RTD	RECESSED TOWEL DISPENSER
CB	HNDRL	HANDRAIL	S	SOUTH
CIP	HOR OR		SAB	SOUND ATTENUATION BLANKET
CJ	HORIZ	HORIZONTAL	SAN	SANITARY
CJF	HP	HIGH POINT	SCHED	SCHEDULE
C/L	HR	HOUR	SD	SMOKE DETECTOR
CLG	HSKPG	HOUSEKEEPING	SDP	SOAP DISPENSER
CLOS	HSTWY	HOISTWAY	SEC	SECTION
CLR	HT	HEIGHT	SEP	SEPARATE (ION)
CMU	HVAC	HEATING, VENTILATING & AIR CONDITIONING	SERV	SERVICE
CNCL	HYD	HYDRANT	SF	SQUARE FEET (FOOT)
CNTR			SGT	STRUCTURAL GLAZED TILE
COL			SH SHT	SHIRT
COMB	ID	INSIDE DIAMETER (DIMENSION)	SHTH	SHEATHING
COMP	IN	INCH (ES)	SIM	SIMILAR
CONC	INCAN	INCANDESCENT	SNV	SANITARY NAPKIN DISPENSER
CONF	INCL	INCLUDE (ED, INC)	SPEC	SANITARY NAPKIN VENDOR
CONN	INFO	INFORMATION	SQ	SPECIFICATION
CONST	INSUL	INSULATE (ED, INC, ION)	SPKR	SQUARE
CONT	INT	INTERIOR	SPR	SPEAKER
COORD	IRMA	INVERTED ROOF MEMBRANE ASSEMBLY	SRMFI	SPRINKLER (ED)
CORR	IRR	IRRIGATION	SS	SEMI RIGID MINERAL FIBER INSULATION
CPT			STAINLESS STEEL	STAINLESS STEEL
CSWK	JAN	JANITOR	ST	STONE
CTSK	JB	JAMB	STC	SOUND TRANSMISSION COEFFICIENT
CT	JR	JUNIOR	STD	STANDARD
CTR	JST	JOIST	STE	SUITE
CU	JT	JOINT	STL	STEEL
DBL	K	KING	STOR	STORAGE
DEMO	KIT	KITCHEN	STRUC	STRUCTURE
DEPT	KD	KNOCKDOWN	ST STL	STAINLESS STEEL
DTL			STRUC	STRUCTURE (AL)
DF	L	ANGLE SHAPE	SUP	SUPPLY
DIA	LAB	LABORATORY	SUSP	SUSPEND (ED)
DIAG	LAM	LAMINATE (ED)	T	TREAD
DIFF	LAUN	LAUNDRY	T/	TOP OF
DIM	LAV	LAVATORY	T/S	TOP OF STEEL/SLAB
DISP	LB	POUND	T/W	TOP OF WALL
DIV	LDSC	LANDSCAPE (ED, INC)	TAEC	THERMAL ACRYLIC ENAMEL COATING
DL	LF	LEFT HAND	TB	TOWEL BAR
DN	LKR	LOCKER	T&G	TONGUE & GROOVE
DN RM	LL	LIVE LOAD	TD	TRENCH DRAIN
DND	LONG	LONGITUDINAL	TEL	TELEPHONE
DPFG	LP	LOW POINT	TEMP	TEMPER (ED)
DR	LT	LIGHT	TER	TERRACE
DR RM	LVR	LOUVER	THK	THICK (NESS)
DRNBD	MACH	MACHINE	THRU	THROUGH
DRN	MAINT	MAINTAIN (ANCE)	TOIL	TOILET
DS	MAS	MASONRY	TOPO	TOPOGRAPHIC MAP
DW	MATL	MATERIAL	TOC	TOP OF CURB
DWG	MAX	MAXIMUM	TOS	TOP OF SLAB (STEEL)
DWR	MBH	MOP & BROOM HOLDER	TPD	TOILET PAPER DISPENSER
DWTR	MECH	MECHANICAL	TRANS	TRANSVERSE (FER)
	MEMB	MEMBRANE	TYP	TYPICAL
E	MEZZ	MEZZANINE		
EA	MFR	MANUFACTURE(ER)	US	UNCERCUT
EDF	MFT	MINERAL FISSURE TILE	UL	UNDERWRITERS LABORATORY
EIFS	MH	MANHOLE	UNO	UNLESS NOTED OTHERWISE
EJ	MIN	MINIMUM (MINUTE)	UR	URINAL
EL	MIR	MIRROR	USG	UNITED STATES GYPSUM
ELEC	M/S	MIRROR WITH SHELF	USU	UTILITY SHELF UNIT
ELEV	MISC	MISCELLANEOUS	UTIL	UTILITY (IES)
EMER	MO	MASONRY OPENING	VAL	VALLEY
EMP	MD	MODIFY (ED)	VAR	VARY (IES)
ENCL	MP	MIDPOINT	VAP BAR	VAPOR BARRIER
ENG	MR	MOISTURE RESISTANT	VCT	VINYL COMPOSITION TILE
ENTR	MTD	MOUNTED	VERT	VERTICAL
EOS	MTG	MEETING	VEST	VESTIBULE
EPX	MTL	METAL	VIF	VERIFY IN FIELD
EPDM	MUL	MULLION	V PLAS	VEENEER PLASTER
EPS	N	NORTH	VOC	VERTICAL ON CENTER
EQ	NA	NOT APPLICABLE	VOL	VOLUME
EQUIP	NAT	NATURAL	VS	VINYL SHEET
ESC	NEOP	NEOPRENE	VT	VINYL TILE
ESCL	NF	NO FINISH	VW	VIEW WINDOW
ETC	NIC	NOT IN CONTRACT	VWC	VINYL WALL COVERING
EWC	NO / NOM	NUMBER NOMINAL	W	WEST
EXCL	NRC	NOISE REDUCTION COEFFICIENT	W/	WITH
EXH	NTS	NOT TO SCALE	WC	WATER CLOSET
EXIST	OA	OVERALL (DIMENSION)	WD	WOOD
EXP	OC	ON CENTER	WNDW	WINDOW
EXPN	OD ODRN	OVERFLOW DRAIN	WF	WIDE FLANGE SHAPE
EXT	OH	OVER HEAD	WG	WIRE GLASS
EXTR	OPNG HD	OPPOSITE HAND	W/O	WITHOUT
	OPNG	OPENING	WP	WORKPOINT
	OPP	OPPOSITE	WPFG	WATERPROOFING
	OTS	OPEN TO STRUCTURE	WR	WASTE RECEPTACLE
	OZ	OUNCE	WT	WEIGHT
			WWF	WELDED WIRE FABRIC
			YD	YARD (S)

