

DeKalb County Historic Preservation Commission

Tuesday, January 20, 2026- 6:00 P.M.

Staff Report

Regular Agenda

- D. 1035 Oxford Road, Ben Darmer for Parkwood Living, LLC. Modify a previously approved COA to construct a nonhistoric house. **1247910.**

To be Built - Nonhistoric (18 002 04 020)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

- 02-25 1035 Oxford Road, Ben Darmer for Parkwood Living, LLC. Demolish a historic house and construct a new house. 1247316. **Denied. (Remanded on Appeal)**
- 04-25 1035 Oxford Road, Ben Darmer for Parkwood Living, LLC. Demolish a historic house and construct a new house. 1247316. **Approved with Modifications.**

Summary

January 2026

The application was deferred with the consent of the applicant from the December 2025 meeting in order for the applicant to clarify the proposed scope of work for the application. The applicant clarified that the proposed rear addition was no longer a part of the proposed plans, and that the application would only be for the proposed inground pool in the backyard of the property and the proposed privacy fence that would be installed along the rear and side property lines.

December 2025

The applicant proposes the following work:

1. Construct a rear addition on a nonhistoric house. A "flex room" addition will be constructed on the rear, Northern corner of the previously approved nonhistoric house. The addition will be single story, constructed with a gable roof, and will not be visible from the Right of Way.
2. Install a pool in the backyard. An in-ground pool will be installed in the backyard of the property. A paver patio will be installed around the pool.
3. Install a privacy fence. A 6ft wood privacy fence will be installed around the perimeter of the property, along the rear and side property lines and extending towards the front property line.

Recommendation

Approval with Modification. Staff recommends approval of the proposed in-ground pool with the modification that the proposed fencing with the modification that the privacy fence only be installed in the backyard of the property and should not extend into the front yard or beyond the rear corners of nonhistoric house in accordance with Guideline 9.4; all other work shown on the plans provided that differ from the plans approved by the COA issued in April of 2025 is not included within this approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use. In the review of the installation of fencing, the front yard shall be defined as the portion of land between the front entrance of the main structure on the property and the Right of Way of which the property is addressed.
- 9.4 *Enclosures and Walls* (p90) Guideline – The plantings of shrubbery to create a hedge is considered fencing and will require review by the preservation commission.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to “soften” the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 11.0 *Nonhistoric Properties* (p94) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.



DeKalb County
GEORGIA

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____ Date Received: _____

Address of Subject Property: 1035 Oxford Rd

Applicant: Ben Darmer / Parkwood Living, LLC

E-Mail: _____

Applicant's relationship to the owner: Owner ☒

Architect ☐

Contractor/Builder ☐

Other ☐

Owner(s): PARKWOOD LIVING, LLC - MIKE WALL

Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

New construction ☐

New Accessory Building ☐

Other Building Changes ☐

Demolition ☐

Landscaping ☐

Other Environmental Changes ☐

Addition ☒

Fence/Wall ☒

Other ☒

Moving a Building ☐

Sign Installation ☐

Description of Work:

NEW PLEX ROOM ADDITION. NEW POOL. NEW WOOD PRAIRIE FENCE.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

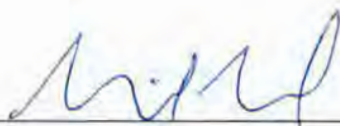
This form is required if the individual making the request is **not** the owner of the property.

I/ We: PARKWOOD LIVING, LLC / MIKE WALL

being owner(s) of the property at: 1035 Oxford Rd.

hereby delegate authority to: Ben Darmer / Parkwood Living, LLC

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): 

Date: 11/19/25

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER
THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA,
COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

ZONING INFORMATION

CLASSIFICATION: R-85
MINIMUM LOT WIDTH - 85 FEET
MINIMUM LOT AREA - 12,000 sf.
SETBACKS: FRONT - 35 FEET
 SIDE - 8.5 FEET
 REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

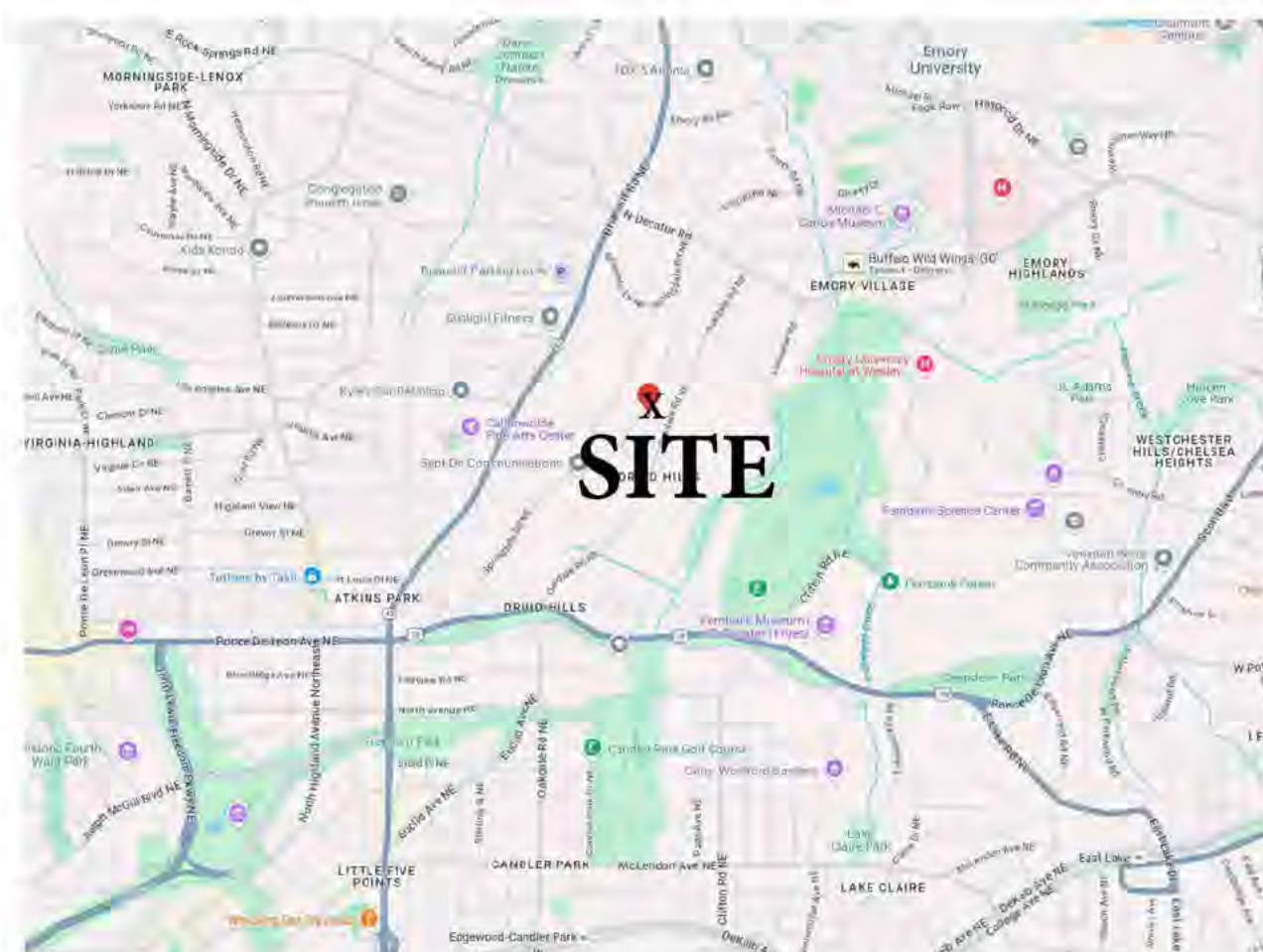
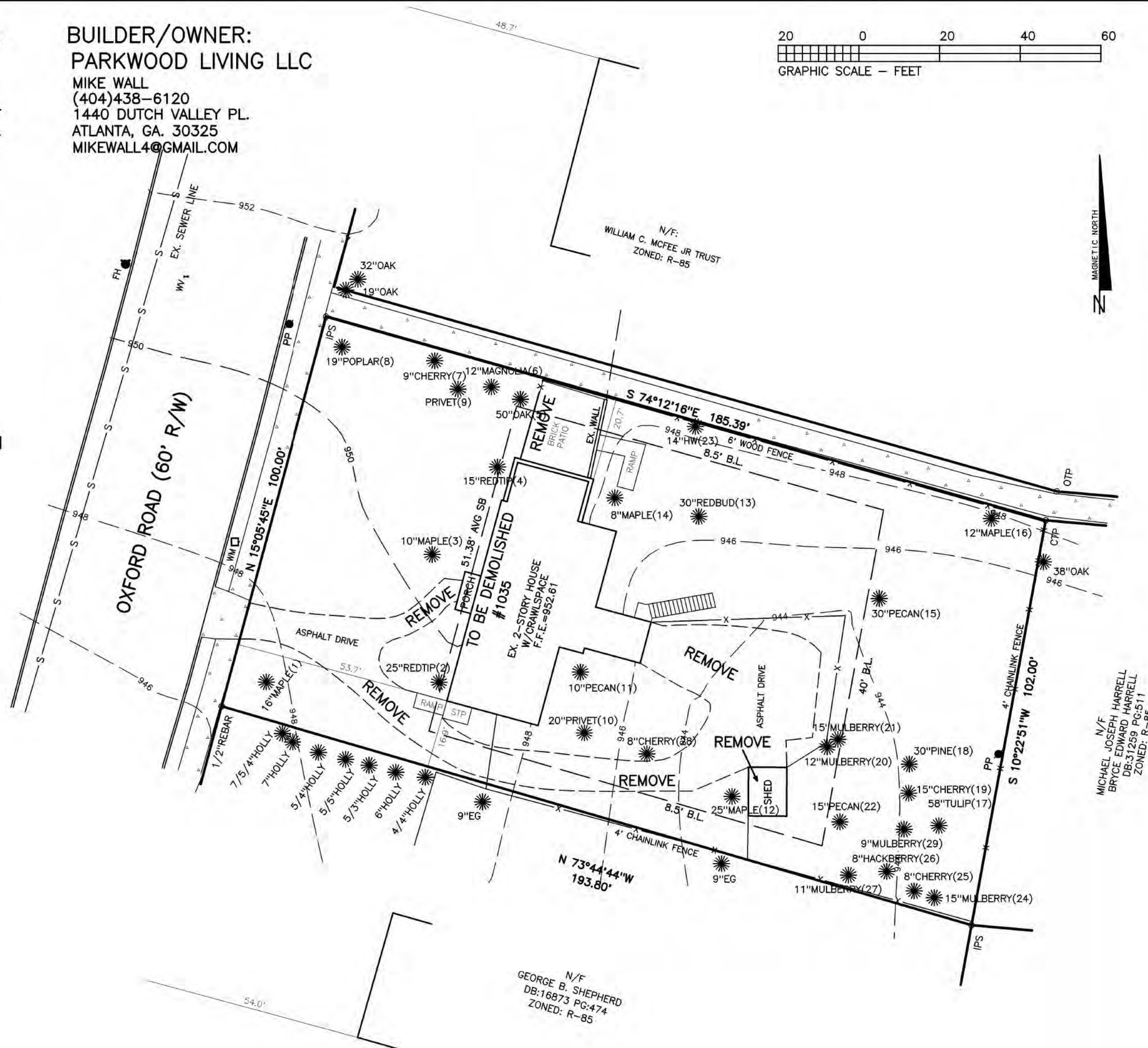
IPF = 1/2" REBAR FOUND
 IPS = 1/2" REBAR PIN SET
 L.L. = LAND LOT
 L.L.L. = LAND LOT LINE
 P.L. = PROPERTY LINE
 CL = CENTERLINE
 B.L. = BUILDING LINE
 R/W = RIGHT-OF-WAY
 S.S.E. = SANITARY SEWER EASEMENT
 D.E. = DRAINAGE EASEMENT
 MH = MANHOLE
 C.B. = CATCH BASIN
 J.B. = JUNCTION BOX
 HW = HEADWALL
 D.I. = DROP INLET
 PP = POWER/UTILITY POLE
 F.H. = FIRE HYDRANT
 I.E. = INVERT ELEVATION
 F.F.E. = FINISHED FLOOR ELEVATION
 F.F.B. = FINISHED FLOOR BASEMENT
 F.F.G. = FINISHED FLOOR GARAGE
 BOC = BACK OF CURB
 EP = EDGE OF PAVEMENT
 N/F = NOW OR FORMERLY
 P.O.B. = POINT OF BEGINNING
 —SS— = SANITARY SEWER LINE/PIPE
 —X-X-X— = FENCE LINE
 —O— = FLOOD HAZARD ZONE LINE
 ——— = STORM SEWER LINE/PIPE
 —W— = WATER LINE
 —G— = GAS LINE
 CM = CONCRETE MONUMENT
 C.E. = CONSTRUCTION EASEMENT
 C&G = CURB AND GUTTER
 LS = LIGHT STANDARD
 OTP = OPEN TOP PIPE FOUND
 CTP = CRIMP TOP PIPE FOUND

ALL EXISTING INFRASTRUCTURE TO BE
DEMOLISHED PER SEPARATE DEMOLITION
PLAN/PERMIT.

24 HR CONTACT:
MICHAEL WALL
(404)438-6120
MIKEWALL4@GMAIL.COM
PARKSIDE DEVELOPMENT
1440 DUTCH VALLEY PL.
ATLANTA, GA. 30325

BUILDER/OWNER:
PARKWOOD LIVING LLC
MIKE WALL
(404)438-6120
1440 DUTCH VALLEY PL.
ATLANTA, GA. 30325
MIKEWALL4@GMAIL.COM

LOT AREA:
19,110 sf.
0.438 ACRES



* - LOT IS PART OF DRUID HILLS SUBDIVISION;
RECORDED PLAT FOR ORIGINAL SUBDIVISION
COULD NOT BE FOUND.