SYMBOLS LEGEND



MATERIALS LEGEND



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Sheet 1 of 1

1035 OXFORD ROAD

A NEW CUSTOM HOUSE PROJECT

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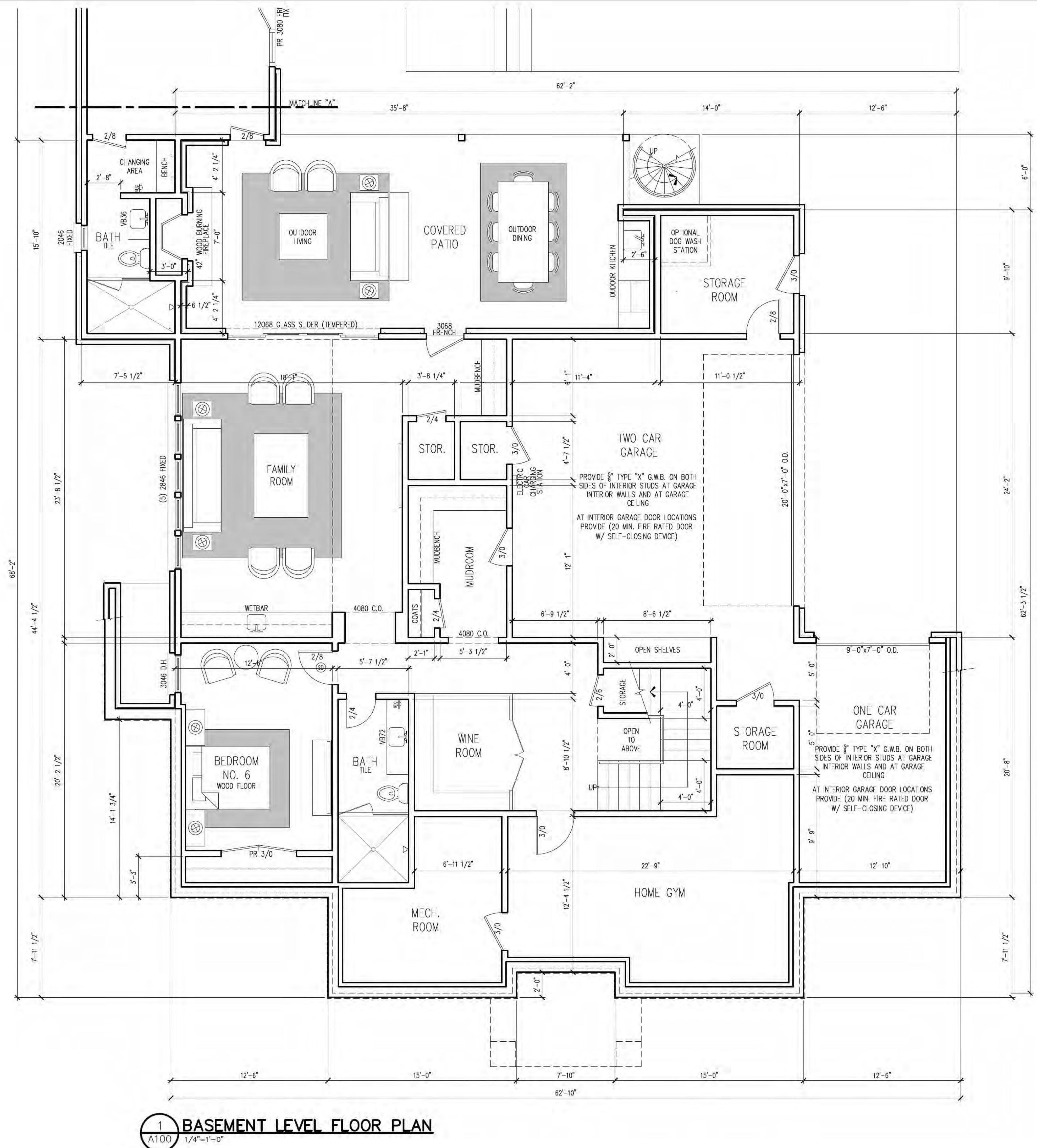
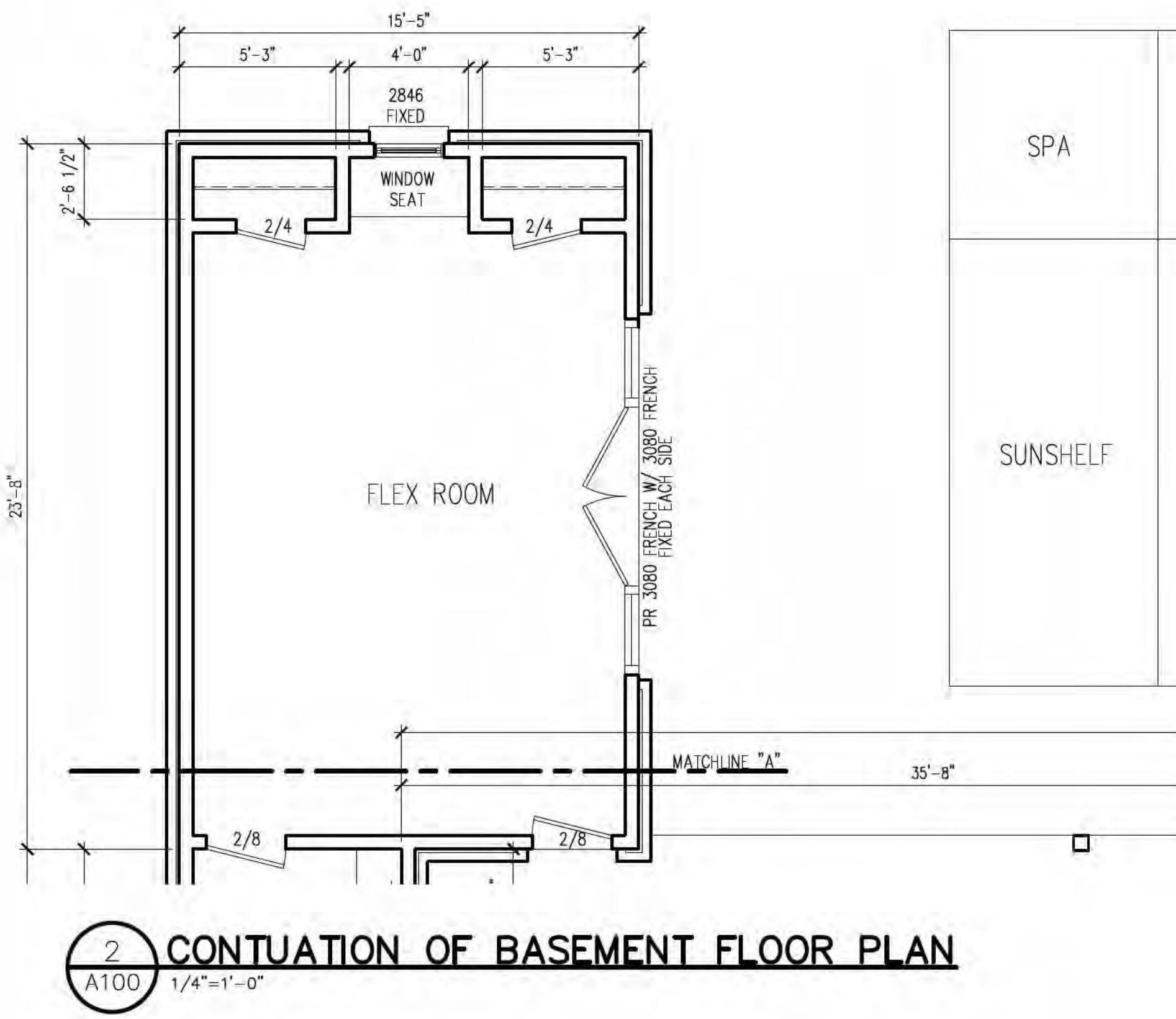
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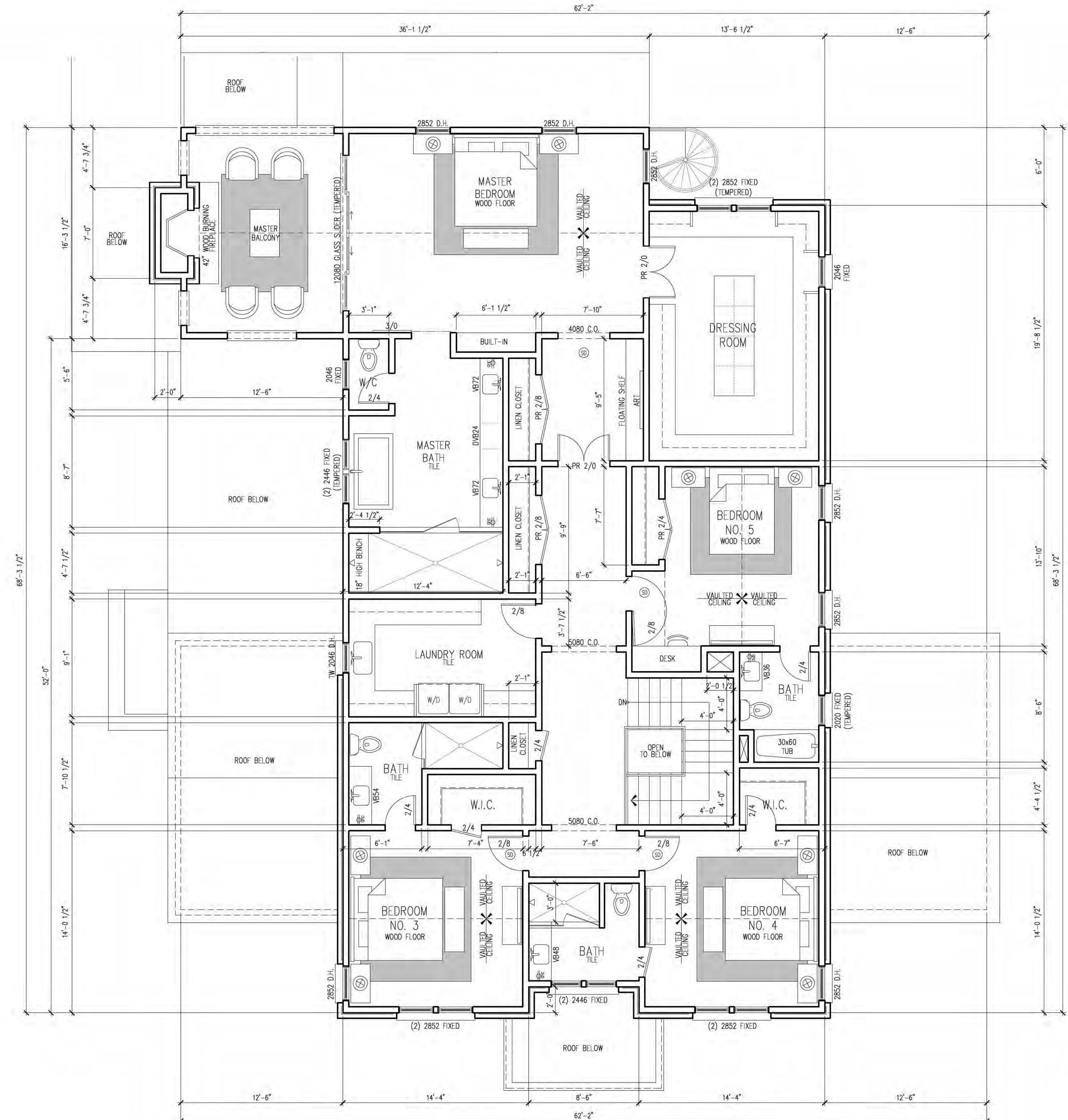
BASEMENT PLAN

Scale:
1/4" = 1'-0"

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1 A102 1/4"=1'-0" **UPPER LEVEL FLOOR PLAN**

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FLOOR PLANS

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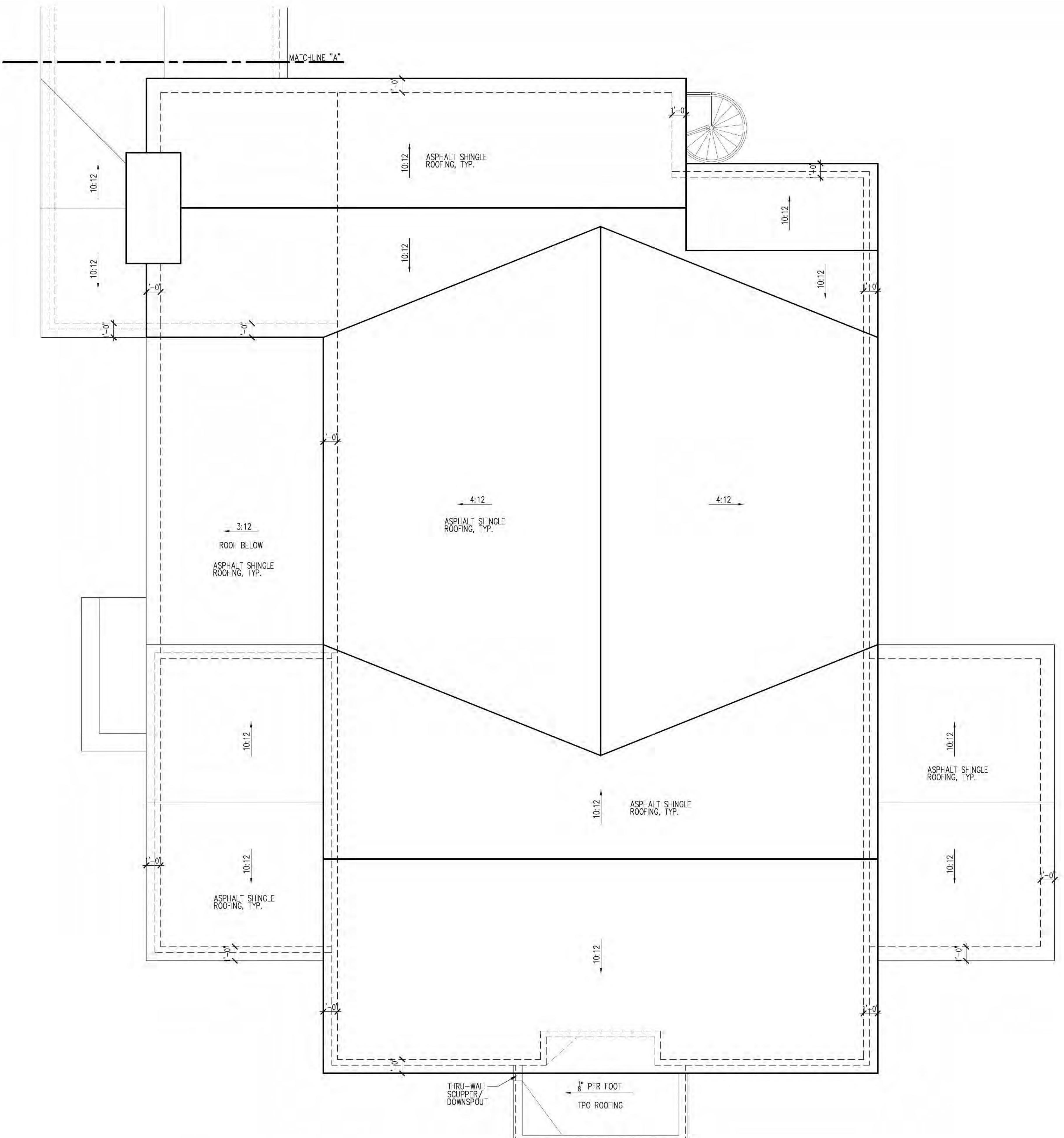
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Title:
**ROOF PLAN
& VERT.
CIRCULATION**
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A103

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A103
1/4"=1'-0"
ROOF PLAN

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ELEVATIONSScale:
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A201



1 FRONT ELEVATION
A201 1/4"=1'-0"

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ELEVATIONSScale:
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A203

of:



1 REAR ELEVATION
A203 1/4"=1'-0"

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EXTERIOR
ELEVATIONSScale:
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**EXTERIOR
ELEVATIONS**
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A204

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1
LEFT SIDE ELEVATION
A204 1/4"=1'-0"