PAGE 1 OF 4

EXISTING CONDITIONS FOR:

1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020

LOT: 54	BLOCK: 12B
SUB: DRUID HILLS	
AREA = 0.438 ACRES	
JOB No. 24412EX	

GSWCC GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000089322

ISSUED: 10/17/2019 EXPIRES 10/11/2022

11/05/25

SIGNATURE DATE



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 FAX: 770.696.4055

REVISION: 11/05/25

REF. PLAT: PB. * P

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

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THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

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REAR - 40 FEET
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MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

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C&G = CURB AND GUTTER
LS = LIGHT STANDARD
OTP = OPEN TOP PIPE FOUND
CTP = CRIMP TOP PIPE FOUND

TREE INVENTORY:

SAVED:	REMOVED:
1 - 16" MAPLE - 4.8	2 - 25" REDTIP
6 - 12" MAGNOLIA - 3.2	3 - 10" JAPANESE MAPLE
7 - 9" CHERRY - 2.4	4 - 15" REDTIP
8 - 19" POPLAR - 5.4	5 - 50" OAK-POOR HEALTH
17 - 58" POPLAR - 32.6%	9 - 7" PRIVET
	10 - 20" PRIVET
	11 - 10" PECAN
	12 - 25" MAPLE
	13 - 30" REDBUD-POOR HEALTH
	14 - 8" JAPANESE MAPLE
	15 - 30" PECAN
	16 - 12" MAPLE

GENERAL NOTES:

- 1) THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 2) EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 3) ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- 4) ALL LOTS/SITES WITH 2" OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- 5) LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 6) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- 7) ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 8) ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- 9) A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 10) A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 11) DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 12) WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- 13) ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S)
- 14) NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- 15) WORK HOURS AND CONSTRUCTION DELIVERIES ARE:

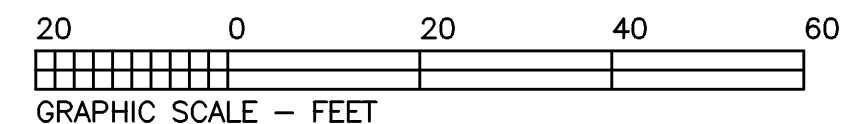
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

- 16) I ROBERT W. RICHARDSON CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

24 HR CONTACT:
MICHAEL WALL
(404)438-6120
MIKEWALL4@GMAIL.COM
PARKSIDE DEVELOPMENT
1440 DUTCH VALLEY PL
ATLANTA, GA. 30324

BUILDER/OWNER:
PARKWOOD LIVING LLC
MIKE WALL
MIKEWALL4@GMAIL.COM
(404)438-6120
1440 DUTCH VALLEY PL
ATLANTA, GA. 30324

LOT AREA:
19,110 sf.
0.438 ACRES



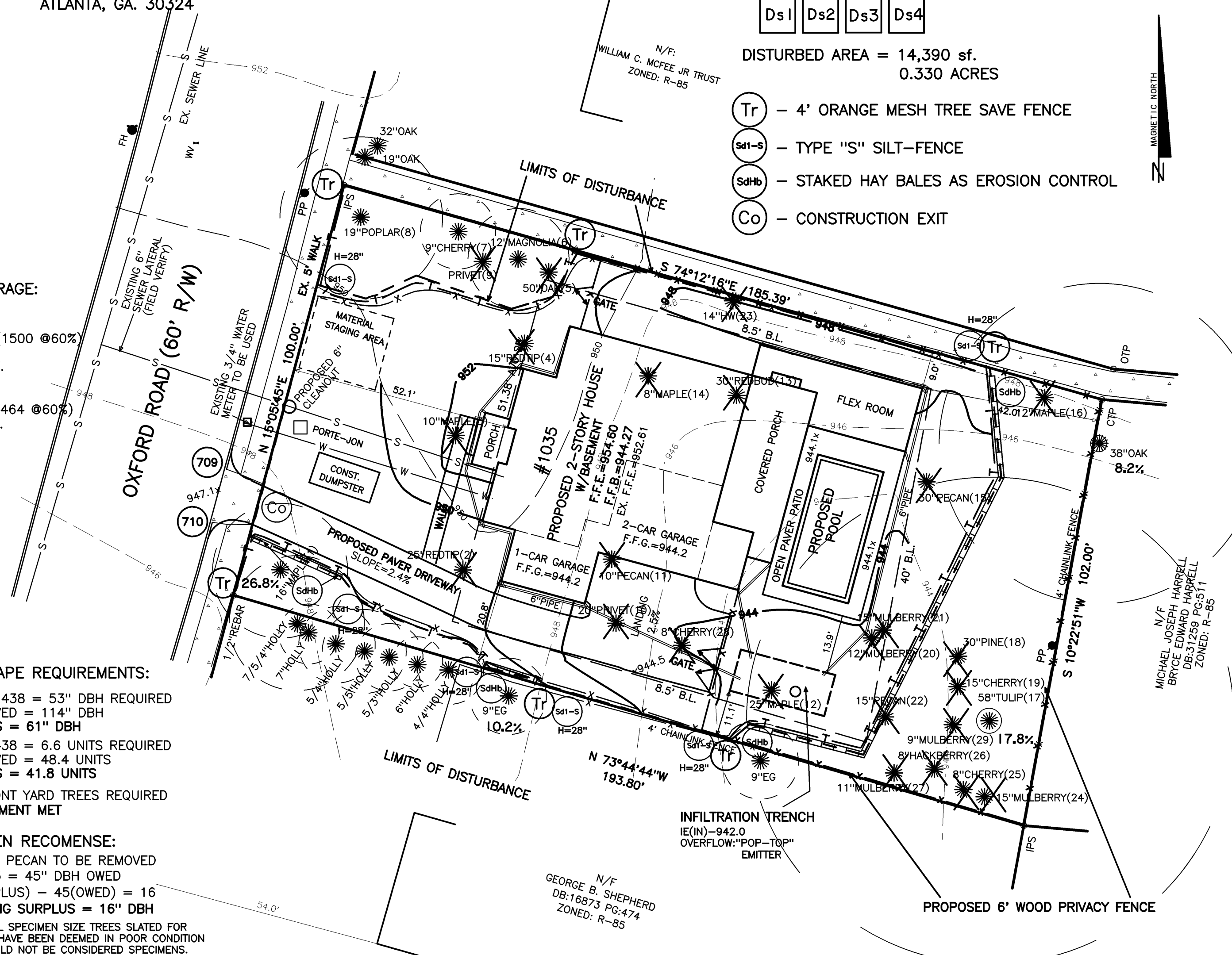
NO GRADED SLOPE SHALL EXCEED 3H:1V
ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 14,390 sf.
0.330 ACRES

- Tr - 4' ORANGE MESH TREE SAVE FENCE
Sd1-S - TYPE "S" SILT-FENCE
SdHb - STAKED HAY BALES AS EROSION CONTROL
Co - CONSTRUCTION EXIT

MAGNETIC NORTH



LANDSCAPE REQUIREMENTS:

120 x 0.438 = 53" DBH REQUIRED
PRESERVED = 114" DBH
SURPLUS = 61" DBH
15 x 0.438 = 6.6 UNITS REQUIRED
PRESERVED = 48.4 UNITS
SURPLUS = 41.8 UNITS
TWO FRONT YARD TREES REQUIRED
REQUIREMENT MET

SPECIMEN RECOMENSE:

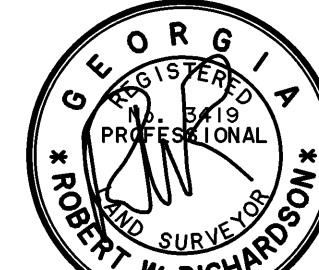
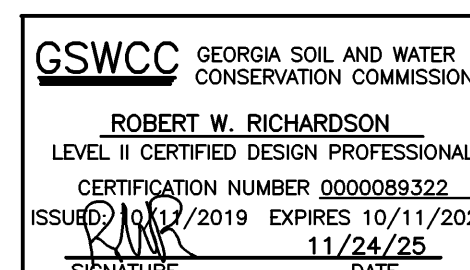
ONE 30" PECAN TO BE REMOVED
30 x 1.5 = 45" DBH OWED
61(SURPLUS) - 45(OWED) = 16
REMAINING SURPLUS = 16" DBH
ADDITIONAL SPECIMEN SIZE TREES SLATED FOR
REMOVAL HAVE BEEN DEEMED IN POOR CONDITION
AND SHOULD NOT BE CONSIDERED SPECIMENS.

* LOT IS PART OF DRUID HILLS SUBDIVISION;
NO RECORD OF ORIGINAL SUBDIVISION PLAT
CAN BE FOUND.

PAGE 2 OF 4

POOL SITE PLAN FOR:

1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

REVISION: _____
REF. PLAT: PB. * P. _____

LAND LOT: 2	LOT: 54	BLOCK: 12B
DISTRICT: 18TH	SUB: DRUID HILLS	
DEKALB COUNTY		
GEORGIA		
FIELD DATE: 09/05/24	AREA = 0.438 ACRES	
PLAT DATE: 11/24/25	JOB No. 244125PP	

- INSTALLATION SPECIFICATIONS:
1. INSTALLATION, PRODUCT SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
 2. LOOSELY COMPACTED SOIL TO A MINIMUM DEPTH OF THREE (3) INCHES PRIOR TO APPLICATION.
 3. DRY STRAW OR HAY SHALL BE IN CLEAN CONDITION AND APPLIED BY HAND OR MACHINE TO A THICKNESS OF TWO (2) TO FOUR (4) INCHES. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.
 4. MULCH ON SLOPES GREATER THAN 3% SHOULD BE ANCHORED WITH EMULSIFIED ASPHALT OR OTHER SUITABLE TACKIFIER.
 5. ADDITIONAL MULCHING IS REQUIRED IF THE MINIMUM THICKNESS IS NOT ACHIEVED OR IF SOIL COVERAGE IS LESS THAN 90%.

Ds1 **DISTURBED AREA STABILIZATION WITH MULCHING**

- INSTALLATION SPECIFICATIONS:
1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
 2. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY TO ALLOW PROPER GERMINATION AND STABILIZATION.
 3. SOIL SURFACES MAY NEED TO BE TILLED, PITTED, OR OTHERWISE SCARIFIED TO ALLOW FOR PROPER SEED LODGING AND GERMINATION.
 4. APPLY LIME AT A RATE OF ONE TON PER ACRE AS NEEDED.
 5. APPLY 10-10-10 FERTILIZER TO SOILS WITH LOW FERTILITY AT A RATE OF 500 TO 700 POUNDS PER ACRE.
 6. SEEDS SHALL BE PLANTED AT A DEPTH OF TEN TIMES THE SEED DIAMETER.
 7. ACCEPTABLE PLANTING METHODS INCLUDE HYDRO-SEEDING, DRILLING, AND BROADCAST SPREADING BY MACHINE OR HAND.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BARLEY	144 LBS									X	X	X	X
ANNUAL LESPEDEZA	40 LBS	X	X	X	X								
WEEDING LOVEGRASS	4 LBS	X	X	X	X	X	X						
BROWNTOP MILLET	40 LBS				X	X	X	X					
OATS	128 LBS										X	X	X
RYE	168 LBS									X	X	X	X
ANNUAL RYEGRASS	40 LBS	X	X	X						X	X	X	X
SUDANGRASS	60 LBS		X	X	X	X	X	X					
WHEAT	180 LBS									X	X	X	X

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

Ds2 **DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING**

PLANTING SPECIFICATIONS:

1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. PERMANENT VEGETATION SHALL INCLUDE GROUND PREPARATION, LIMING, FERTILIZING, SEEDING, AND MULCHING.
3. INTERIM EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL AT LEAST 70% OF THE EXPOSED SURFACE IS SUFFICIENTLY STABILIZED.
4. PREPARE THE LAND FOR SEEDING BY APPLYING LIME AND FERTILIZER AND DISKING THE SURFACE TO A MAXIMUM DEPTH OF FOUR (4) INCHES. FINISHED SURFACE SHALL BE SMOOTH, UNIFORM, AND FREE OF DEBRIS SUCH AS TRASH, ROCKS, ROOTS, AND WEEDS.
5. MULCH SHALL BE APPLIED UNIFORMLY WITHIN 24 HOURS OF SEEDING.
6. REFER TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR ADDITIONAL PLANTING SPECIFICATIONS AND ALTERNATIVE VEGETATIVE COVER SUCH AS TREES AND SHRUBS.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BAHIA	60 LBS	X	X	X	X	X	X	X	X	X	X	X	X
BERMUDA (HULLED)	10 LBS	X	X	X	X	X							
BERMUDA (UNHULLED)	10 LBS	X	X							X	X	X	
TALL FESCUE	50 LBS			X	X				X	X	X	X	
WEEDING LOVEGRASS	4 LBS			X	X	X							
SERICEA LESPEDEZA	60 LBS	X	X	X	X	X							

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

LIME AND FERTILIZER APPLICATION:

1. GRADED AREAS REQUIRE LIME APPLICATION.
2. AGRICULTURAL LIME SHALL BE APPLIED AT A RATE OF ONE (1) TO TWO (2) TONS PER ACRE UNLESS SOIL TESTS SUGGEST OTHERWISE. REPEAT APPLICATION EVERY FIVE (5) YEARS OR AS NEEDED.

TYPE OF SPECIES	PLANTING YEAR	RECOMMENDED N-P-K	FERTILIZER RATE PER ACRE
COOL SEASON GRASSES	1	6-12-12	1500 LBS
	2	6-12-12	1000 LBS
	MAINTENANCE	10-10-10	400 LBS
COOL SEASON GRASSES AND LEGUMES	1	6-12-12	1500 LBS
	2	0-12-12	1000 LBS
	MAINTENANCE	0-10-10	400 LBS
WARM SEASON GRASSES	1	6-12-12	1500 LBS
	2	6-12-12	800 LBS
	MAINTENANCE	10-10-10	400 LBS
WARM SEASON GRASSES AND LEGUMES	1	6-12-12	1500 LBS
	2	0-10-10	1000 LBS
	MAINTENANCE	0-10-10	400 LBS

* PERMANENT SEEDING MAY BE SUBSTITUTED WITH SODDING (Ds4) AT THE DISCRETION OF THE PROPERTY OWNER AND LOCAL INSPECTOR.

Ds3 **DISTURBED AREA STABILIZATION WITH PERMANENT SEEDING**

Ds4

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project is desirable.
- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather, if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area.

Table 2. Sod Planting Requirements

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P P-C P-C P-C	Warm weather
Bahiagrass	Pensacola	P-C	Warm weather
Centipede	—	P-C	Warm weather
St. Augustine	Common Bitterblue Raleigh	C	Warm weather
Zoysia	Emerald Myer	P-C	Warm weather
Tall Fescue	Kentucky 31	M-L, P	Cool weather

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated

- Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.

- Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants.
- Mix fertilizer into soil surface. Fertilize based on soil tests or Table 1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.
- Agricultural lime should be applied based on soil tests or at a rate of 1-2 tons/acre.
- Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod.

Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type (lbs./acre)	Fertilizer Rate (lbs./sq.ft.)	Fertilizer Rate	Season
10-10-10	1000	.025	Fall

- On slopes steeper than 3:1, sod should be anchored with pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod and soil.
- Irrigate sod and soil to a depth of 4" immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.

- Fertilize grasses in accordance with soil tests or Table 3.