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SECTIONS & DETAILS
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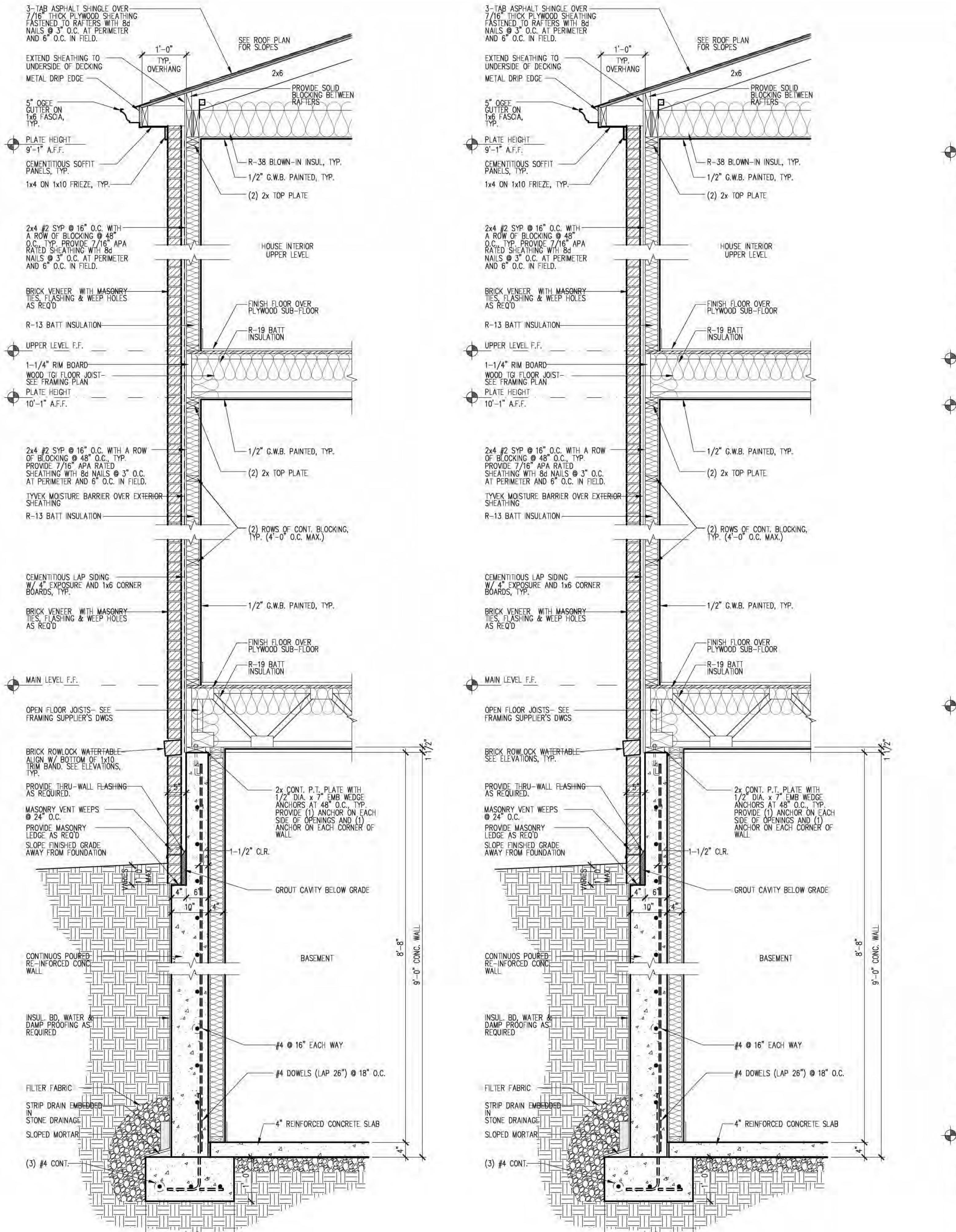
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of:

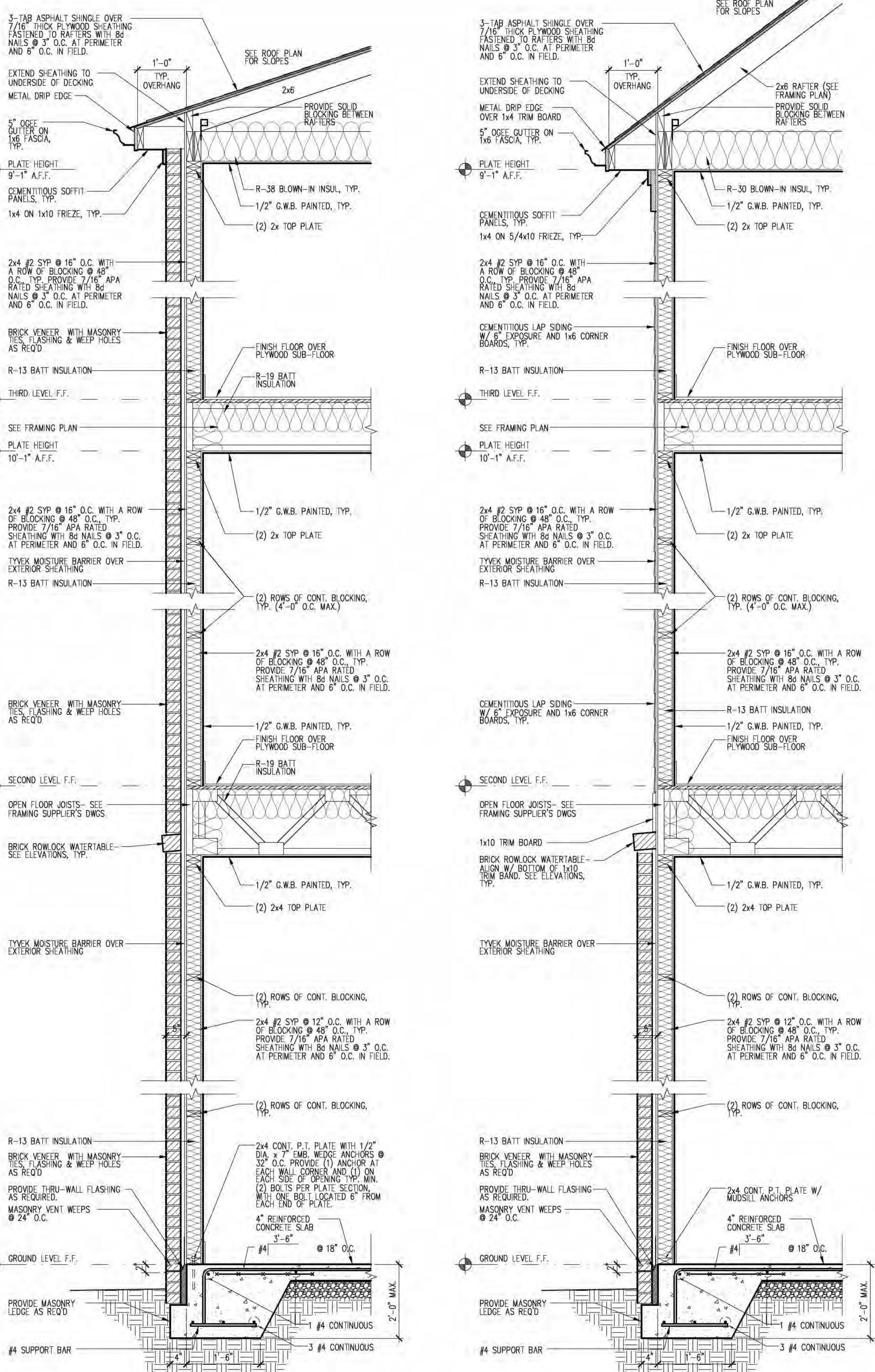
1035 OXFORD ROAD

A NEW CUSTOM HOUSE PROJECT

ATLANTA, GEORGIA



1 WALL SECTION
A301 3/4"-1'-0"



2 WALL SECTION
A301 3/4"-1'-0"



3 WALL SECTION
A301 3/4"-1'-0"



4 WALL SECTION
A301 3/4"-1'-0"

Drawn:
Checked:
Date:
Job No.:
Revisions:
No. Date

1035 OXFORD ROAD
A NEW CUSTOM HOUSE PROJECT
ATLANTA, GEORGIA

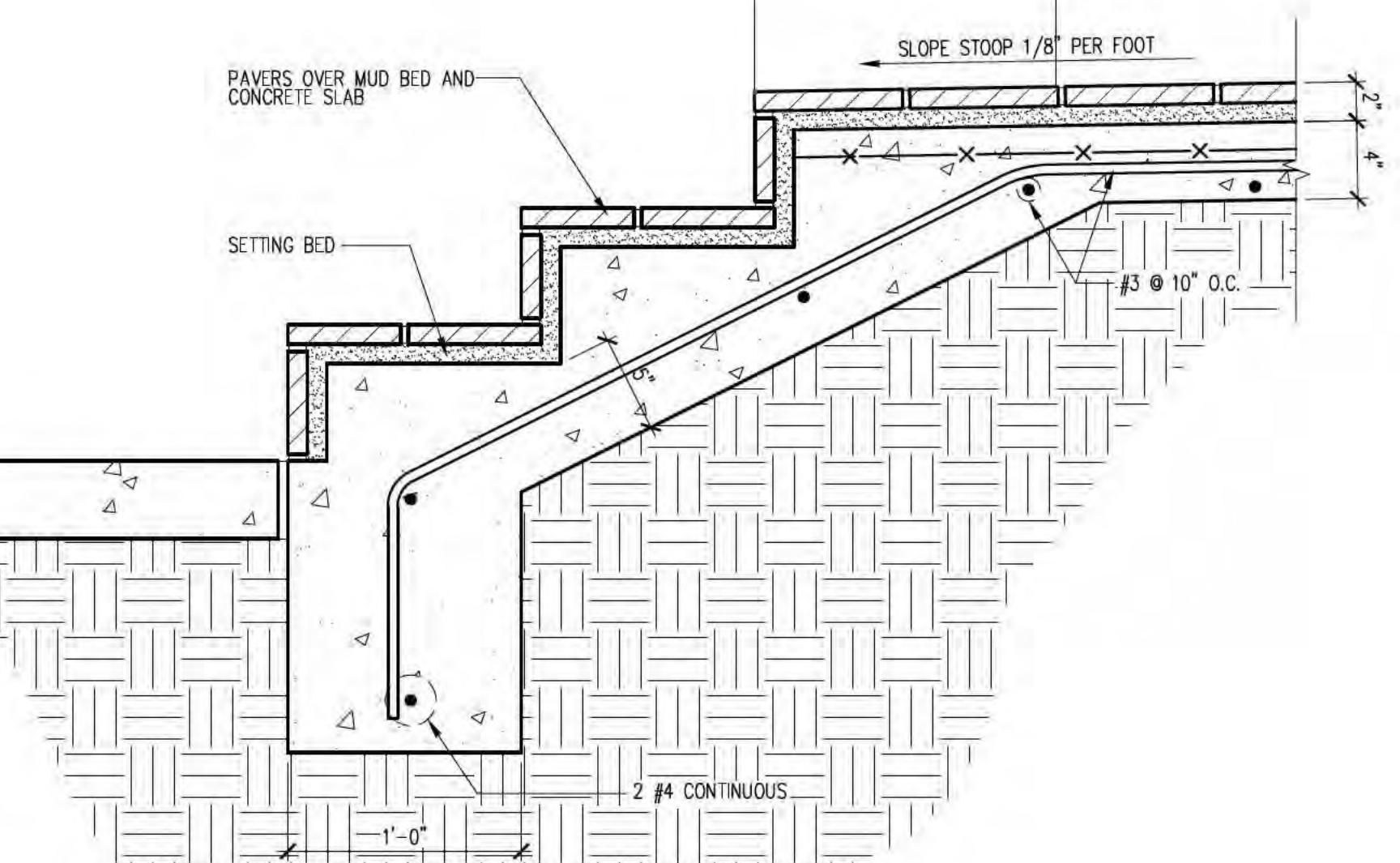
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ph. (678) 427-8466
e. brian@goodmandesign.us
www.goodmandesign.us
creating architecture for sustainable environments
Process. Create.

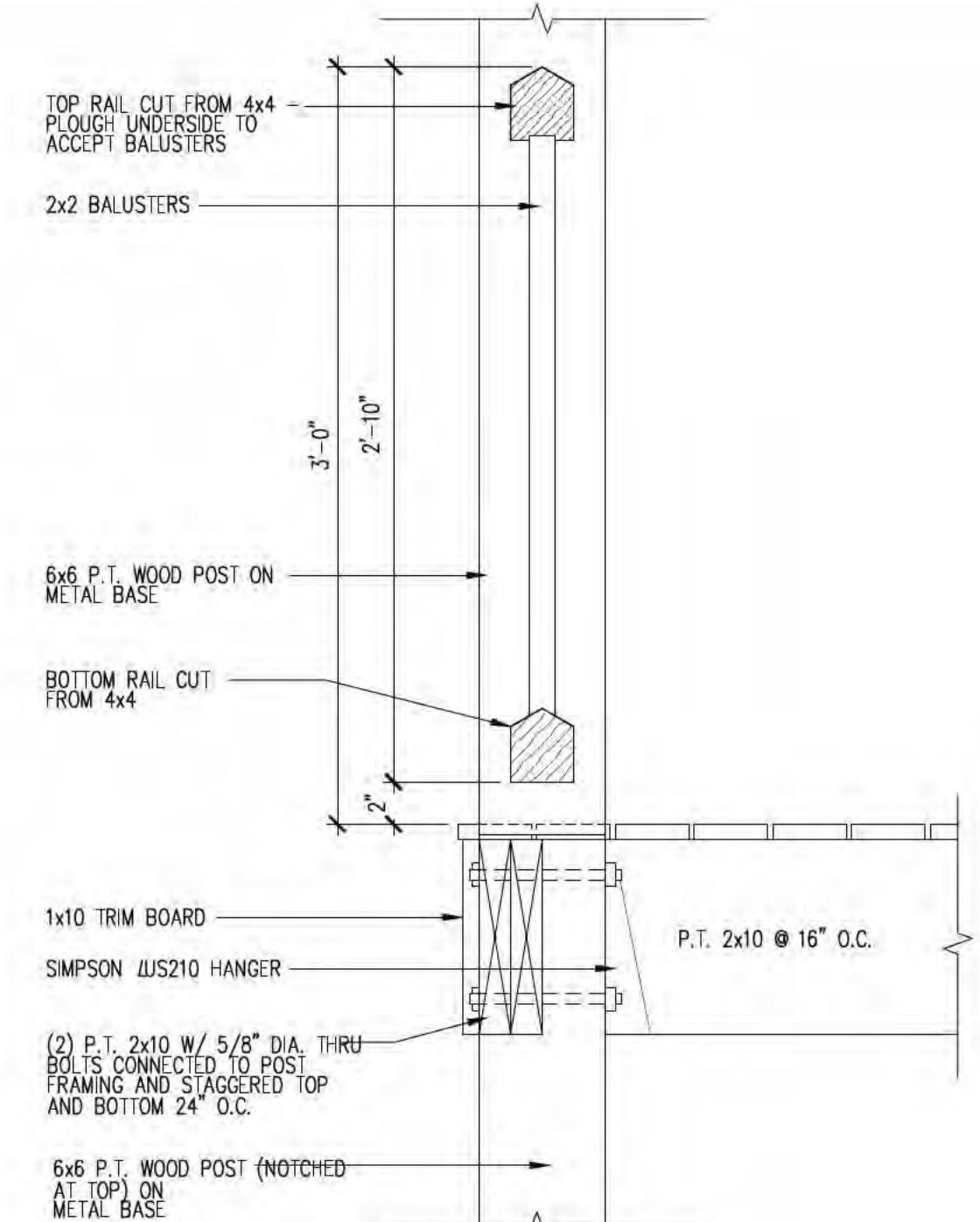
Title:
SECTIONS & DETAILS
Scale:
AS NOTED
Sheet:

A302

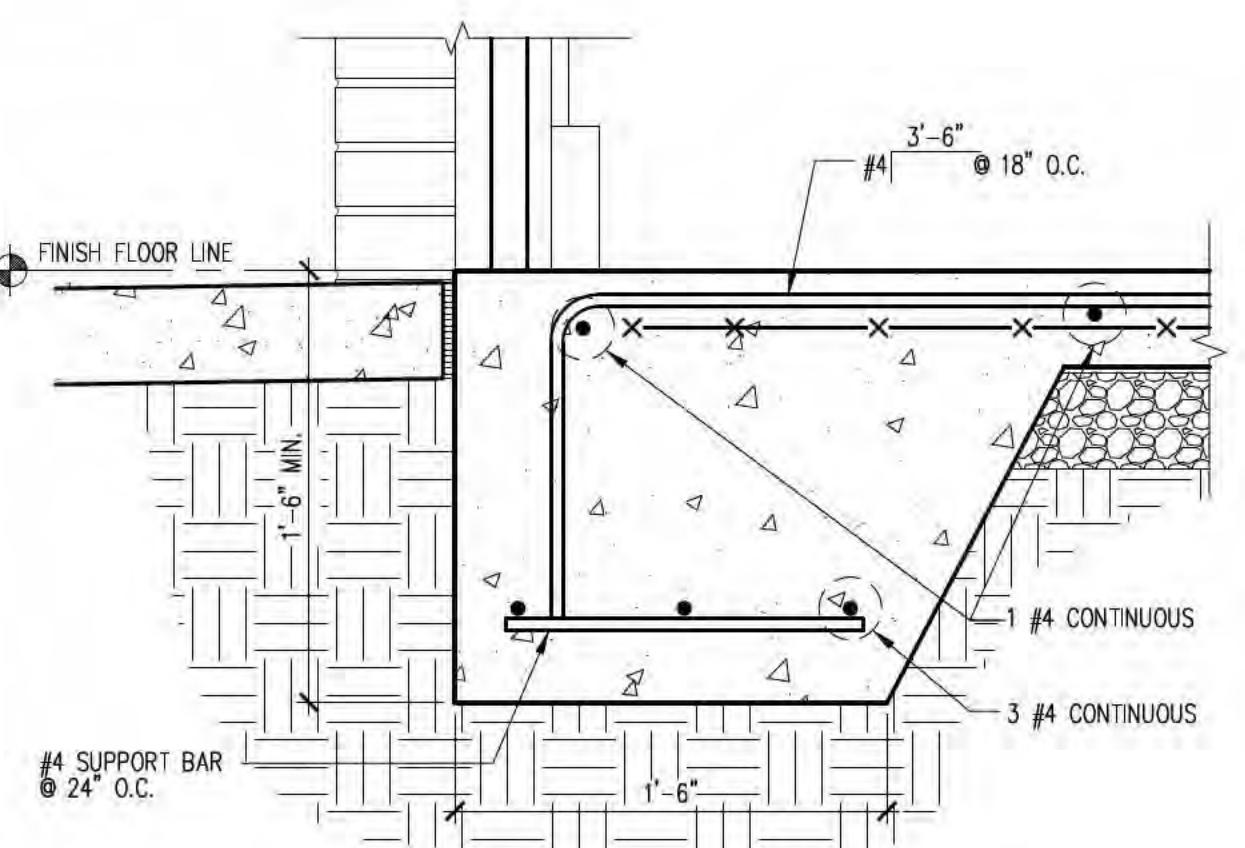
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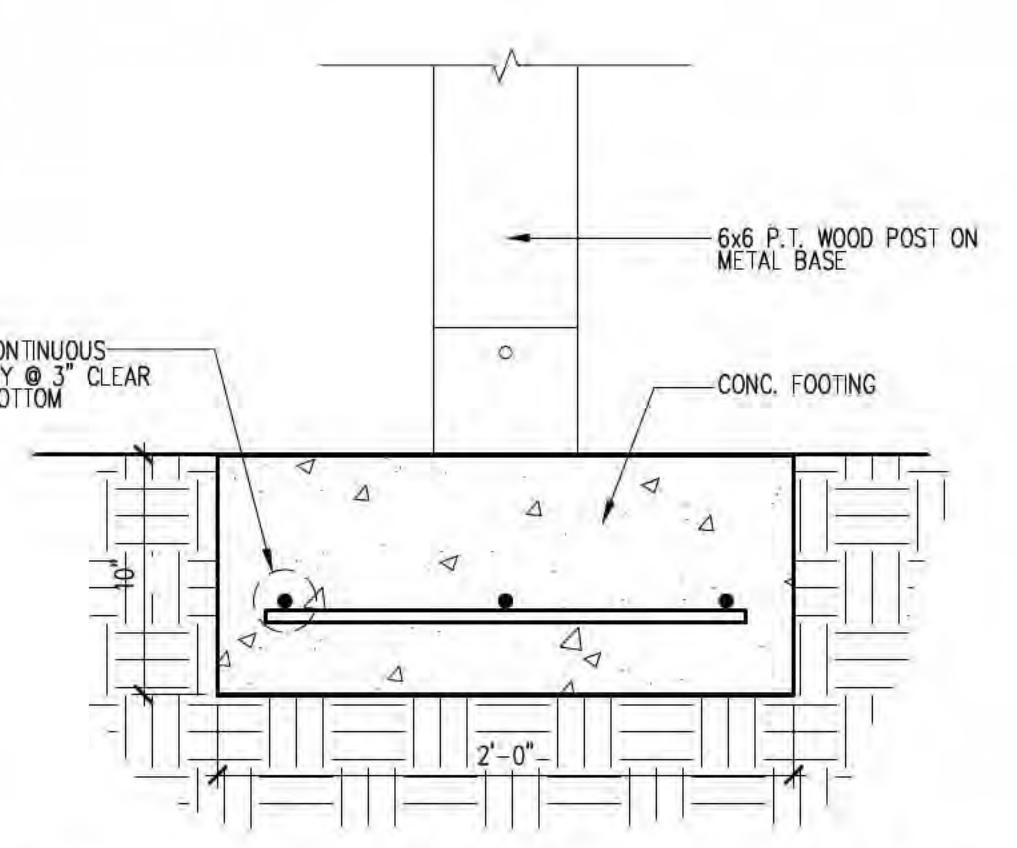
1 DETAIL @ PORCH STEPS
A302 1-1/2"=1'-0"