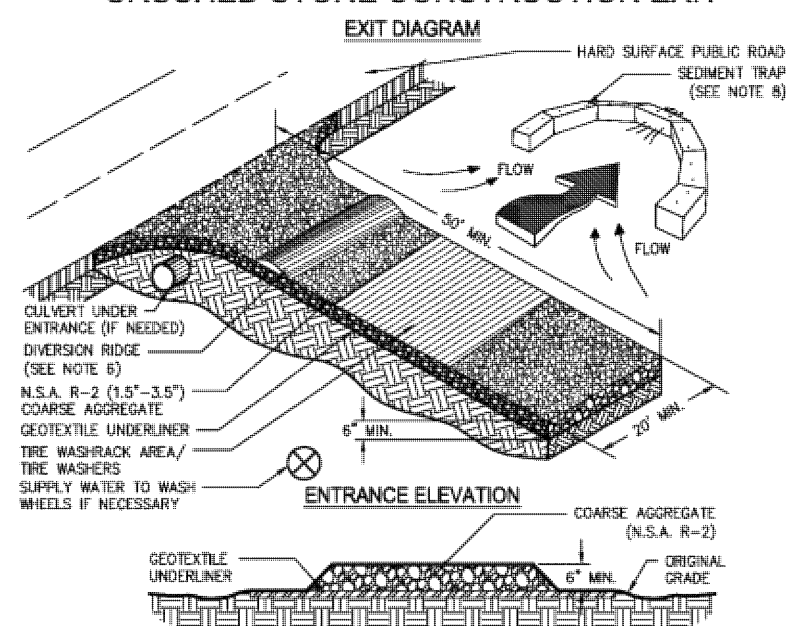
Table 3. Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	30
Warm season	First	6-12-12	1500	50-100
	Second	6-12-12	800	30

MAINTENANCE

The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



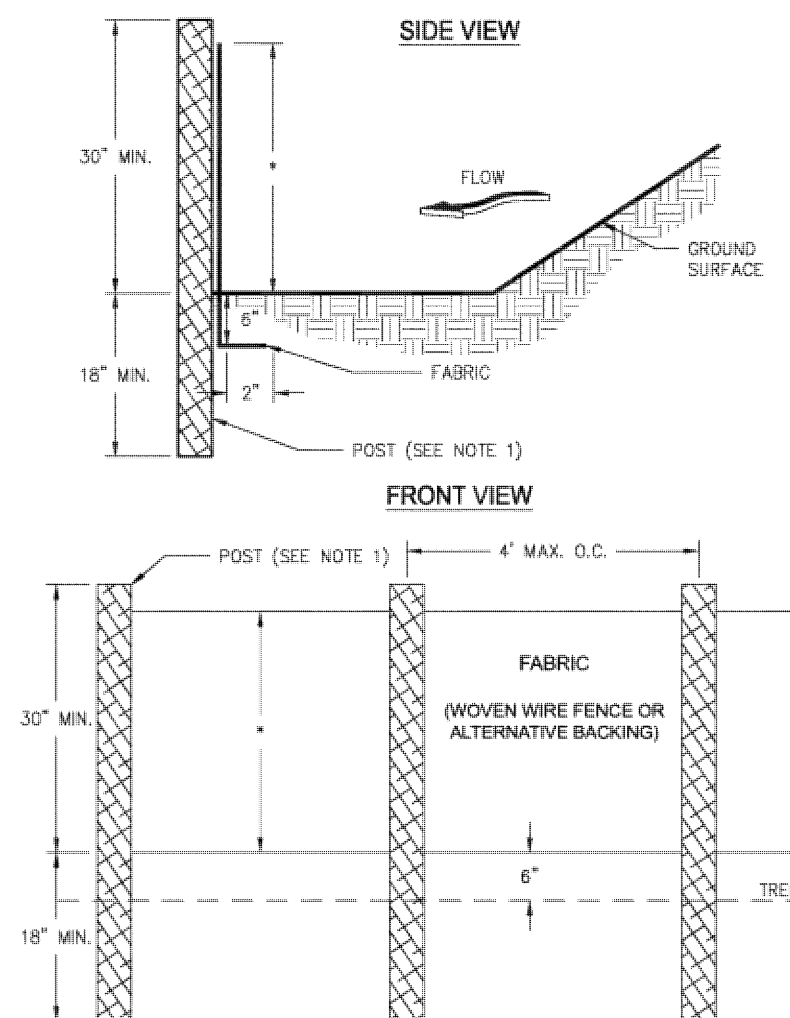
- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 8".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

GSWCC (Amended - 2013)

6-142

SILT FENCE Sd1-S (TYPE C)

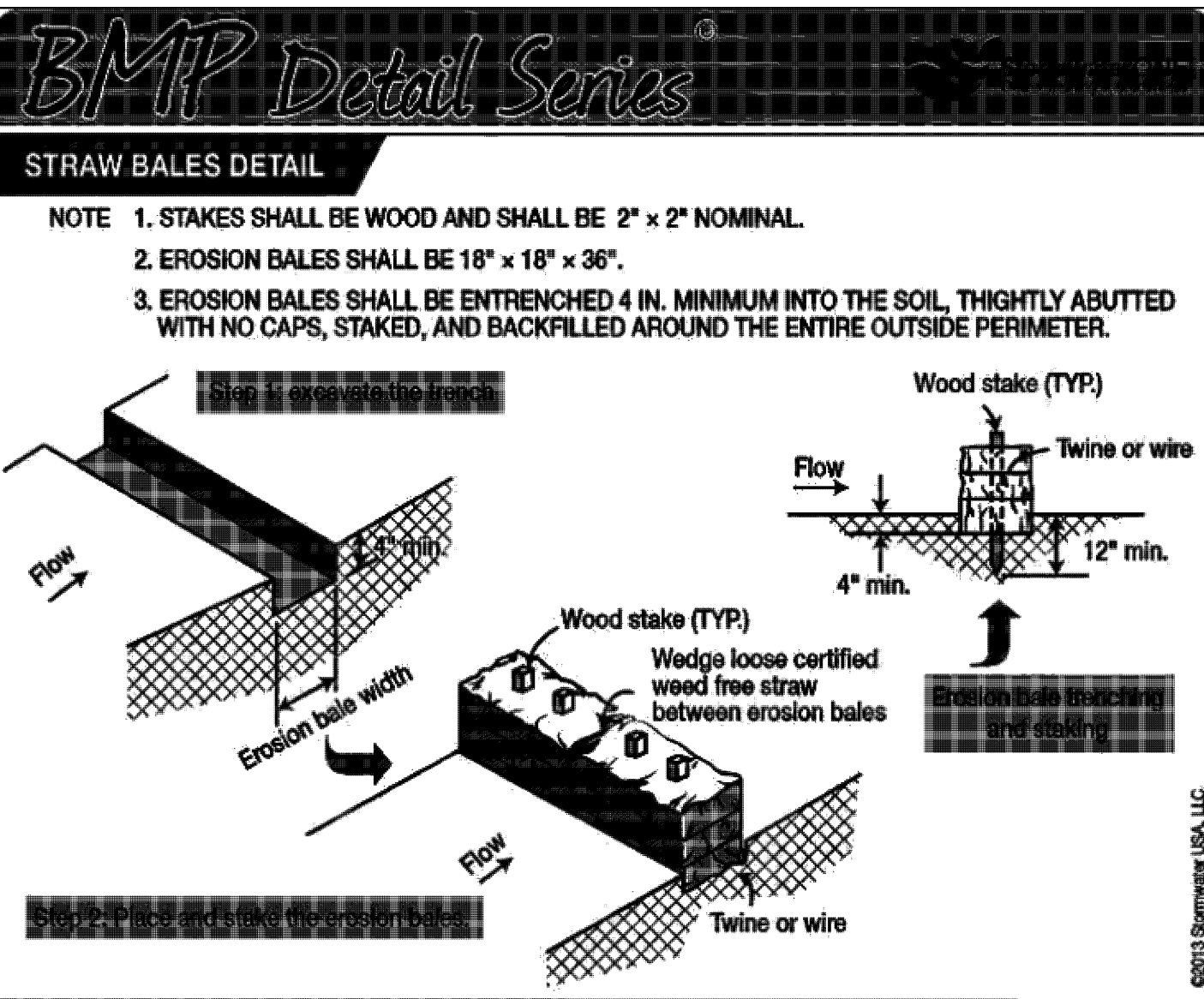


- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

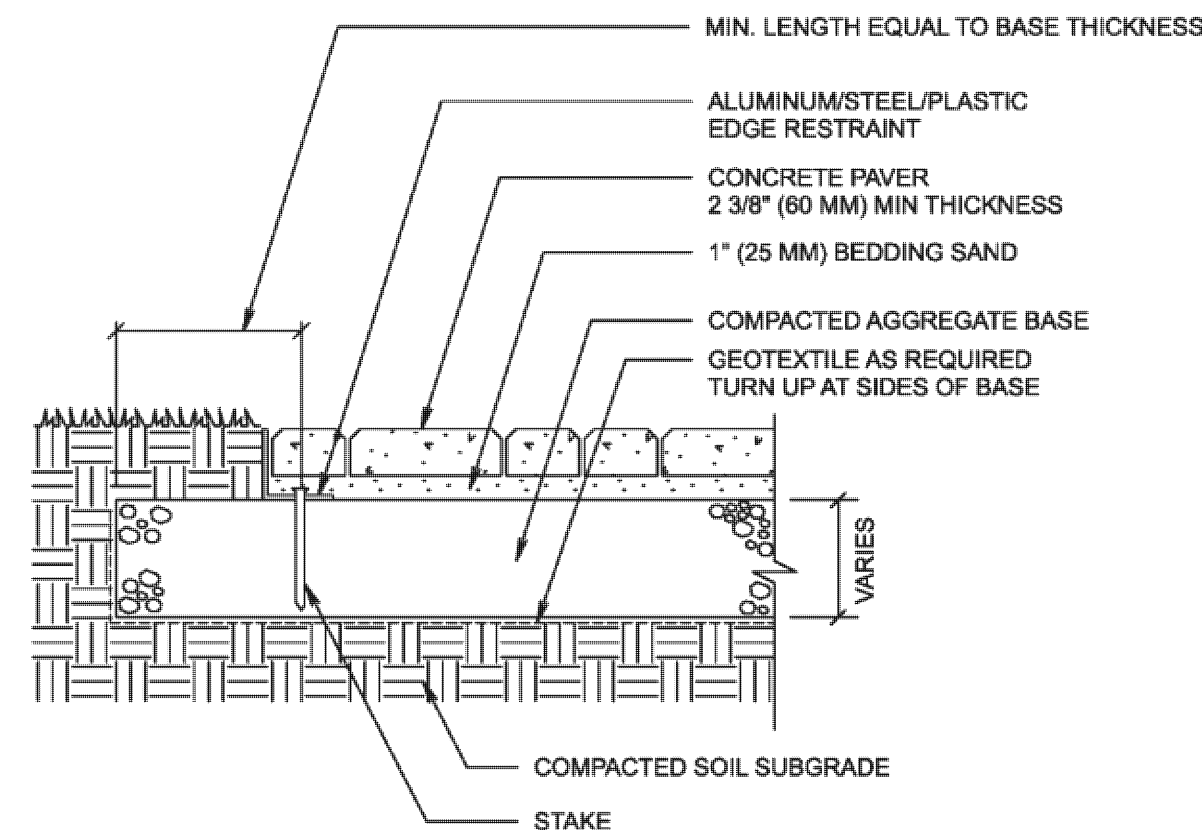
Figure 6-27.2

GSWCC 2016 Edition

6-142



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NOTE: THICKNESS OF AGGREGATE BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COLDER CLIMATES MAY REQUIRE THICKER BASES.

BELGARD PAVERS

www.Belgard.com

PATIO/WALK/RESIDENTIAL DRIVEWAY W/
ALUMINUM / STEEL / PLASTIC EDGE

DRAWING NO. ICPI-53
SCALE F.S.

PAGE 3 OF 4

NOTES & DETAILS FOR:

1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/11/2019 EXPIRES 10/11/2029
SIGNATURE DATE

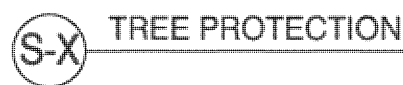


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ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