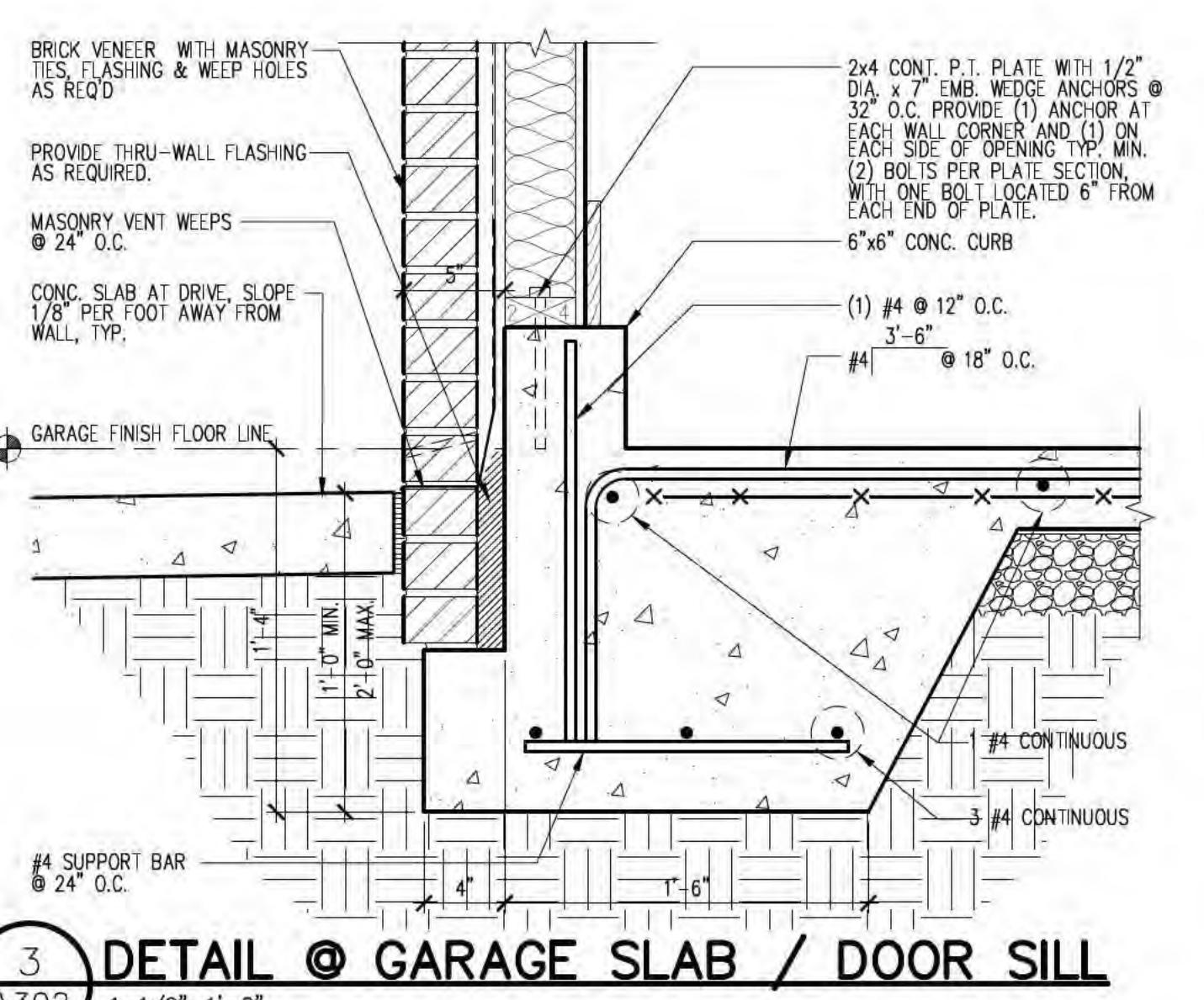
4 DETAIL @ DECK POST / RAILING
A302 1-1/2"=1'-0"



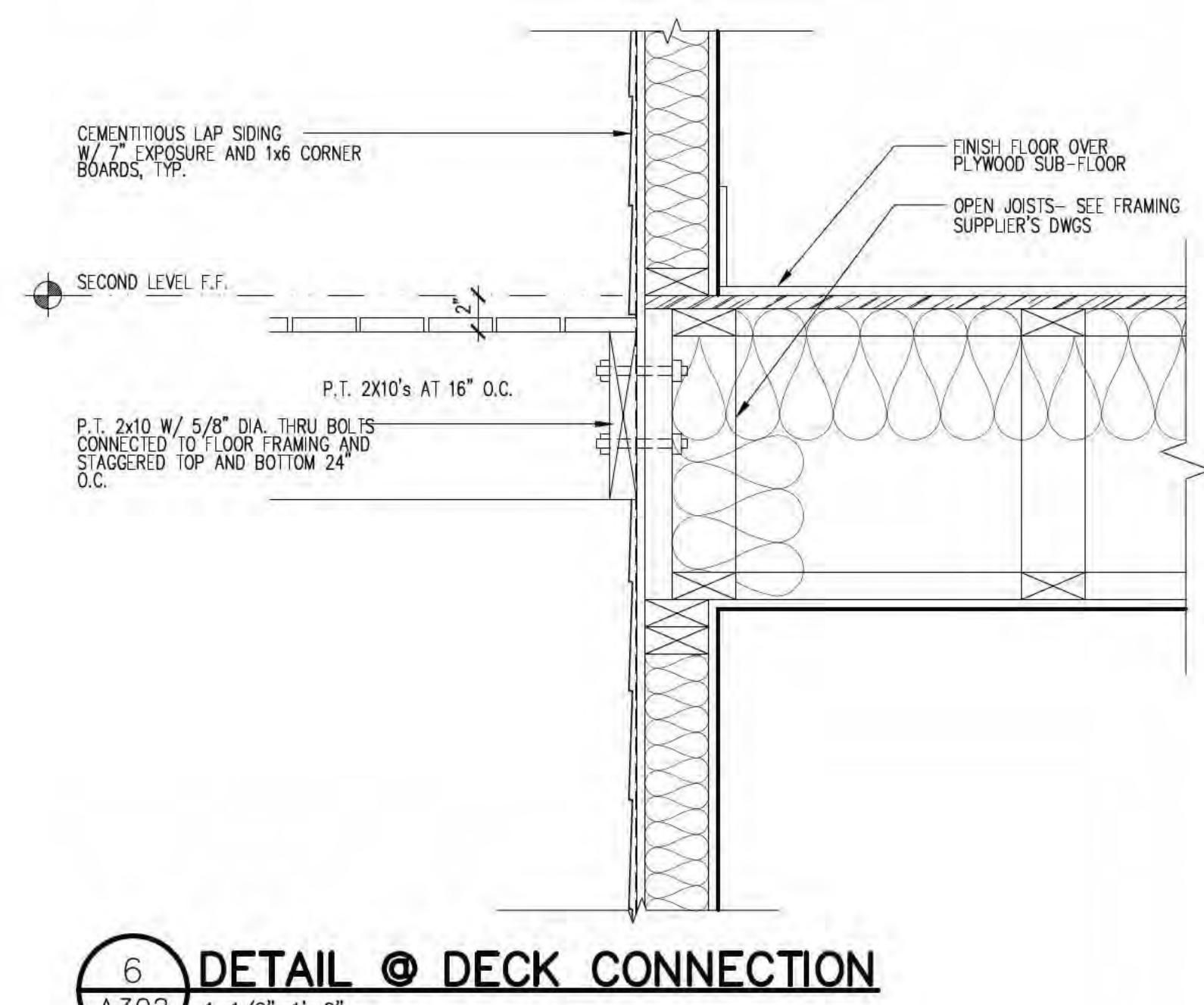
2 DETAIL @ GARAGE SLAB / CURB
A302 1-1/2"=1'-0"



5 DETAIL @ DECK POST FOUNDATION
A302 1-1/2"=1'-0"



3 DETAIL @ GARAGE SLAB / DOOR SILL
A302 1-1/2"=1'-0"



6 DETAIL @ DECK CONNECTION
A302 1-1/2"=1'-0"

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

ZONING INFORMATION

CLASSIFICATION: R-85

MINIMUM LOT WIDTH - 85 FEET

MINIMUM LOT AREA - 12,000 sf.

SETBACKS: FRONT - 35 FEET

SIDE - 8.5 FEET

REAR - 40 FEET

MAXIMUM LOT COVERAGE - 35%

MINIMUM FLOOR AREA - 2000 sf.

MAXIMUM BUILDING HEIGHT - 35 FEET

24 HR CONTACT:

MICHAEL WALL

(404)438-6120

MIKEWALL4@GMAIL.COM

PARKSIDE DEVELOPMENT

1440 DUTCH VALLEY PL.

ATLANTA, GA. 30325

LOT AREA:

19,110 sf.

0.438 ACRES

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET

LL. = LAND LOT

LLL. = LAND LOT LINE

P.L. = PROPERTY LINE

CL = CENTERLINE

B.L. = BUILDING LINE

R/W = RIGHT-OF-WAY

S.S.E. = SANITARY SEWER EASEMENT

D.E. = DRAINAGE EASEMENT

MH = MANHOLE

C.B. = CATCH BASIN

J.B. = JUNCTION BOX

HW = HEADWALL

D.I. = DROP INLET

PP = POWER/UTILITY POLE

F.H. = FIRE HYDRANT

I.E. = INVERT ELEVATION

F.F.E. = FINISHED FLOOR ELEVATION

F.F.B. = FINISHED FLOOR BASEMENT

F.F.G. = FINISHED FLOOR GARAGE

BOC = BACK OF CURB

EP = EDGE OF PAVEMENT

N/F = NOW OR FORMERLY

P.O.B. = POINT OF BEGINNING

—SS = SANITARY SEWER LINE/PIPE

—X-X-X— = FENCE LINE

—O— = FLOOD HAZARD ZONE LINE

—W— = STORM SEWER LINE/PIPE

—W— = WATER LINE

—G— = GAS LINE

CM = CONCRETE MONUMENT

C.E. = CONSTRUCTION EASEMENT

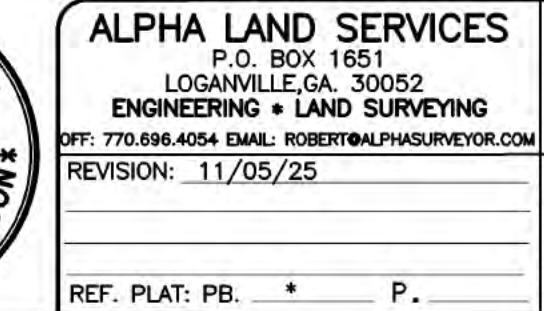
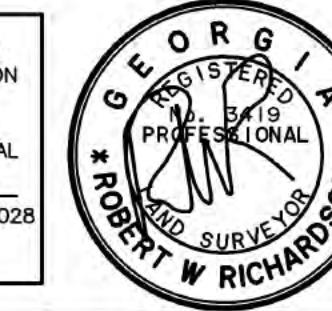
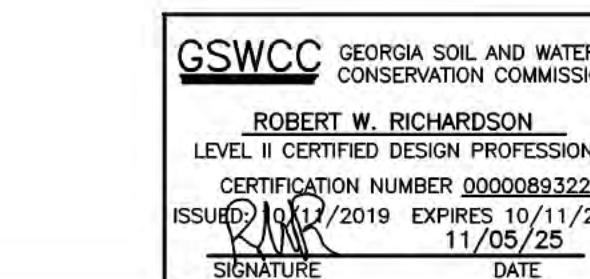
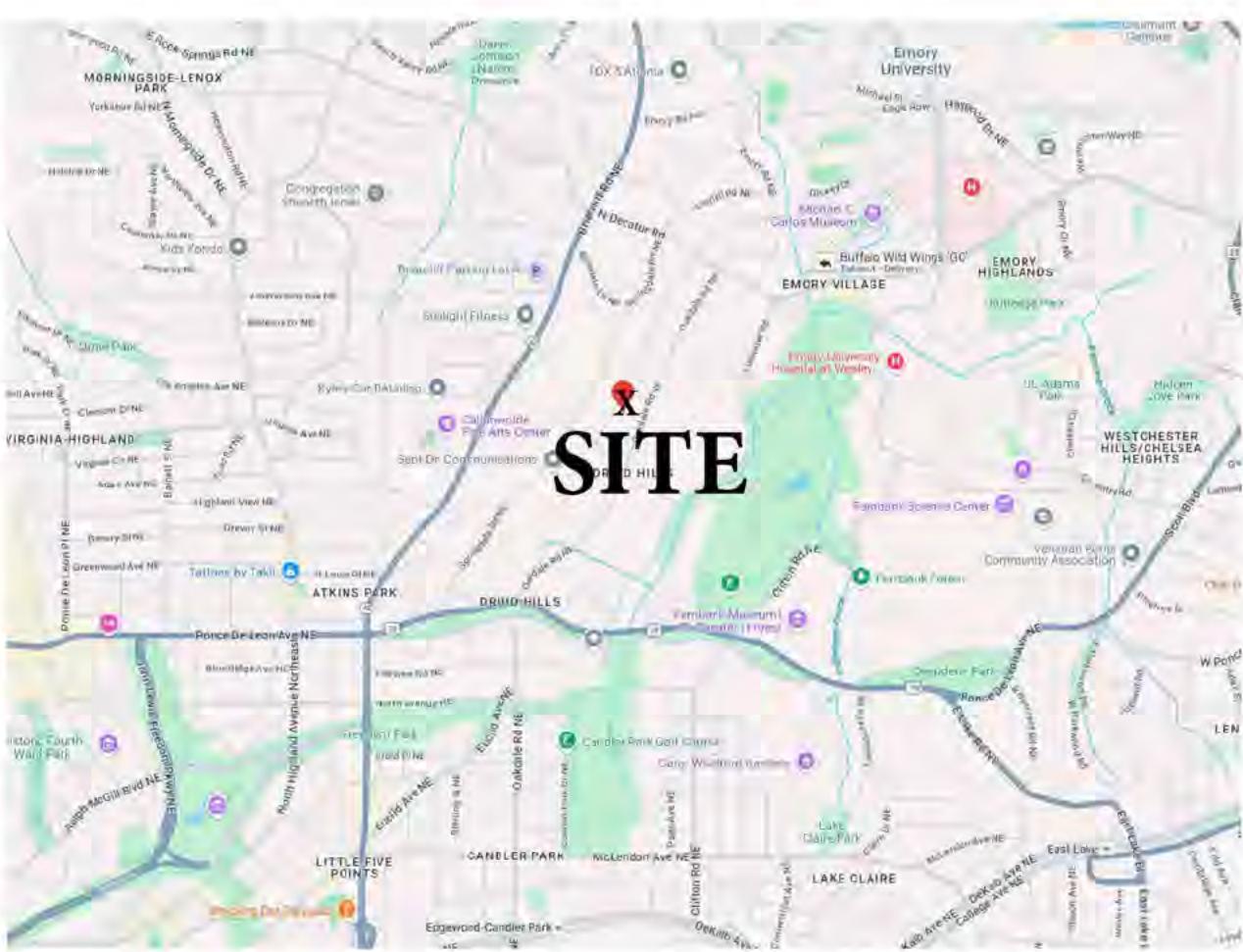
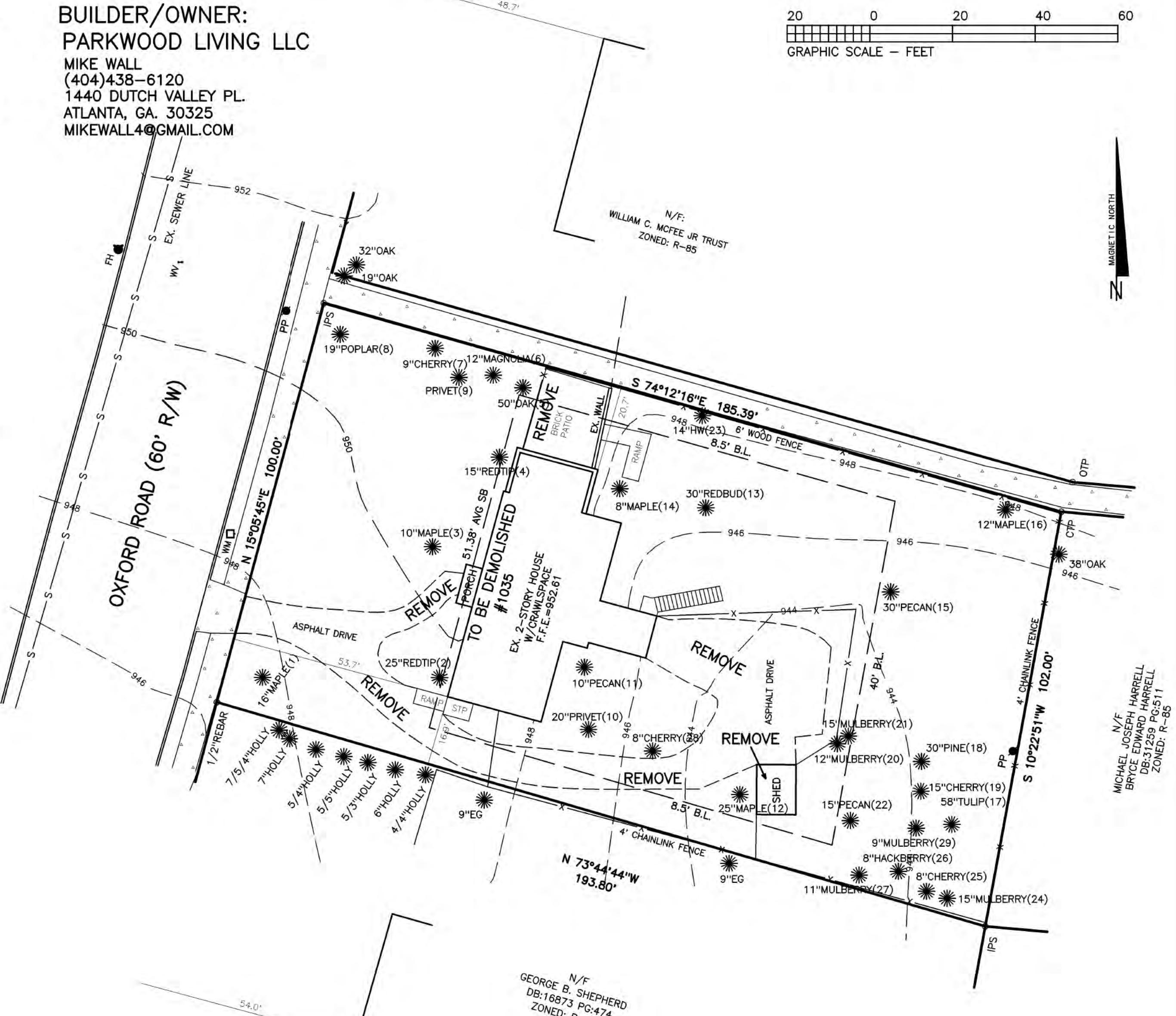
C&G = CURB AND GUTTER

LS = LIGHT STANDARD

OTP = OPEN TOP PIPE FOUND

CTP = CRIMP TOP PIPE FOUND

ALL EXISTING INFRASTRUCTURE TO BE DEMOLISHED PER SEPARATE DEMOLITION PLAN/PERMIT.



PAGE 1 OF 4
EXISTING CONDITIONS FOR:
1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020
LAND LOT: 2 DISTRICT: 18TH
LOT: 54 BLOCK: 12B
SUB: DRUID HILLS
GEORGIA
FIELD DATE: 09/05/24 PLAT DATE: 09/30/25
AREA = 0.438 ACRES
JOB No. 24412EX

INSTALLATION SPECIFICATIONS:

1. INSTALLATION, PRODUCT SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. LOOSE COARSE SOIL TO A MINIMUM DEPTH OF THREE (3) INCHES PRIOR TO APPLICATION.
3. DRY STRAW OR HAY SHALL BE IN CLEAN CONDITION AND APPLIED BY HAND OR MACHINE TO A THICKNESS OF TWO (2) TO FOUR (2) INCHES. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.
4. MULCH ON SLOPES GREATER THAN 3% SHOULD BE ANCHORED WITH EMULSIFIED ASPHALT OR OTHER SUITABLE TACKIFIER.
5. ADDITIONAL MULCHING IS REQUIRED IF THE MINIMUM THICKNESS IS NOT ACHIEVED OR IF SOIL COVERAGE IS LESS THAN 90%.

Ds1 DISTURBED AREA STABILIZATION WITH MULCHING

INSTALLATION SPECIFICATIONS:

1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY TO ALLOW PROPER GERMINATION AND STABILIZATION.
3. SOIL SURFACES MAY NEED TO BE TILLED, PITTED, OR OTHERWISE SCARIFIED TO ALLOW FOR PROPER SEED LODGING AND GERMINATION. APPLY LIME AT A RATE OF ONE TON PER ACRE AS NEEDED.
4. APPLY 10-10-10 FERTILIZER TO SOILS WITH LOW FERTILITY AT A RATE OF 500 TO 700 POUNDS PER ACRE.
5. SEEDS SHALL BE PLANTED AT A DEPTH OF TEN TIMES THE SEED DIAMETER.
6. ACCEPTABLE PLANTING METHODS INCLUDE HYDRO-SEEDING, DRILLING, AND BROADCAST SPREADING BY MACHINE OR HAND.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BARLEY	144 LBS								X	X	X	X	
ANNUAL LESPEDEZA	40 LBS	X	X	X	X								
WEEPING LOVEGRASS	4 LBS	X	X	X	X	X							
BROWNTOP MILLET	40 LBS			X	X	X	X						
OATS	128 LBS							X	X	X			
RYE	168 LBS						X	X	X	X			
ANNUAL RYEGRASS	40 LBS	X	X	X				X	X	X	X		
SUDANGRASS	60 LBS		X	X	X	X	X						
WHEAT	180 LBS			X	X	X	X	X					

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

Ds2 DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project is desirable.
- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather, if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area.

Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type	Fertilizer Rate (lbs./acre)	Fertilizer Rate (lbs./sq.ft.)	Season
10-10-10	1000	.025	Fall

- On slopes steeper than 3:1, sod should be anchored with pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod and soil.
- Irrigate sod and soil to a depth of 4" immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.
- Fertilize grasses in accordance with soil tests or Table 3.

Table 2. Sod Planting Requirements

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P P,C P,C P,C	Warm weather
Bahiagrass	Pensacola	P,C	Warm weather
Centipede	—	P,C	Warm weather
St. Augustine	Common Bitterblue Raleigh	V,C	Warm weather
Zoysia	Emerald Myer	P,C	Warm weather
Tall Fescue	Kentucky 31	M-L, P	Cool weather

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated

Table 3. Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 30
Warm season	First Second	6-12-12 6-12-12	1500 800	50-100

Ds4

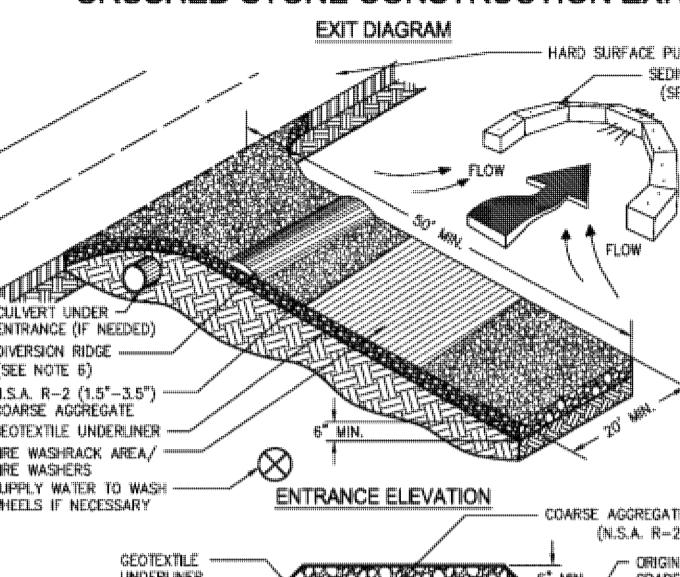
MATERIALS

- Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.
- Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants.
- Mix fertilizer into soil surface. Fertilize based on soil tests or Table 1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.
- Agricultural lime should be applied based on soil tests or at a rate of 1-2 tons/acre.
- Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod.