REVISION: _____
REF. PLAT: PB. _____ P. _____

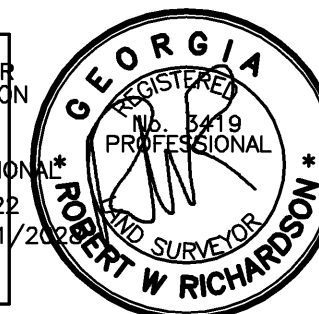
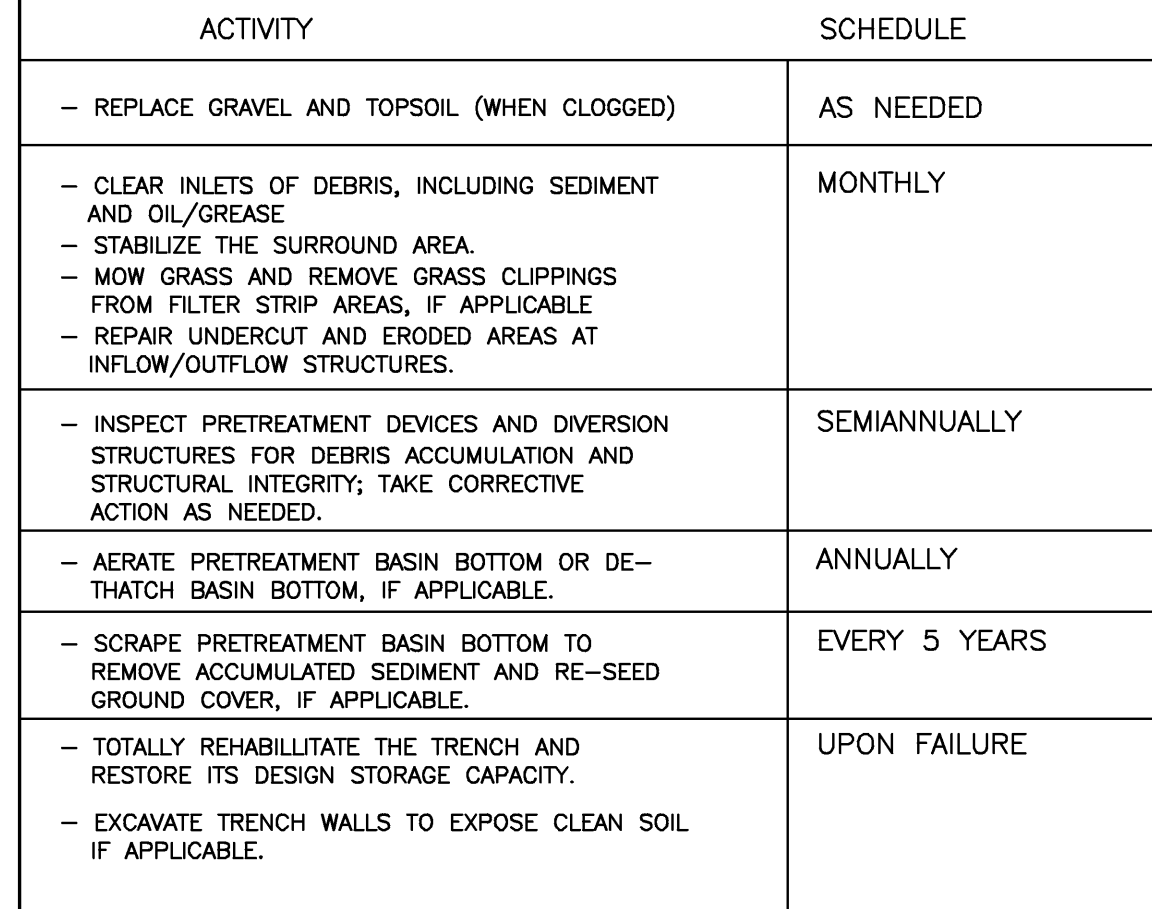
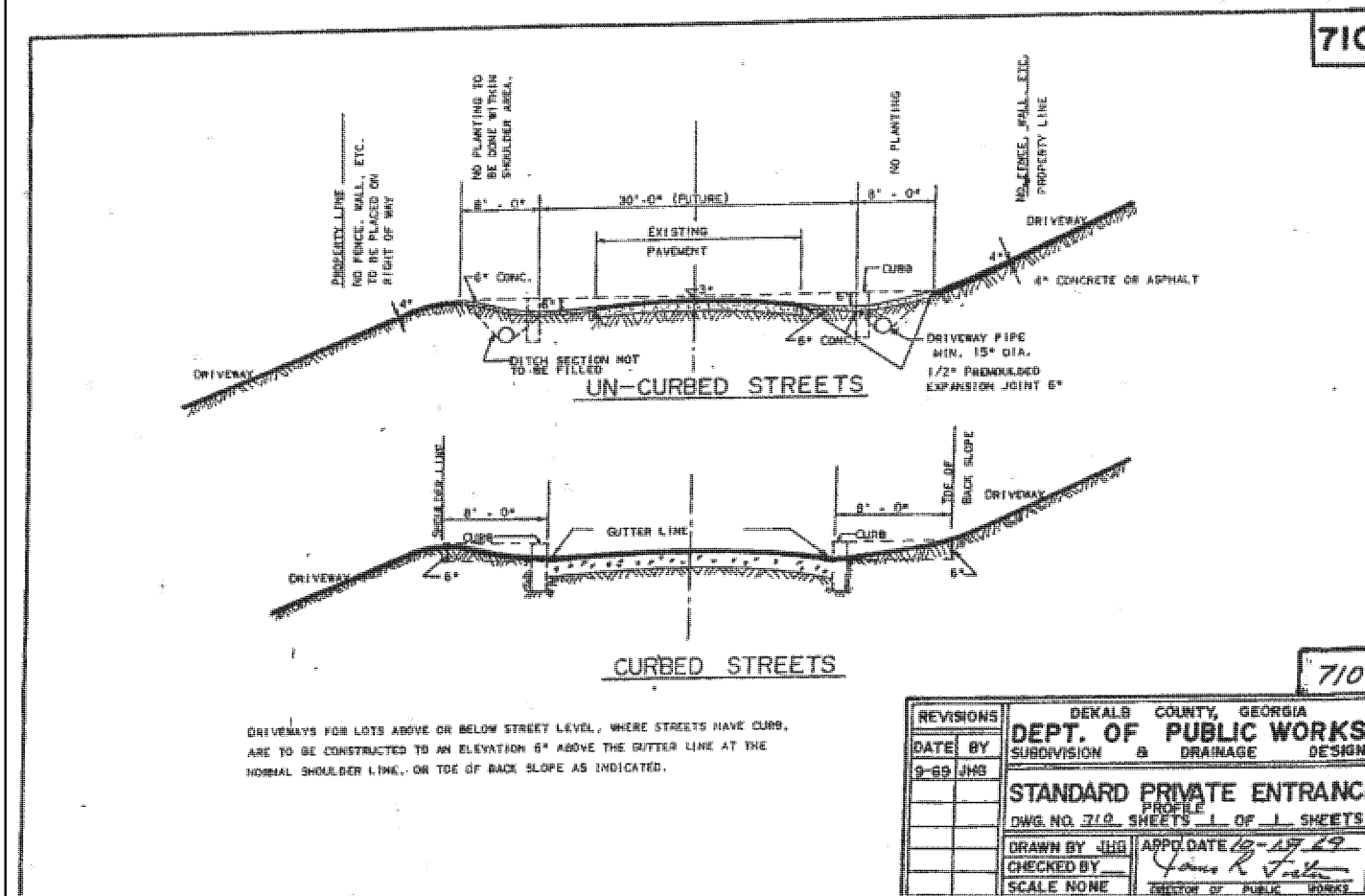
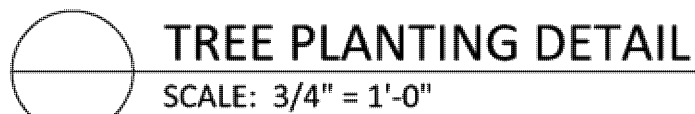
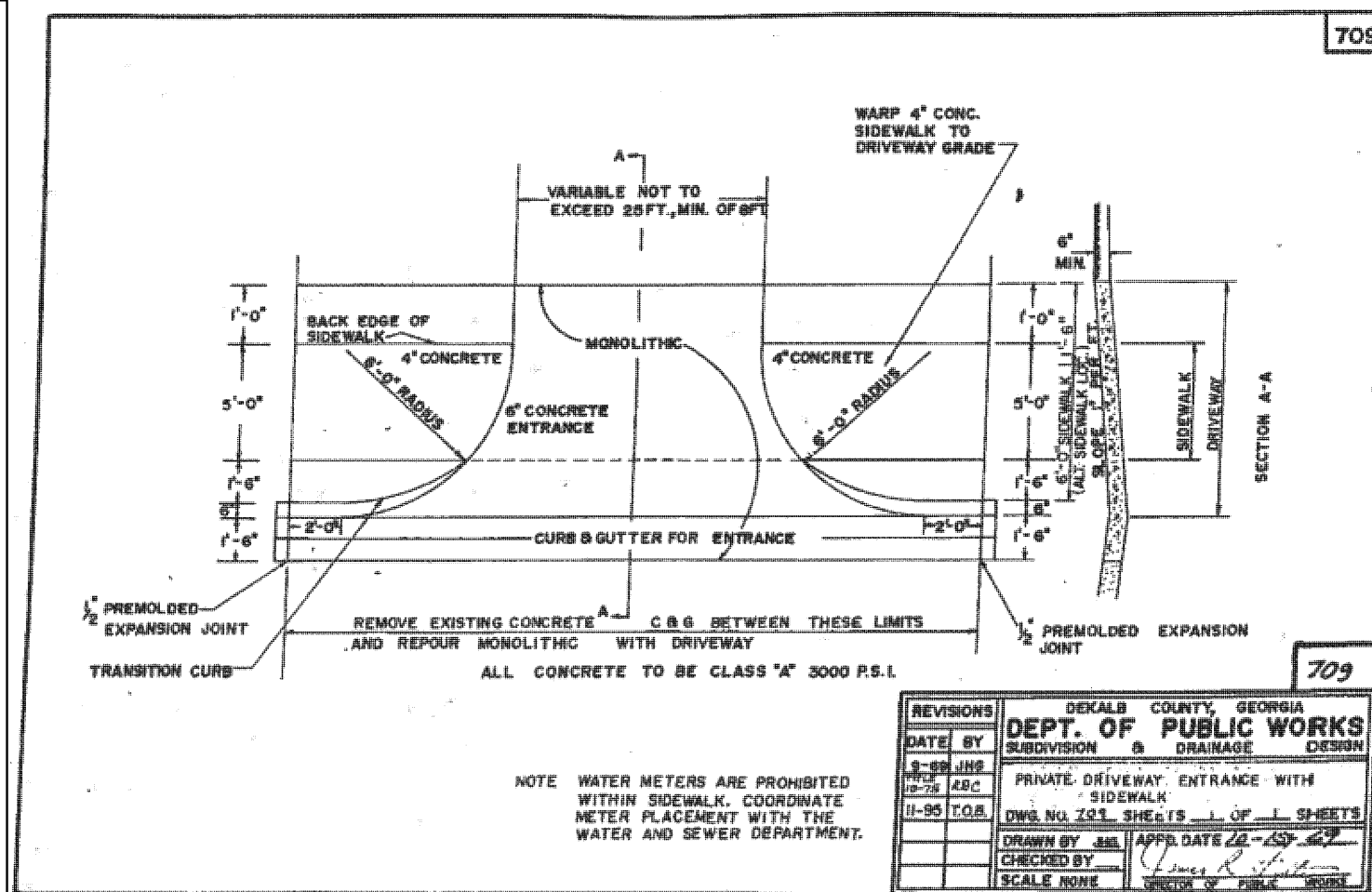
LAND LOT: 2
DISTRICT: 18TH
COUNTY: DEKALB
GEORGIA
FIELD DATE: 09/05/24
PLAT DATE: 09/30/25
LOT: 54 BLOCK: 12B
SUB: DRUID HILLS
AREA = 0.438 ACRES
JOB No. 24412S2



Notes:

- 1- See specifications for additional tree protection requirements.
- 2- If there is no existing irrigation, see specifications for watering requirements.
- 3- No pruning shall be performed except by approved arborist.
- 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
- 5- See site preparation plan for any modifications with the Tree Protection area.

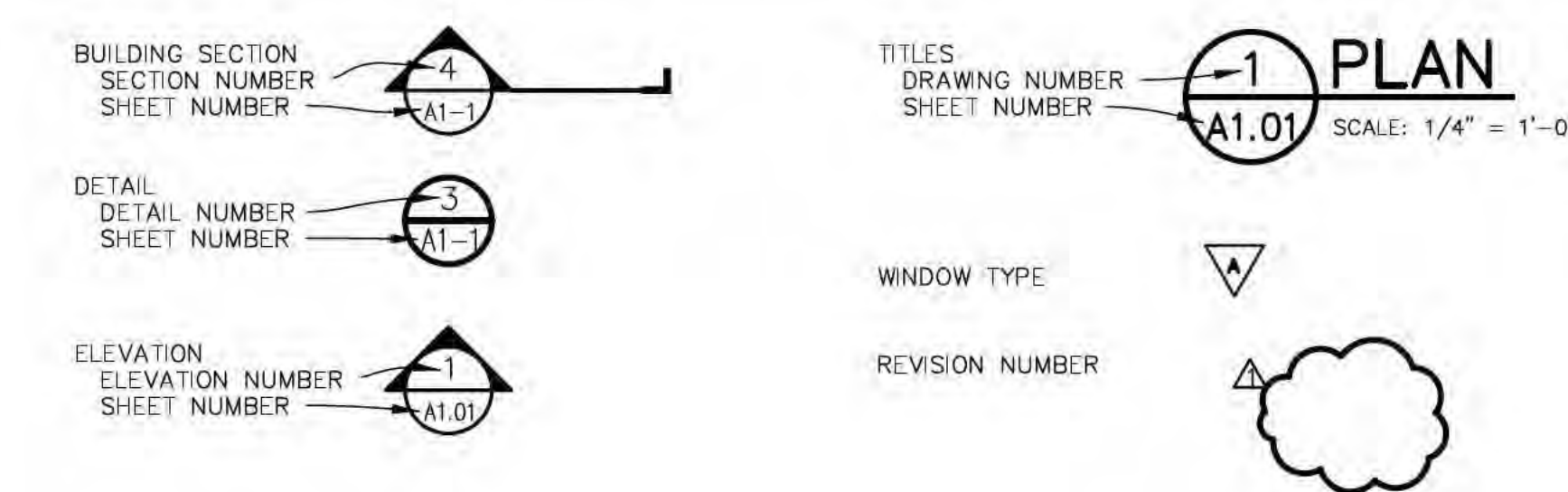
- Tree Protection fence: minimum height 5' chainlink or barred fencing. All panels bound, no gaps, stabilized at base.
- Metal Fence.
- 2" thick layer of mulch.
- Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.
- Haybales staked in against fence.