MAINTENANCE

The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



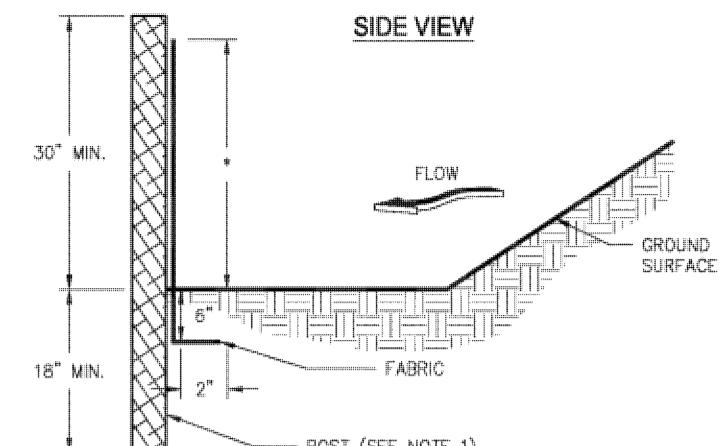
NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD THICKNESS SHALL BE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHOULD BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS WELL. DRAINAGE DITCHES SHOULD BE PROVIDED TO DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE.
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

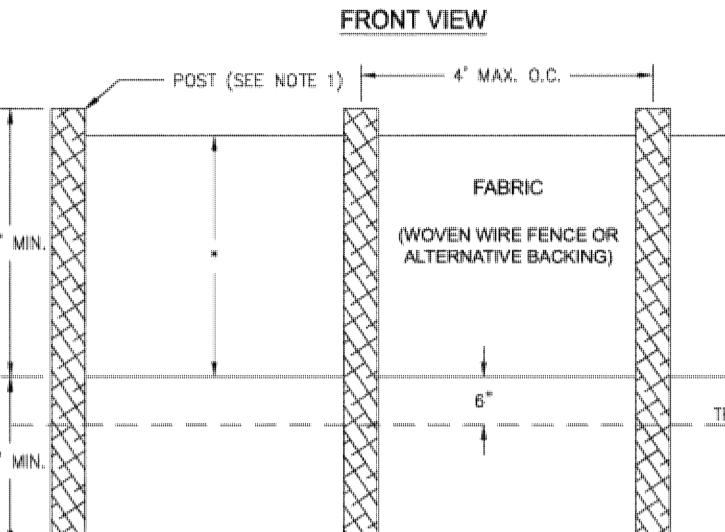
GSWCC (Amended - 2013)

6-142

SILT FENCE Sd1-S (TYPE C)



SIDE VIEW



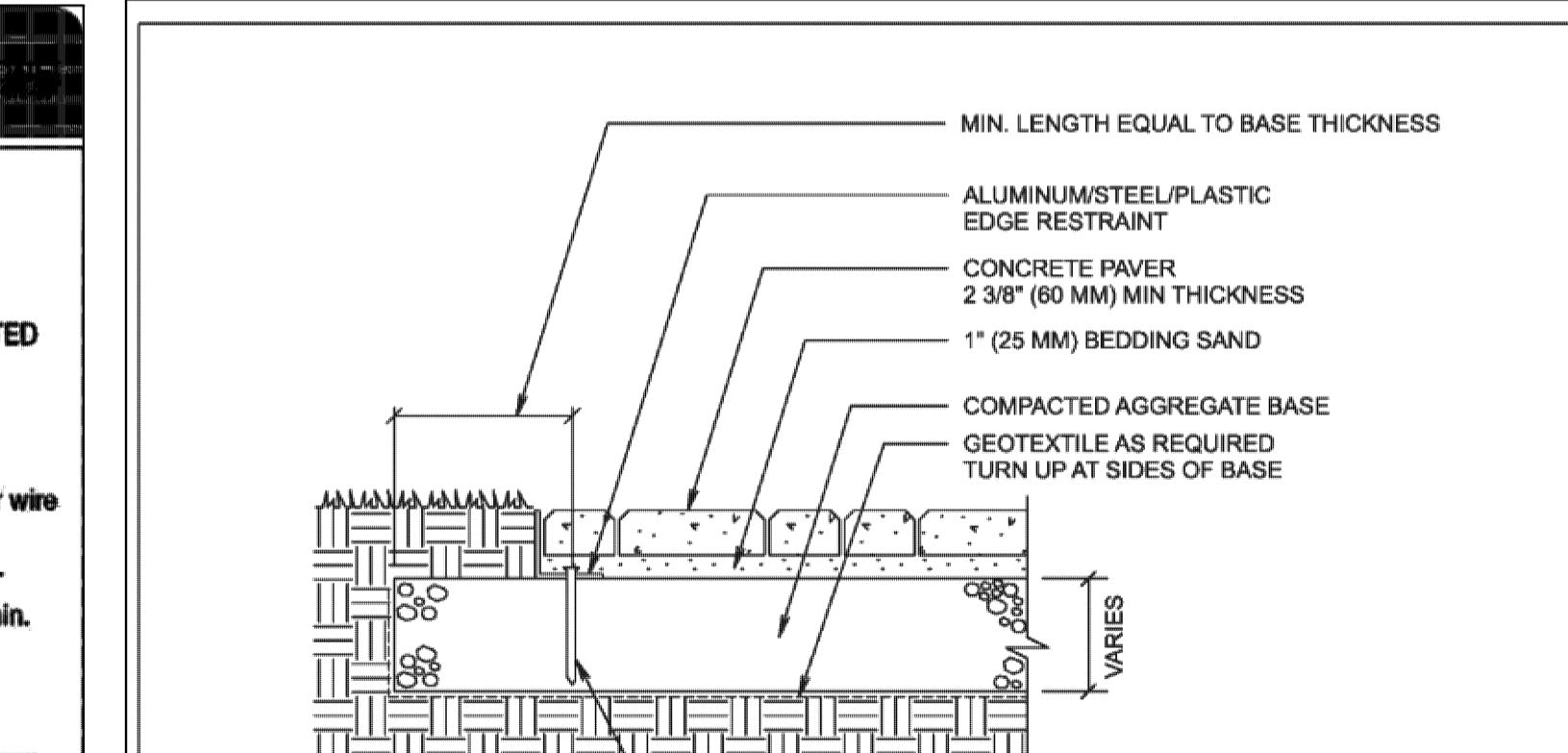
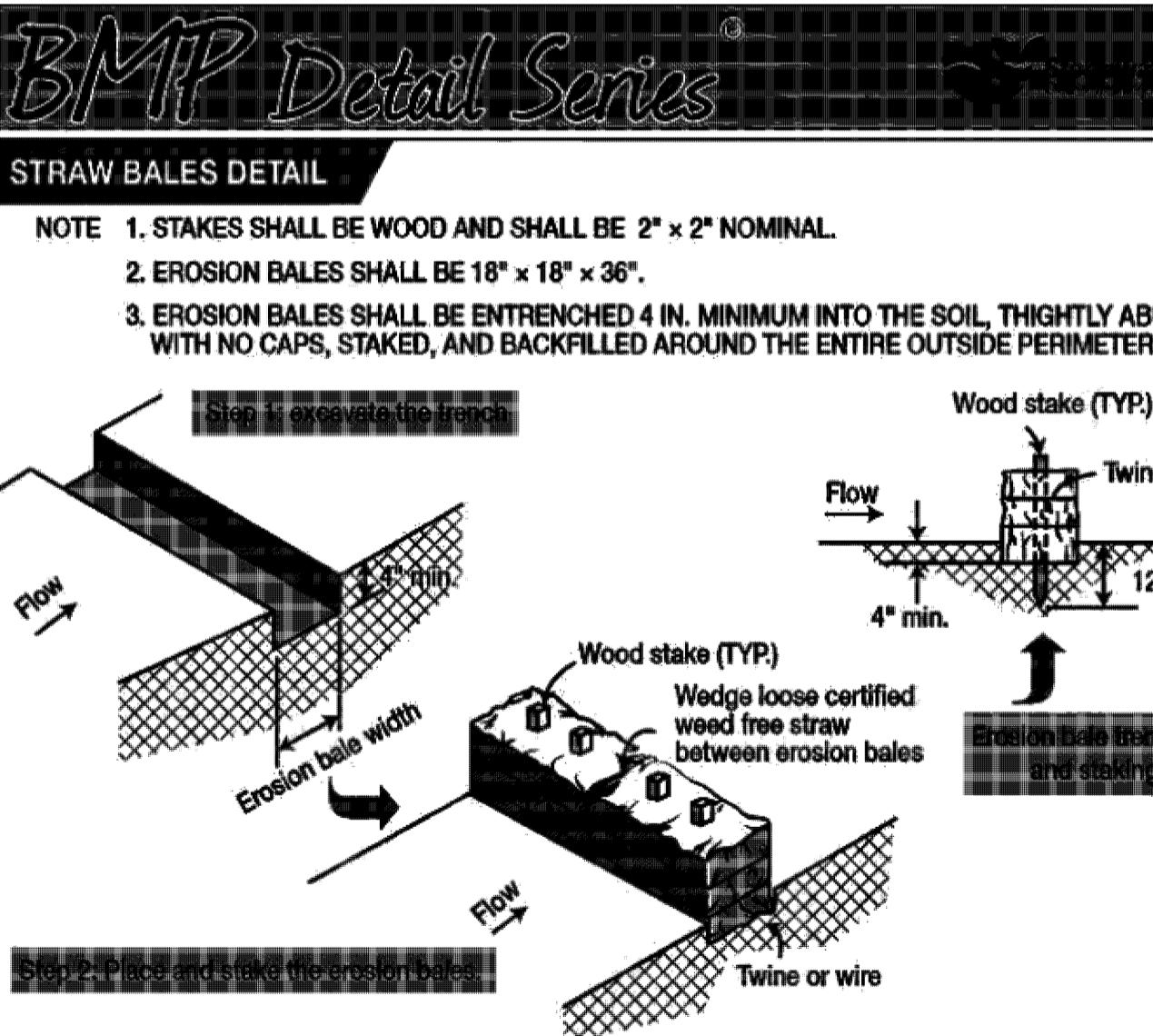
FRONT VIEW

NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Figure 6-27.2

GSWCC 2016 Edition

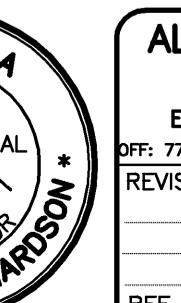
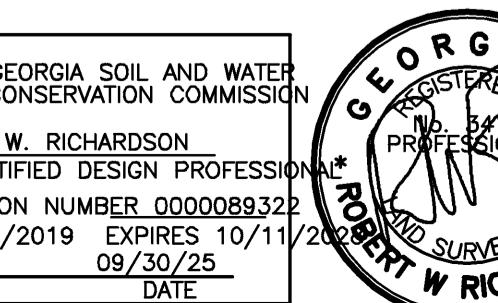
6-142



BELGARD PAVERS
www.Belgard.com

PATIO/WALK/RESIDENTIAL DRIVEWAY W/ ALUMINUM / STEEL / PLASTIC EDGE

DRAWING NO. ICPI-53
SCALE F.S.