ABBREVIATIONS

AND	FA	FIRE ALARM	PART	PARTIAL
AT	FAC	FIRE APPARATUS CABINET	PC	PRECAST CONCRETE
ANCHOR BOLT	FAB	FABRICATE (OR)	PD	PLAZA DRAIN
AC	FCRC	FLUOROCARBON RESINOUS COATING	PERF	PERFORATE (ED)
ACOUSTIC	FD	FLOOR DRAIN	PRIM	PRIMER
ACOUSTICAL CEILING TILE	FDTN	FOUNDATION	PKG	PARKING
ADDITIONAL	FE	FIRE EXTINGUISHER	PL	PLATE
ADHESIVE	FE	FIRE EXTINGUISHER	P/L	PROPERTY LINE
ADJACENT	FEC	FIRE EXTINGUISHER CABINET	P LAM	PLASTIC LAMINATE
ADMINISTRATION	FF	FINISH FLOOR	PLAS	PLASTER
ABOVE FINISH FLOOR	FFE	FINISH FLOOR ELEVATION	PLUMB	PLUMBING
AGGREGATE	FHC	FIRE HOSE CABINET	PLYWD	PLYWOOD
ALTERNATE, ALTERNATIVE	FIB	FIBER (OUS)	PMR	PROTECTED MEMBRANE ROOFING
ALUMINUM	FIN	FINISH	PNW	PROTECTED MEMBRANE WATERPROOFING
AMSL	FIXT	FIXTURE	PNL	PANEL
ANODIZE (D)	FLEX	FLEXIBLE	POL	POLISH (ED)
APPROXIMATE	FLR	FLOOR (ING)	PR	PAIR
ARCHITECT (URAL)	FLUOR	FLUORESCENT	PREFAB	PREFABRICATE (ED)
ASPHALT	FM	FACTORY MUTUAL	PRELIM	PRELIMINARY
ASSEMBLY	FOUNT	FOUNTAIN	PRESS	PRESSURE
ACOUSTICAL UNITS	FOF	FACE OF FINISH	PROJ	PROJECTION, PROJECT
AUTOMATIC	FR	FIRE RESISTIVE	PROT	PROTECT (ED)
AUXILIARY	FRP	FIBER REINFORCED PLASTER	PSF	POUNDS PER SQUARE FOOT
	FS/C	FIRE SAFING ON CLIPS	PSI	POUNDS PER SQUARE INCH
BOTTOM OF	FSIN	FASTEN (ER)	PT	PRESSURE TREATED
BALANCE (ED)	FT	FOOT (FEET)	PTD	PAINTED
BALCONY	FTG	FOOTING	PRN	PARTITION
BATHROOM	FUR	FURNISH	PVF2	POLYVINYLIDENE FLUORIDE FINISH
BEVEL (ED)	FVG	FURRING	PVG	PAVING
BOARD	FVC	FIRE VALVE CABINET	PVMT	PAVEMENT
BUMPER GUARD	FCWP	FABRIC COVERED WALL PANEL	QRK	QUIRK
BITUMEN (OUS)			QT	QUARRY TILE
BUILDING	GA	GAUGE	QTY	QUANTITY
BLOCKING	GAL	GALLON		
BALLROOM	GALV	GALVANIZE (ED)	R	RISER
BALLAST	GB	GRAB BAR	RAD	RADIUS
BEAM	GB	GENERAL CONTRACTOR	RB	RESILIENT BASE
BOLLARD	GEN	GENERAL	RBR	RUBBER
BOTTOM	GFRG	GLASS FIBER REINFORCED CONCRETE	RCP	REFLECTED CEILING PLAN
BEARING	GFRG	GLASS FIBER REINFORCED GYPSUM	RD	ROOF DRAIN
BRICK	GL	GLASS	RDG	RIDGE
BRACKET	GRDRL	GUARDRAIL	RE	REGARDING
BRONZE	GRD	GRADE	REF	REFER TO (REFERENCE)
BOTH SIDES	GRD	GROUND	REG	REGISTER
BASEMENT	GRND	GYPSUM SOFFIT BOARD	REFL	REFLECT (ED, IVE)
BATHTUB	GSB	GROSS SQUARE FEET	REIN	REINFORCE (ED, ING, MENT)
BETWEEN	GSTRM	GUTTER	REMO	REMOVE (ABLE)
BUILT-UP ROOFING	GTR	GYPSUM WALL BOARD	REQD	REQUIRED
	GWB	GYPSUM	RES	RESILIENT
	GYP	GYPSUM	REST	RESTAURANT
C	CHANNEL SHAPE		RET	RETAIN (ED, ING)
CABINET	HB	HOSE BIBB	RH	RIGHT HAND
CAPACITY	HC	HANDICAPPED	RM	ROOM
CATCH BASIN	HD	HEAD	RND	ROUND
CABLE	HDW	HARDWARE	RO	ROUGH OPENING
CENTER TO CENTER	HDEPS	HIGH DENSITY EXTRUDED POLYSTYRENE	ROW	RIGHT-OF-WAY
CONSULTING ENGINEER'S GROUP	HGR	HANGER	RT	RUBBER TILE
CEMENT (TIOUS)	HNDRL	HANDRAIL	RID	RECESSED TOWEL DISPENSER
CERAMIC	HOR OR	HORIZONTAL	S	SOUTH
CERTIFY (ICATION, ICATE)	HORIZ	HORIZONTAL	SAB	SOUND ATTENUATION BLANKET
CORNER GUARD	HR	HOUR	SAN	SANITARY
CAST-IN-PLACE	HS	HOUSEKEEPING	SCHED	SCHEDULE
CONTROL JOINT	HSKPG	HOUSEKEEPING	SD	SMOKE DETECTOR
COMPRESSIBLE JOINT FILLER	HSWY	HOUSEKEEPING	SDP	SOAP DISPENSER
CENTERLINE	HT	HEIGHT	SEC	SECTION
CEILING	HVAC	HEATING, VENTILATING & AIR CONDITIONING	SEP	SEPARATE (ION)
CLOSE	HYD	HYDRANT	SERV	SERVICE
CEILING (ANCE)	ID	INSIDE DIAMETER (DIMENSION)	SF	SQUARE FEET (FOOT)
CLEAR (ANCE)	IN	INCH (ES)	SGT	STRUCTURAL GLAZED TILE
CONCRETE MASONRY UNIT	INCAN	INCANDESCENT	SH	SHEET
CONCEAL (ED)	INCL	INCLUDE (ED, ING)	SH-SHT	SHEDDING
COUNTER	INFO	INFORMATION	SIM	SIMILAR
COLUMN	INSUL	INSULATE (ED, ING, ION)	SND	SANITARY NAPKIN DISPENSER
COMBINE (ATION)	INT	INTERIOR	SNV	SANITARY NAPKIN VENDOR
COMPOSITE	IRMA	INVERTED ROOF MEMBRANE ASSEMBLY	SPEC	SPECIFICATION
CONCRETE	IRR	IRRIGATION	SQ	SQUARE
CONFERENCE	JAN	JANITOR	SPKR	SPEAKER
CONNECT (ED, ING, ION)	JB	JAMB	SPR	SPRINKLER (ED)
CONSTRUCT (ION)	JC	JANITOR	SRMFI	SEMI RIGID MINERAL FIBER INSULATION
CONTINUE (OUS)	JST	JOIST	SS	STAINLESS STEEL
COORDINATE (ED)	JT	JOINT	ST	STONE
CORRIDOR	K	KING	STC	SOUND TRANSMISSION COEFFICIENT
CARPET	KIT	KITCHEN	STD	STANDARD
CASEWORK	KD	KNOCKDOWN	STE	SUITE
COUNTERSINK	L	ANGLE SHAPE	STL	STEEL
CERAMIC TILE	LAB	LABORATORY	STOR	STORAGE
CENTER	LAM	LAMINATE (ED)	STRUC	STRUCTURE
CUBIC	LAV	LAVATORY	STL	STAINLESS STEEL
	LB	POUND	STRUC	STRUCTURE (AL)
DOUBLE	LDSC	LANDSCAPE (ED, ING)	SUP	SUPPLY
DEMOLISH, DEMOLITION	LF	LEFT HAND	SUSP	SUSPEND (ED)
DEPARTMENT	LKR	LOCKER	T	TREAD
DETAIL	LL	LIVE LOAD	T/	TOP OF
DRINKING FOUNTAIN	LONG	LONGITUDINAL	T/S	TOP OF STEEL/SLAB
DIAMETER	LP	LOW POINT	T/W	TOP OF WALL
DIAGONAL	LVR	LOUVER	TAEC	THERMAL ACRYLIC ENAMEL COATING
DIFFUSER	MA	MACHINE	TB	TOWEL BAR
DIMENSION	MACH	MACHINE	T&G	TONGUE & GROOVE
DISPENSER	MAINT	MAINTAIN (ANCE)	TD	TRENCH DRAIN
DIVISION	MAS	MASONRY	TEL	TELEPHONE
DEAD LOAD	MATL	MATERIAL	TEMP	TEMPER (ED)
DOWN	MAX	MAXIMUM	TERR	TERRACE
DINING ROOM	MBH	MOP & BROOM HOLDER	THK	THICK (NESS)
DUAL NAPKIN DISPOSAL	MECH	MECHANICAL	THRU	THROUGH
DAMPPOOFING	MEMB	MEMBRANE	TOL	TOILET
DOOR	MEZZ	MEZZANINE	TOPO	TOPOGRAPHIC MAP
DRESSING ROOM	MFR	MANUFACTURE(ER)	TOC	TOP OF CURB
DRAINBOARD	MFT	MINERAL FISSURE TILE	TOS	TOP OF SLAB (STEEL)
DRAIN	MH	MANHOLE	TPD	TOILET PAPER DISPENSER
DOWNSPOUT	MIN	MINIMUM (MINUTE)	TRANS	TRANSVERSE (FER)
DRYWALL	MIR	MIRROR	TYP	TYPICAL
DRAWING	M/S	MIRROR WITH SHELF		
DRAWER	MISC	MISCELLANEOUS	VAL	VALLEY
DUMBWAITER	MOD	MODIFY (ED)	VAR	VARY (IES)
	MP	MIDPOINT	VAP BAR	VAPOR BARRIER
EAST	MR	MOISTURE RESISTANT	VCT	VINYL COMPOSITION TILE
EACH	MTD	MOUNTED	VERT	VERTICAL
ELECTRICAL DRINK FOUNTAIN	MUL	MULLION	VEST	VESTIBULE
EXTERIOR INSULATION FINISH SYSTEM	N	NORTH	VIF	VERIFY IN FIELD
EXPANSION JOINT	NA	NOT APPLICABLE	V PLAS	VENEER PLASTER
EXTERIOR	NAT	NATURAL	VOC	VERTICAL ON CENTER
ELEVATION	NEOP	NEOPRENE	VOL	VOLUME
ELEVATOR	NF	NO FINISH	VV	VINYL SHEET
ELEVATOR	NF	NO FINISH	VY	VINYL TILE
EMERGENCY	NM	NOT IN CONTRACT	VW	VIEW WINDOW
EMPLOY (ES)	NRC	NOISE REDUCTION COEFFICIENT	VWC	VINYL WALL COVERING
ENCLOSURE	NIS	NOT TO SCALE		
ENGINEER (ING)	OA	OVERALL (DIMENSION)		
ENGINEER (ENTRY)	OC	ON CENTER		
EDGE OF SLAB	OD	OVERFLOW DRAIN		
EPOXY	ODR	OVERHEAD		
ETHYLENE PROPYLENE DIENE MONOMER	OP	OPPOSITE		
EXTRUDED POLYSTYRENE	OPD	OPPOSITE HAND		
EQUAL	OPN	OPENING		
EQUIPMENT	OPP	OPPOSITE		
ESCAPE	OPS	OPEN TO STRUCTURE		
ESCALATOR	OZ	OUNCE		
ETCETERA				
ELECTRIC WATER COOLER				
EXCAVATION				
EXCLUDE (ED, ING)				
EXISTING				
EXPOSED				
EXPAND (ED, ING, SION)				
EXTERIOR				
EXTRUDE (ED)				

SYMBOLS LEGEND



MATERIALS LEGEND

EARTH	EIFS	ROUGH WOOD
SAND OR GROUT	PLYWOOD	WOOD BLOCKING / SHIM
LOOSE STONE OR GRAVEL	SEALANT & JOINT FILLER	FINISH WOOD
CAST IN PLACE CONCRETE	STONE	STEEL
ARCHITECTURAL PRECAST CONCRETE	FIRE SAFING	SPRAY ON FIREPROOFING
BRICK	BATT INSULATION	RIGID INSULATION
CONCRETE BLOCK	GLASS	DRYWALL
	COMPRESSIBLE FILLER OR EXPANSION JOINT	ACOUSTICAL TILE
		TILE

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**BASEMENT
PLAN**

100



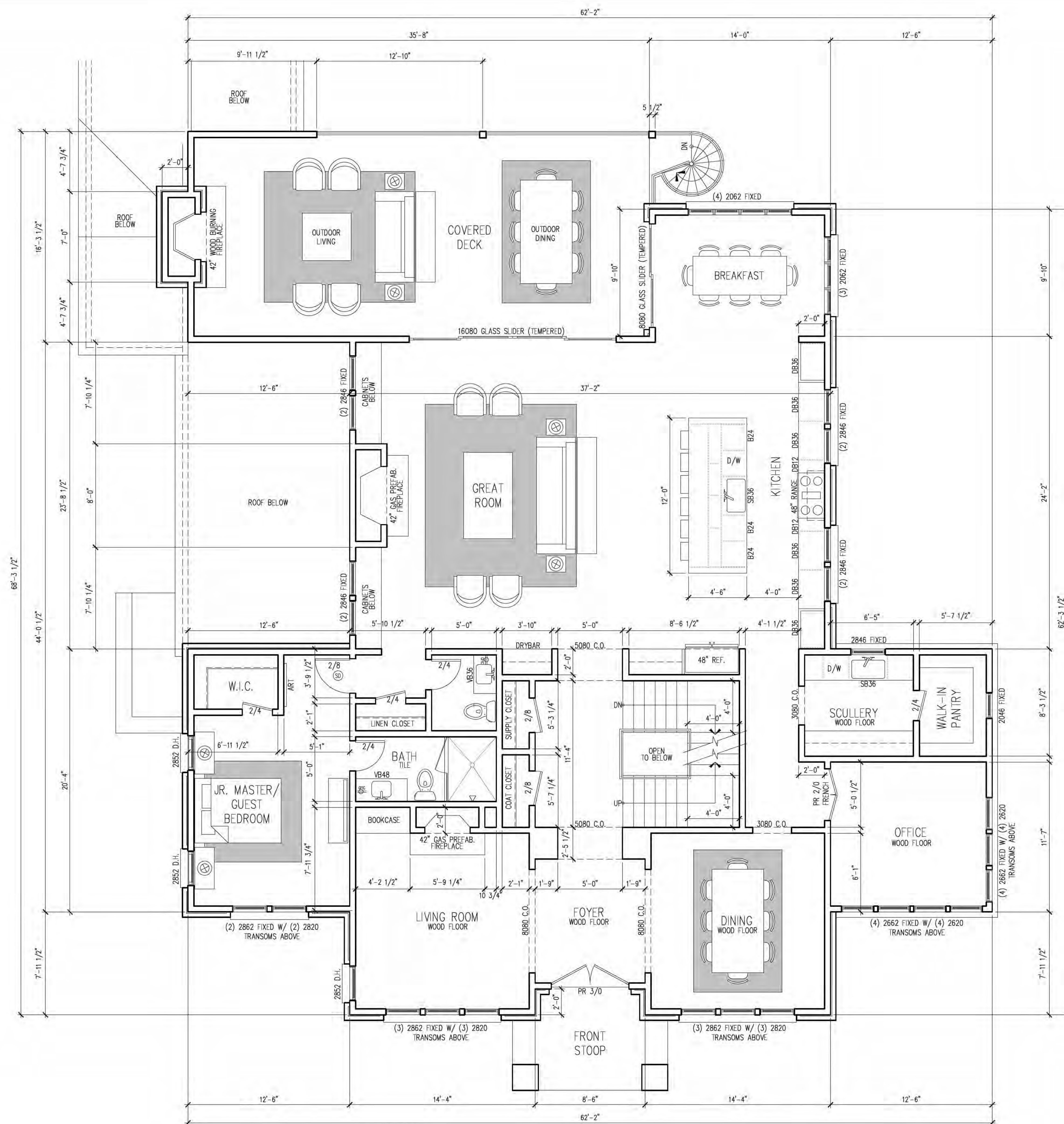
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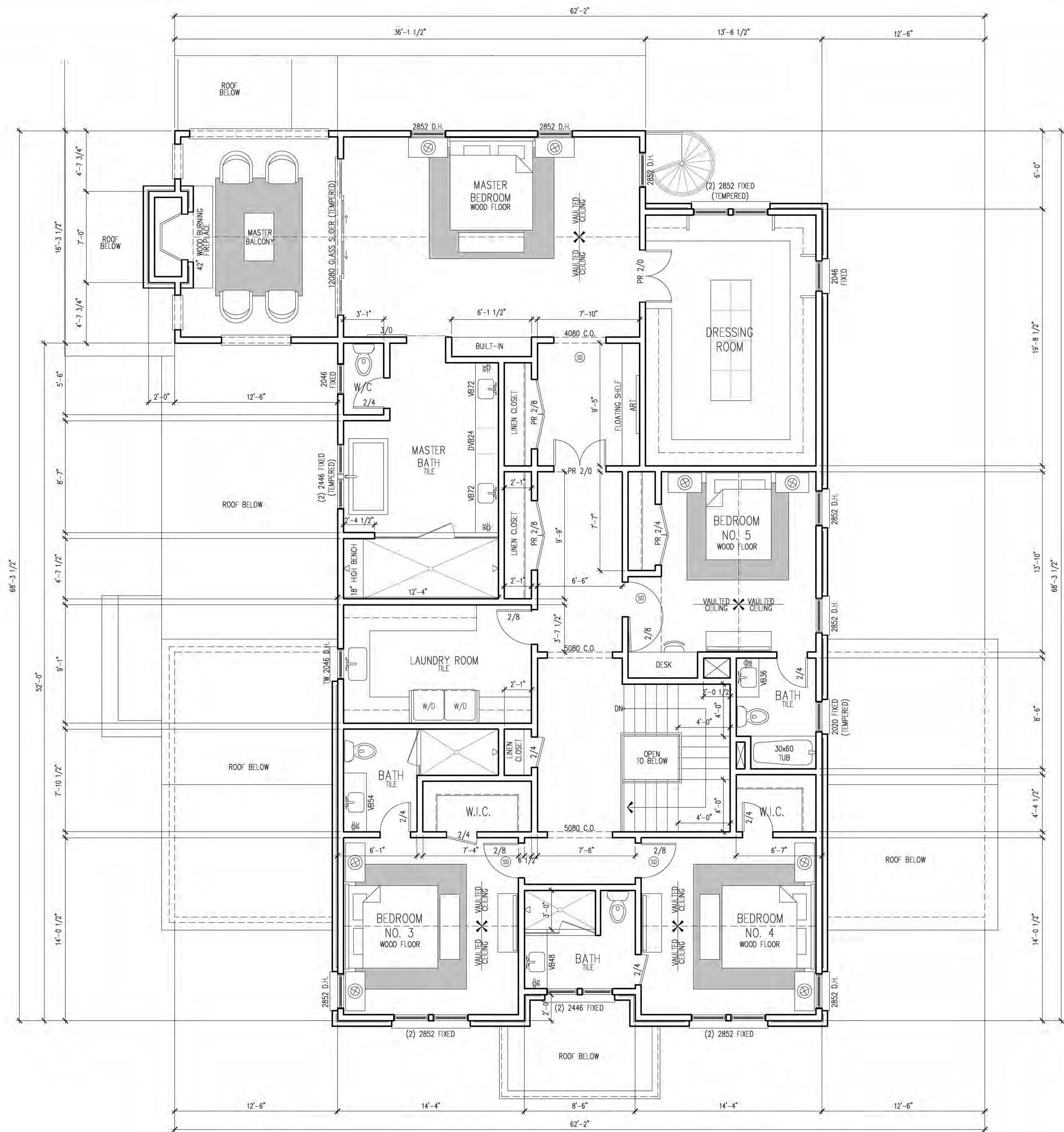
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A101

MAIN LEVEL FLOOR PLAN

1/4"=1'-0"



1 UPPER LEVEL FLOOR PLAN
A102 1/4"=1'-0"

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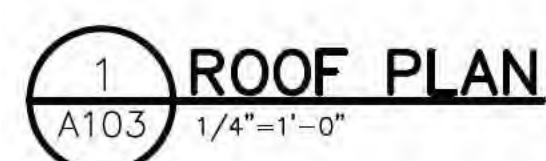
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A102

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1
A203
REAR ELEVATION
1/4"=1'-0"

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ELEVATION

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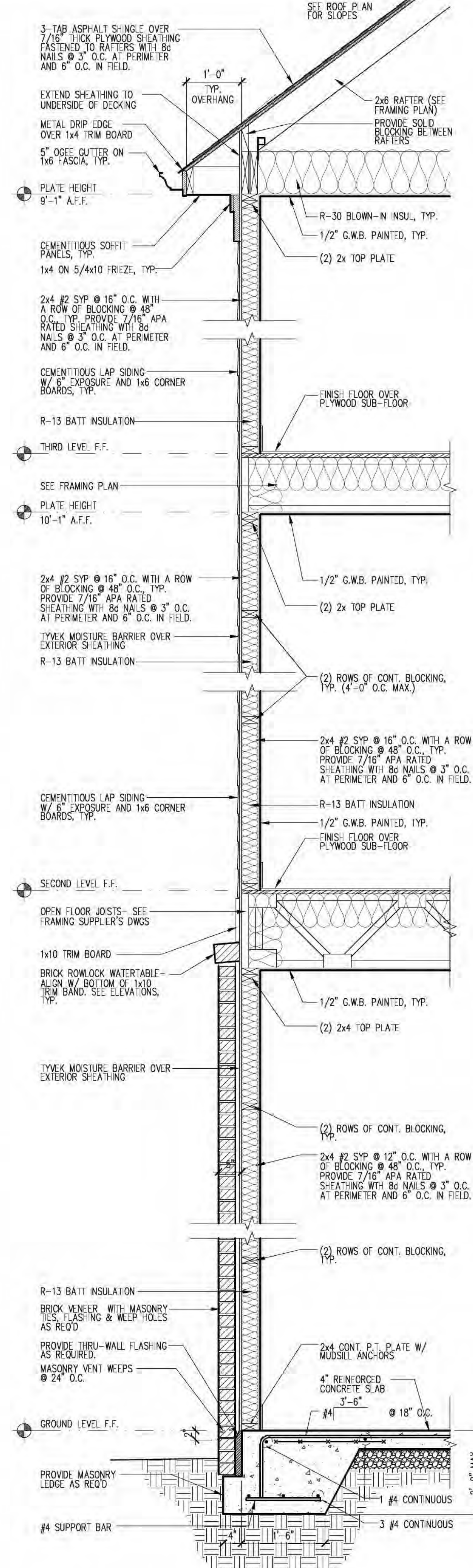
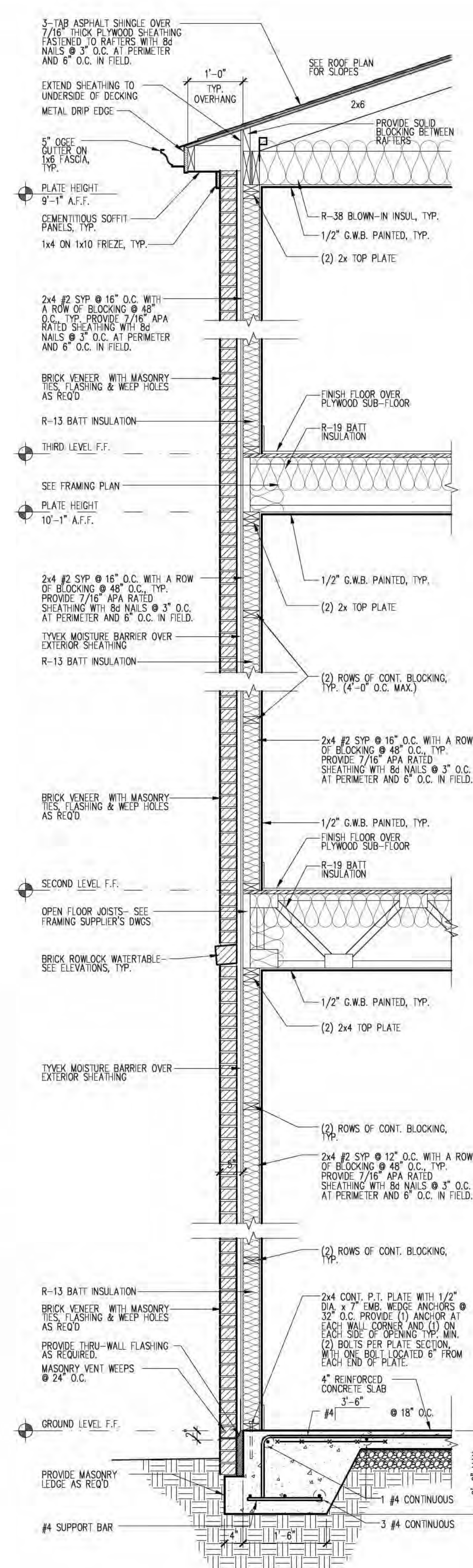
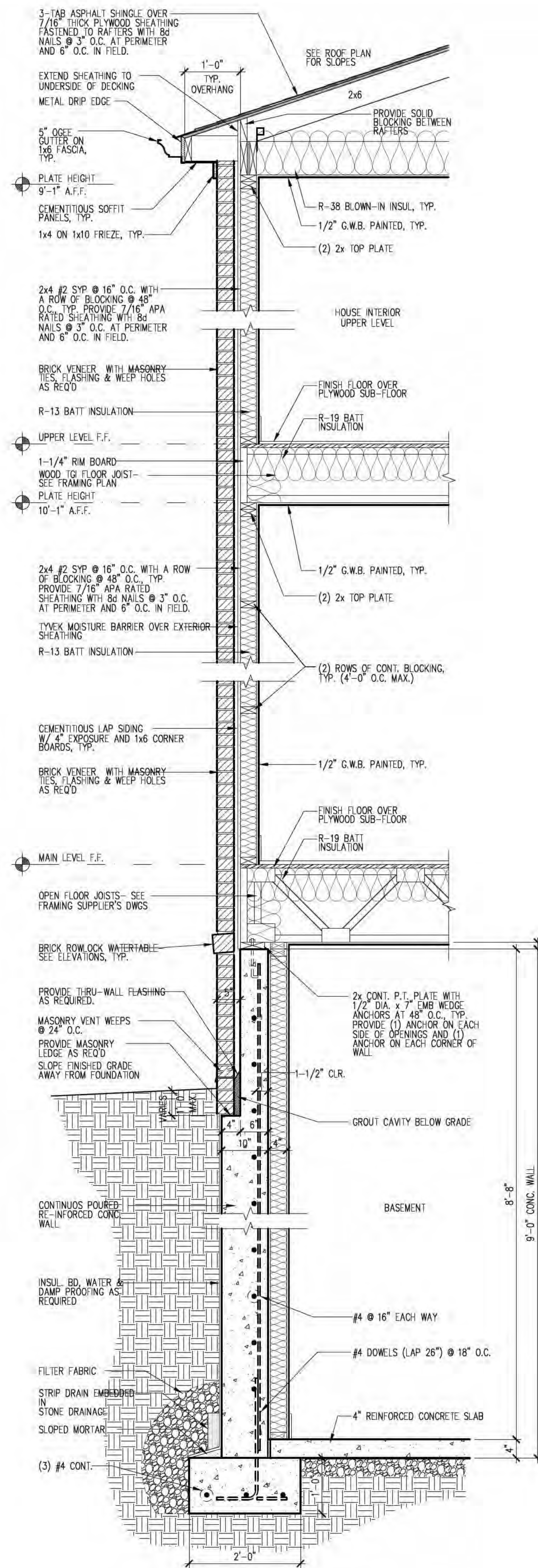
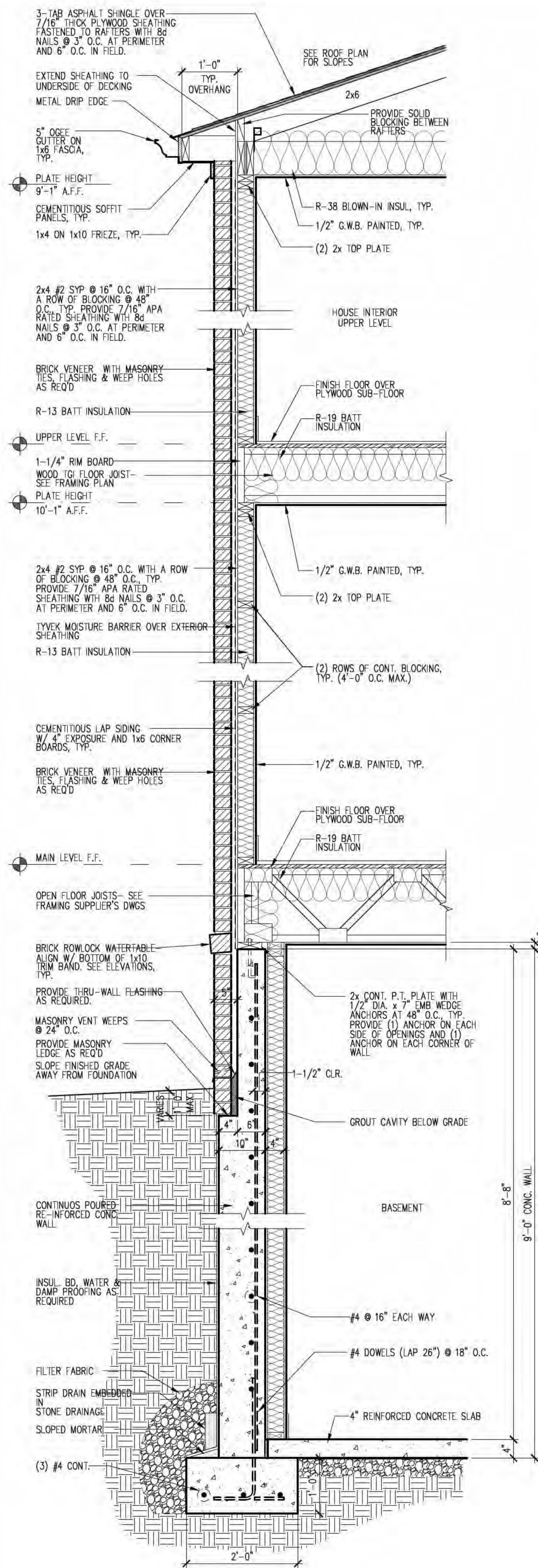
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A NEW CUSTOM HOUSE PROJECT
ATLANTA, GEORGIA

1035 OXFORD ROAD, A NEW CUSTOM HOUSE PROJECT, ATLANTA, GEORGIA. SHEET A301 OF 3. 11/15/2017. 10:00 AM. 1035 OXFORD ROAD, A NEW CUSTOM HOUSE PROJECT, ATLANTA, GEORGIA. SHEET A301 OF 3. 11/15/2017. 10:00 AM.