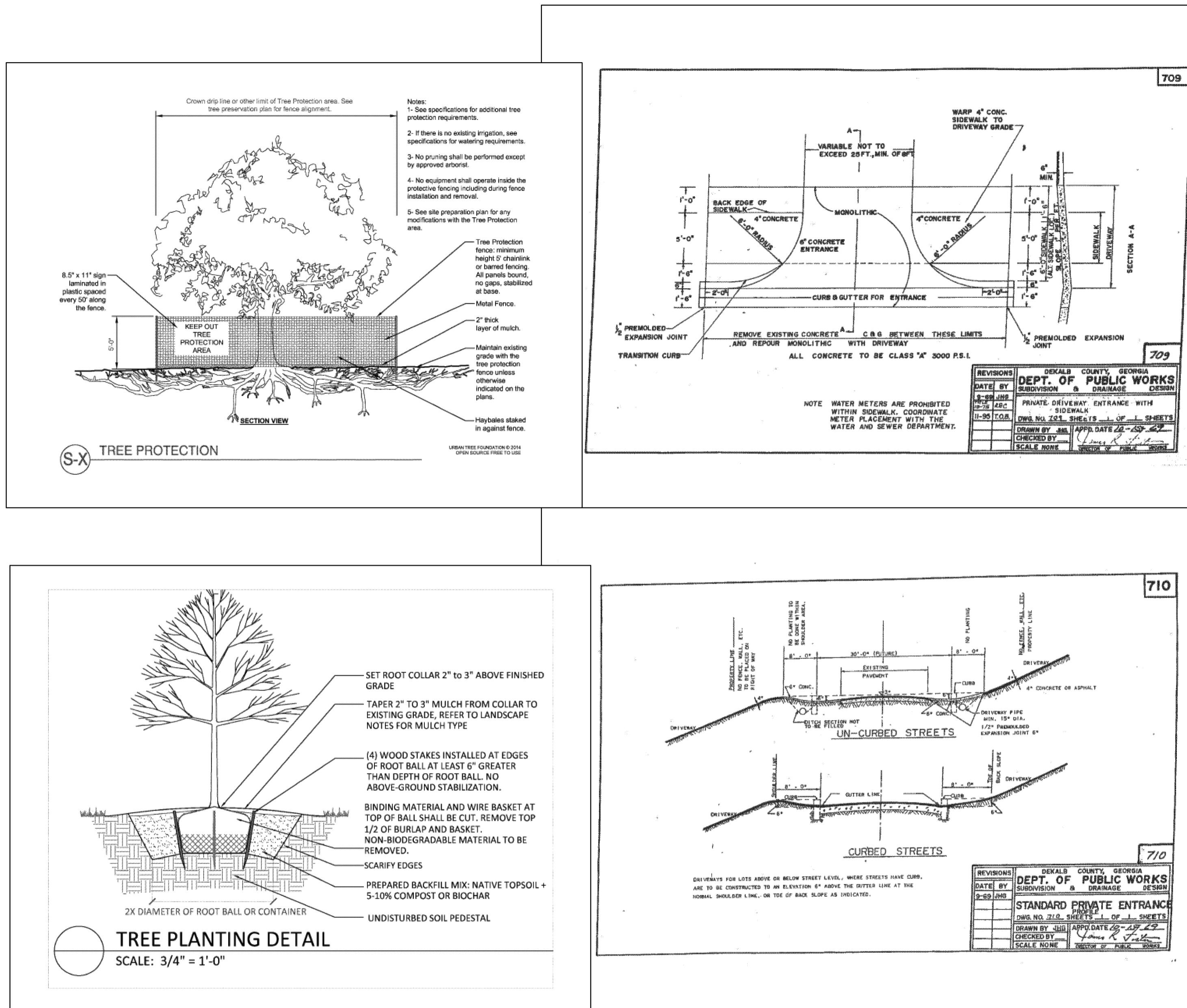


NOTES & DETAILS FOR:
1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020
LAND LOT: 2
DISTRICT: 18TH
DEKALB COUNTY
GEORGIA
FIELD DATE: 09/05/24
PLAT DATE: 09/30/25
AREA = 0.438 ACRES
JOB No. 24412S2

PLANTING SPECIFICATIONS:

1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. PERMANENT VEGETATION SHALL INCLUDE GROUND PREPARATION, LIMING, FERTILIZING, SEEDING, AND MULCHING.
3. INTERIM EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL AT LEAST 70% OF THE EXPOSED SURFACE IS SUFFICIENTLY STABILIZED.
4. PREPARE THE LAND FOR SEEDING BY APPLYING LIME AND FERTILIZER AND DISKING THE SURFACE TO A MAXIMUM DEPTH OF FOUR (4) INCHES. FINISHED SURFACE SHALL BE SMOOTH, UNIFORM, AND FREE OF DEBRIS SUCH AS TRASH, ROCKS, ROOTS, AND WEEDS.
5. MULCH SHALL BE APPLIED UNIFORMLY WITHIN 24 HOURS OF SEEDING. REFER TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR ADDITIONAL PLANTING SPECIFICATIONS AND ALTERNATIVE VEGETATIVE COVER SUCH AS TREES AND SHRUBS.

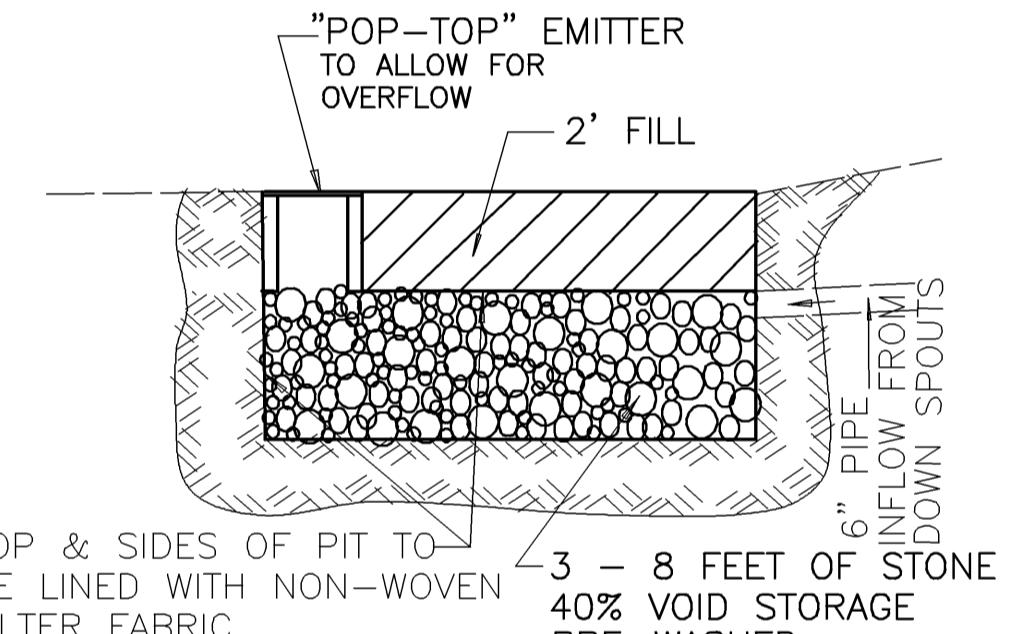
SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BAHIA	60 LBS	X	X	X	X	X	X	X	X	X	X	X	
BERMUDA (HULLED)	10 LBS	X	X	X	X								
BERMUDA (UNHULLED)	10 LBS	X	X										
TALL FESCUE	50 LBS	</											



INFILTRATION TRENCH MAINTENANCE ACTIVITIES AND SCHEDULE

ACTIVITY	SCHEDULE
- REPLACE GRAVEL AND TOPSOIL (WHEN CLOGGED)	AS NEEDED
<ul style="list-style-type: none"> <li data-bbox="3204 356 3426 396">- CLEAR INLETS OF DEBRIS, INCLUDING SEDIMENT AND OIL/GREASE <li data-bbox="3204 396 3426 419">- STABILIZE THE SURROUND AREA. <li data-bbox="3204 419 3426 468">- MOW GRASS AND REMOVE GRASS CLIPPINGS FROM FILTER STRIP AREAS, IF APPLICABLE <li data-bbox="3204 468 3426 515">- REPAIR UNDERCUT AND ERODED AREAS AT INFLOW/OUTFLOW STRUCTURES. 	MONTHLY
<ul style="list-style-type: none"> <li data-bbox="3204 561 3426 706">- INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR DEBRIS ACCUMULATION AND STRUCTURAL INTEGRITY; TAKE CORRECTIVE ACTION AS NEEDED. 	SEMIANNUALLY
<ul style="list-style-type: none"> <li data-bbox="3204 706 3426 769">- AERATE PRETREATMENT BASIN BOTTOM OR DE-THATCH BASIN BOTTOM, IF APPLICABLE. 	ANNUALLY
<ul style="list-style-type: none"> <li data-bbox="3204 769 3426 891">- SCRAPE PRETREATMENT BASIN BOTTOM TO REMOVE ACCUMULATED SEDIMENT AND RE-SEED GROUND COVER, IF APPLICABLE. 	EVERY 5 YEARS
<ul style="list-style-type: none"> <li data-bbox="3204 891 3426 950">- TOTALLY REHABILITATE THE TRENCH AND RESTORE ITS DESIGN STORAGE CAPACITY. <li data-bbox="3204 950 3426 1013">- EXCAVATE TRENCH WALLS TO EXPOSE CLEAN SOIL IF APPLICABLE. 	UPON FAILURE

1.) DOWN DRAINS SHALL HAVE POSITIVE SLOPE AWAY FROM FOUNDATION.



**PRE-WASHED
GRAVEL TRENCHS**

2.) DOWN SPOUTS SHALL NOT BE DISCHARGE CLOSER THAN 5' FROM FOUNDATION



From: [REDACTED]
To: [Paige V. Jennings](#): [REDACTED]
Cc: [REDACTED]
Subject: Re: 1035 Oxford Road - HPC
Date: Tuesday, January 13, 2026 3:28:07 PM
Attachments: [image001.png](#)
[24412SPB \(2\) \(1\).pdf](#)

Hey Paige, hope all is well and Happy New Year! Since we removed that flex room, all we are submitting for in this application is the pool and the wood privacy fence. Here is the site plan with the proposed pool and fence. I assume we no longer need to show the house for the meeting, as we have already permitted that and have started. Please let me know if you think we need anything else for this. Thanks!

Mike Wall
404-438-6120

On Tue, Jan 13, 2026 at 2:31 PM Paige V. Jennings <pvjennings@dekalbcountyga.gov> wrote:

Good Afternoon,

Hope that everyone is doing well and had a wonderful holiday season!

We are preparing our staff reports for next week's HPC meeting, and I wanted to check in on if there will be any additional documents submitted for review. Please let me know and send over the documents as soon as possible, so that we can have our staff reports completed before the end of the day tomorrow.

Thank You,

Paige

Paige V. Jennings (they/them)

Senior Planner, Historic Preservation

DeKalb County Government | Department of Planning & Sustainability

Current Planning | Zoning Division

Government Services Center| 178 Sams Street | Decatur, GA 30030

Email: pvjennings@dekalbcountyga.gov