GOODMAN DESIGN
P.O. BOX 1296
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creating architecture for sustainable environments
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THESE
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& DETAILS
Scale:
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A301
of:



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Job No.:	
Revisions:	
No.	Date

1035 OXFORD ROAD
A NEW CUSTOM HOUSE PROJECT
ATLANTA, GEORGIA

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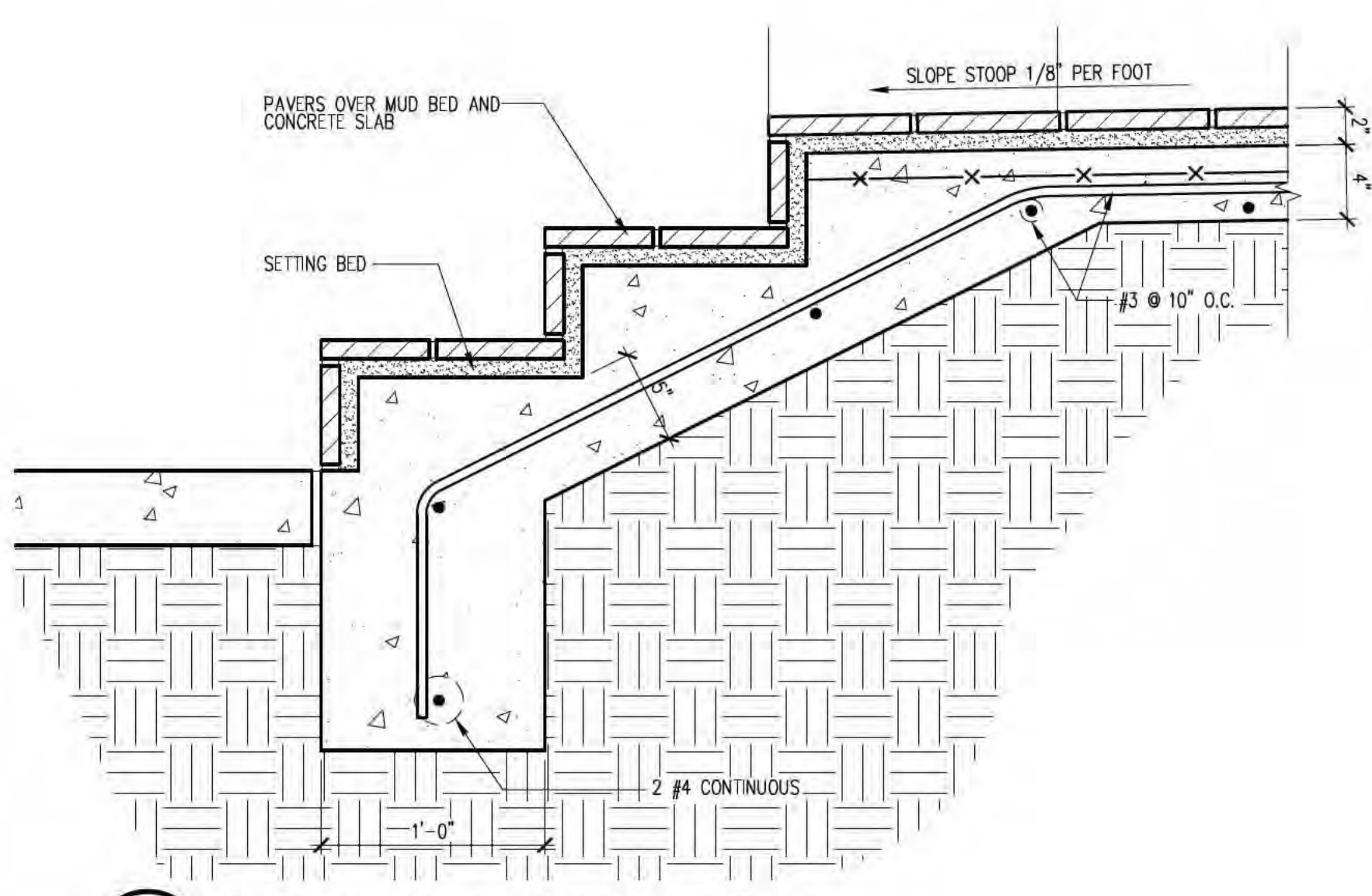
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Title:
**SECTIONS
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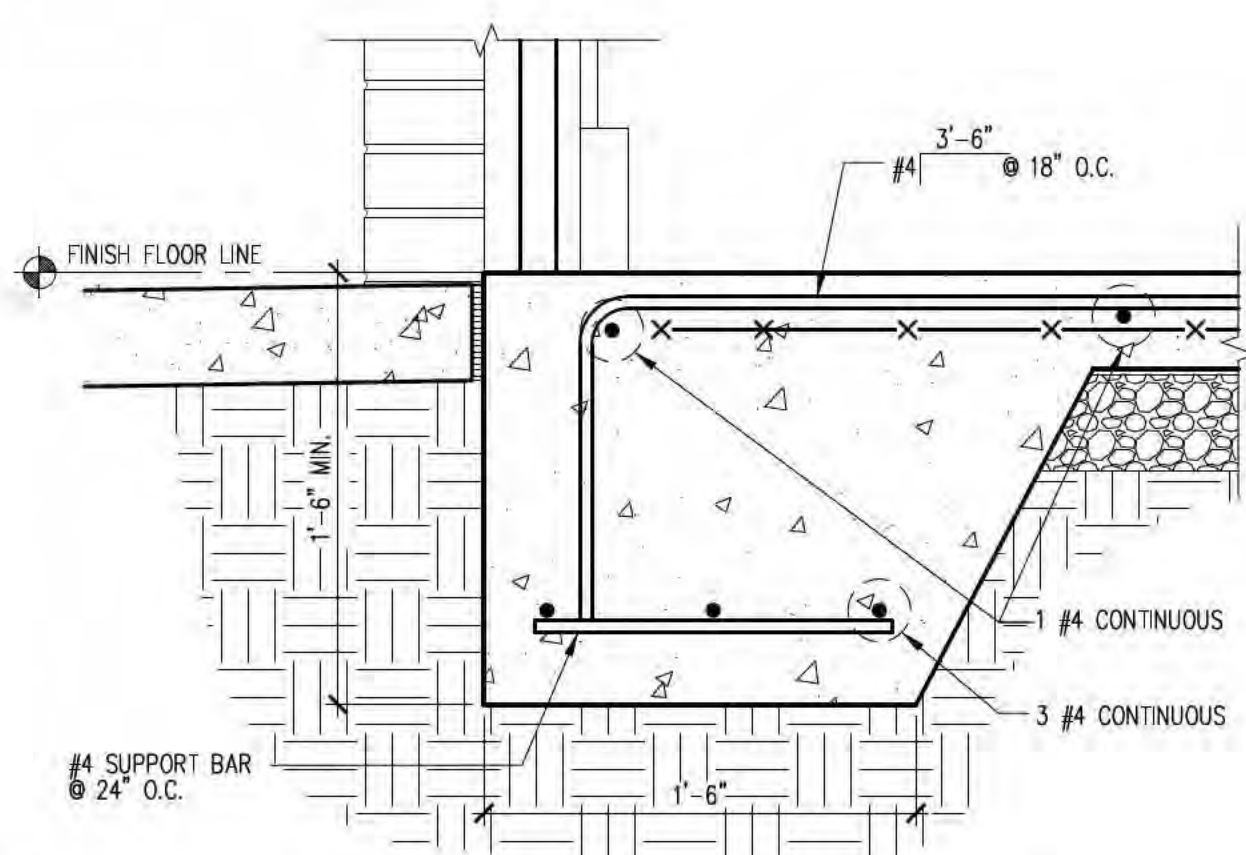
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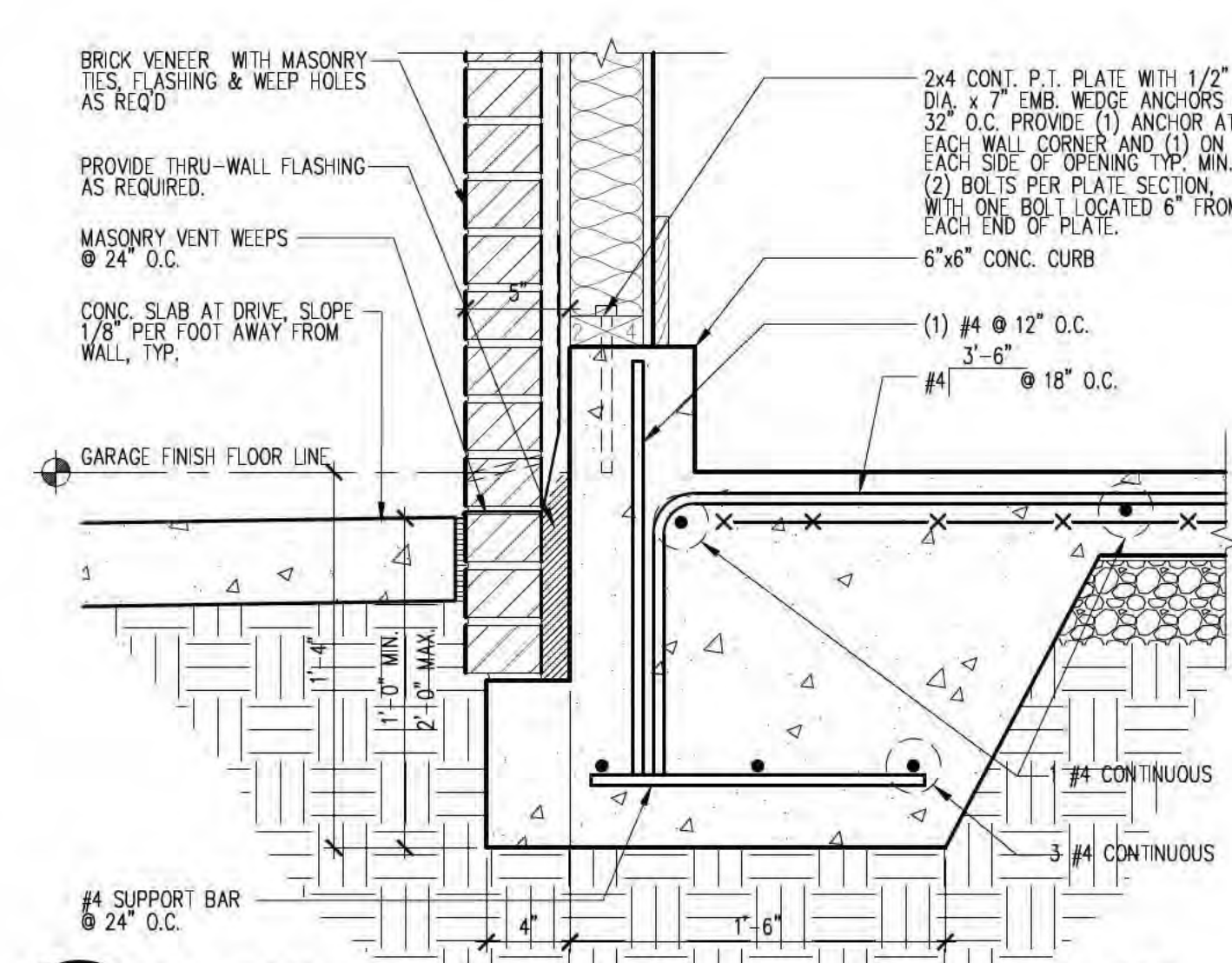
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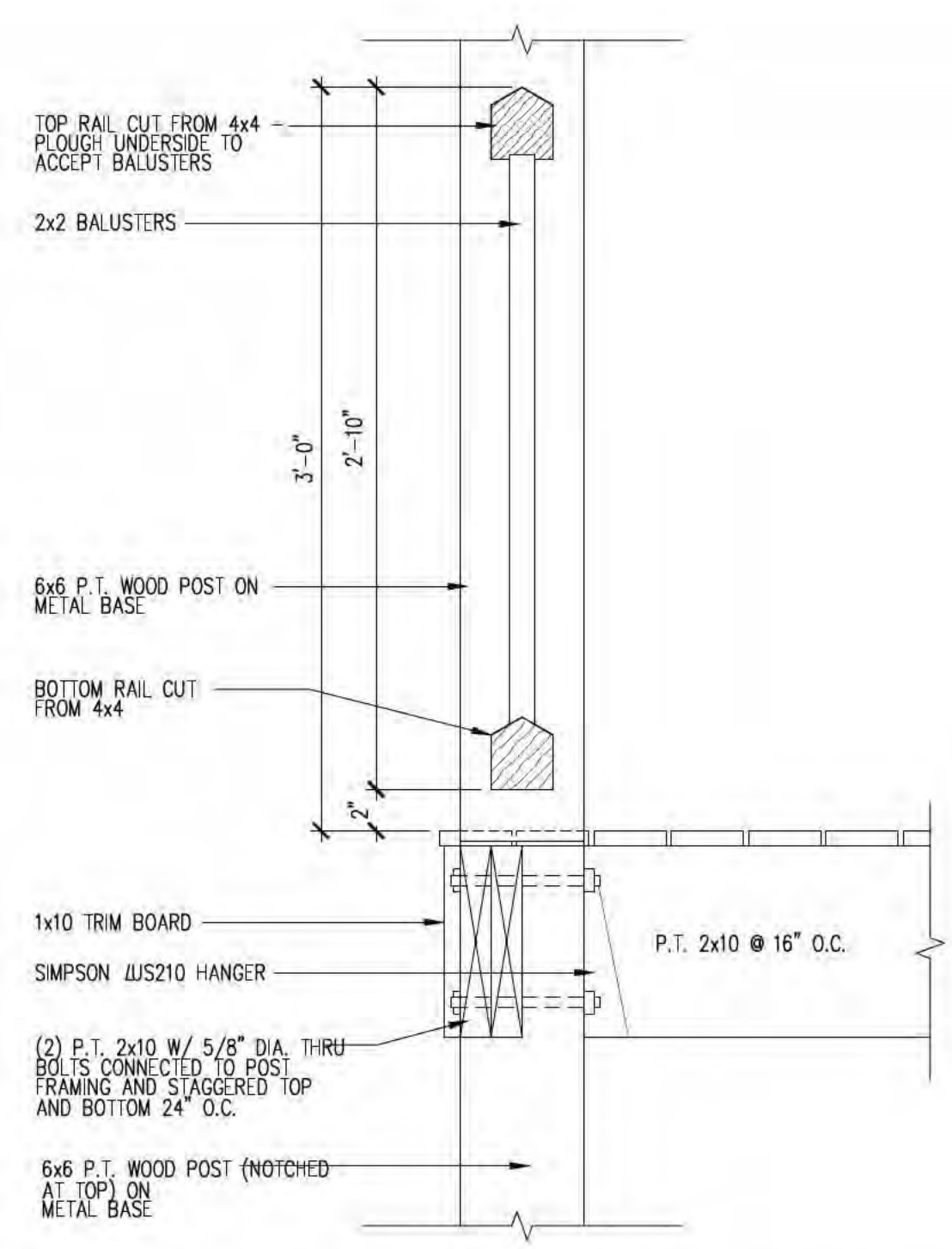
1
A302
DETAIL © PORCH STEPS
1-1/2"=1'-0"



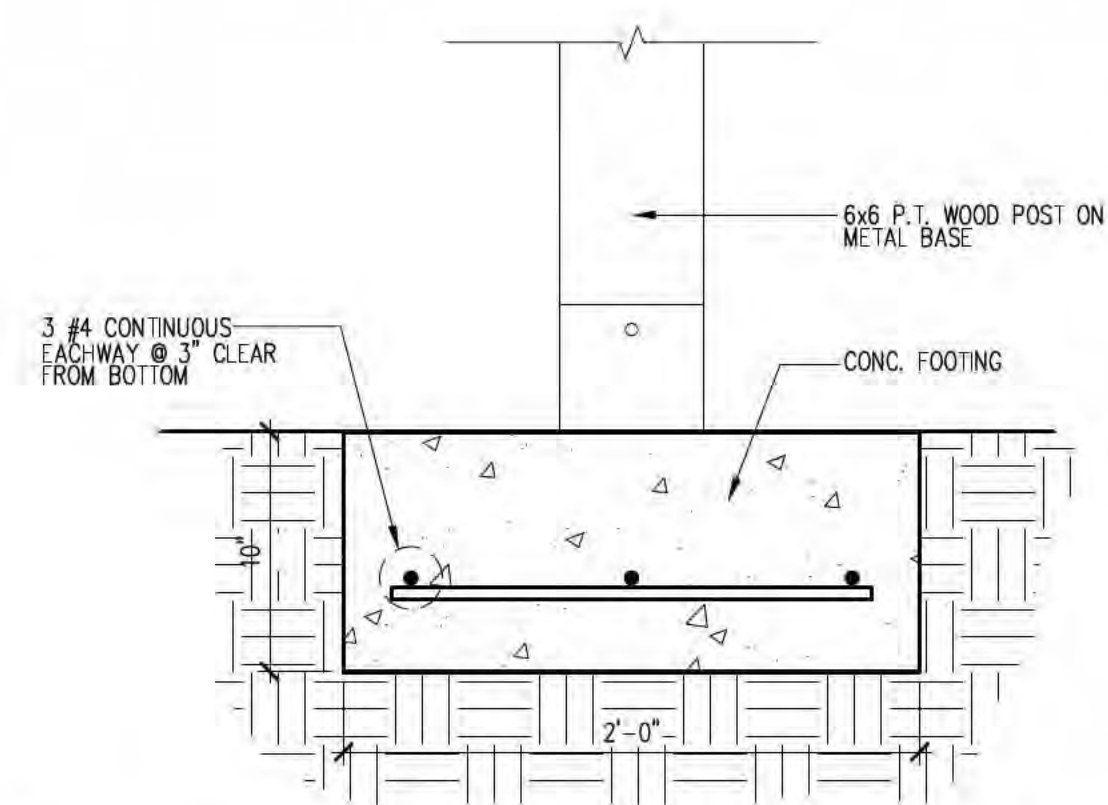
2
A302
DETAIL © GARAGE SLAB / CURB
1-1/2"=1'-0"



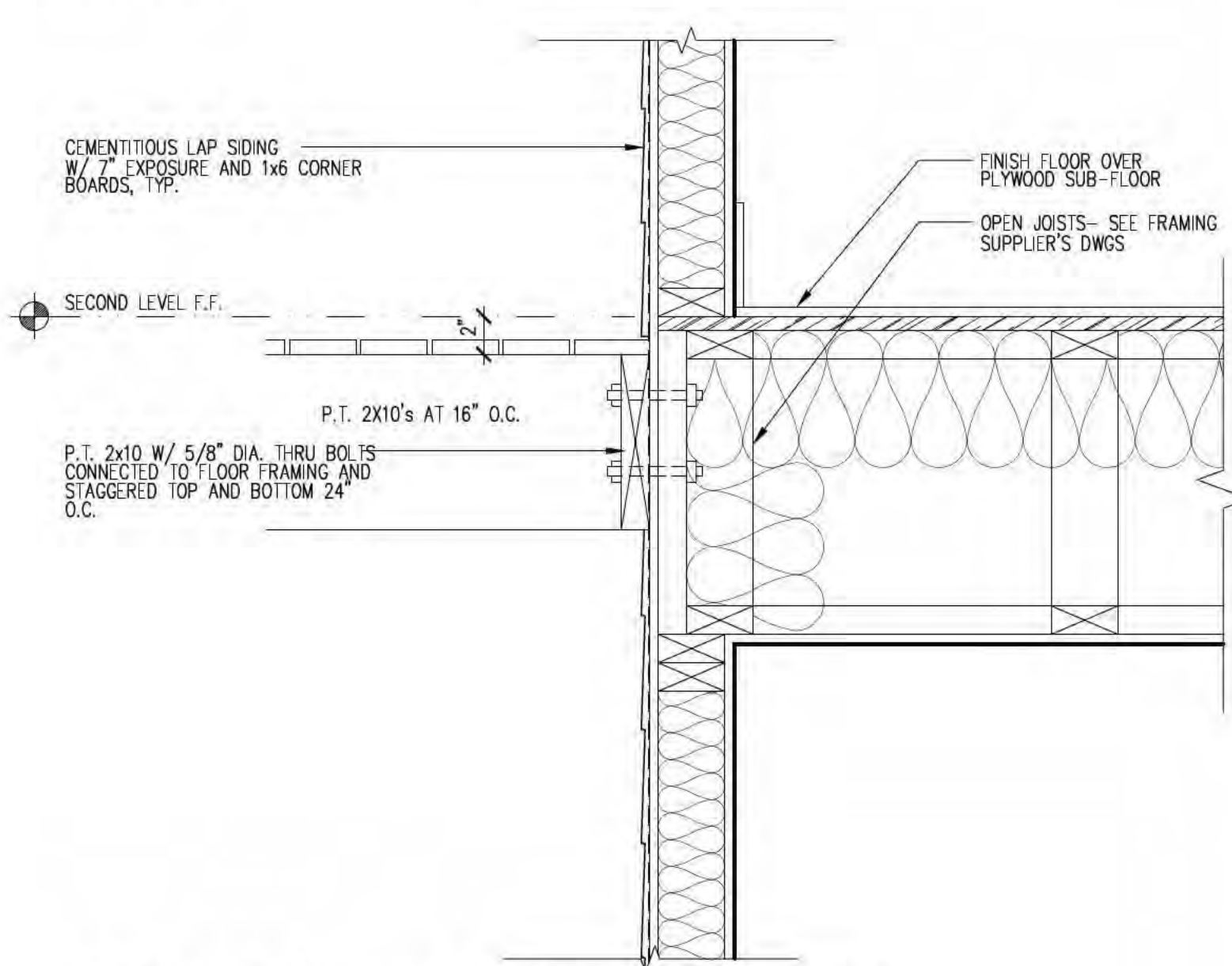
3
A302
DETAIL © GARAGE SLAB / DOOR SILL
1-1/2"=1'-0"



4
A302
DETAIL © DECK POST / RAILING
1-1/2"=1'-0"



5
A302
DETAIL © DECK POST FOUNDATION
1-1/2"=1'-0"



6
A302
DETAIL © DECK CONNECTION
1-1/2"=1'-0"

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER
THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA,
COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

ZONING INFORMATION

CLASSIFICATION: R-85
MINIMUM LOT WIDTH - 85 FEET
MINIMUM LOT AREA - 12,000 sf.
SETBACKS: FRONT - 35 FEET
 SIDE - 8.5 FEET
 REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

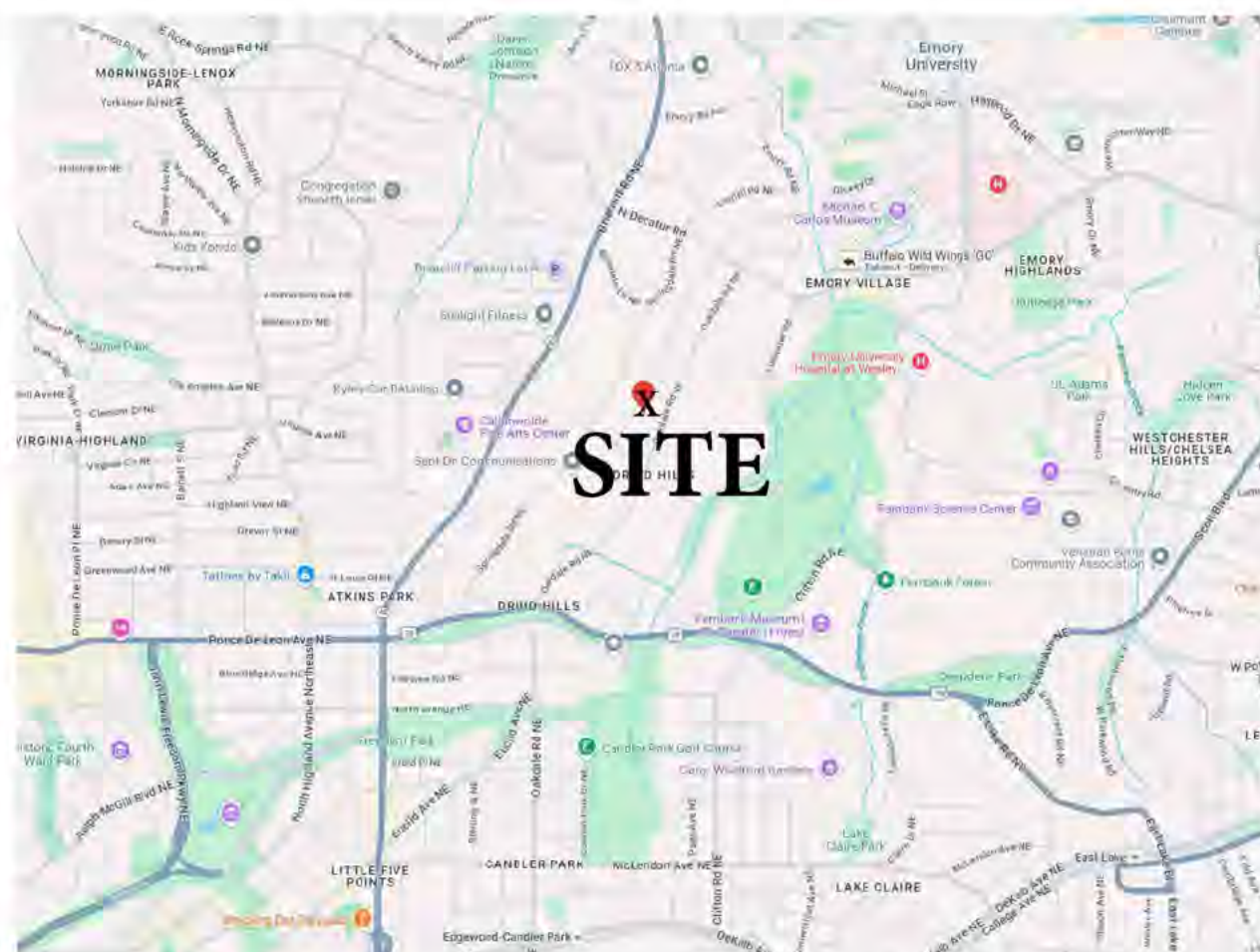
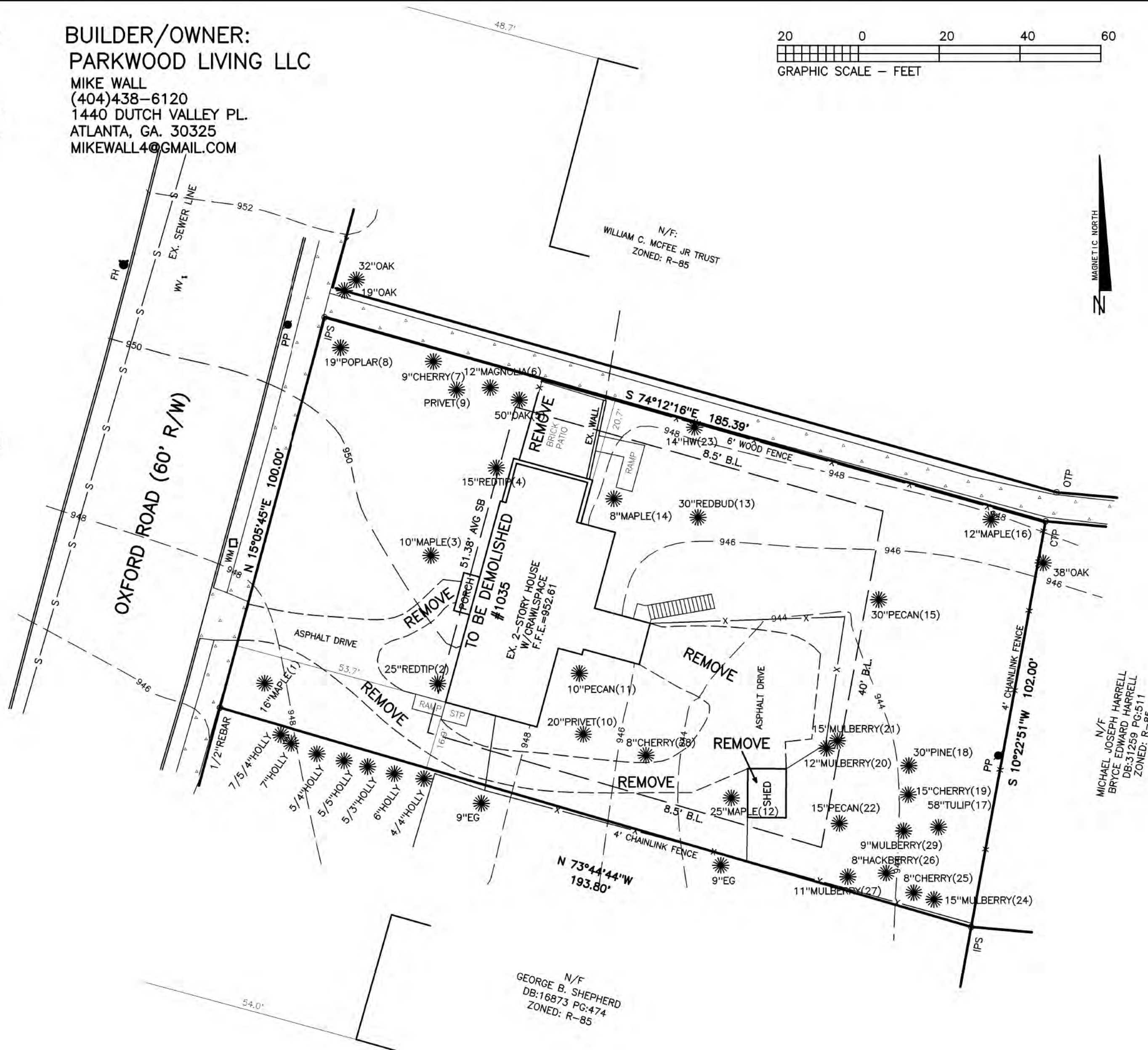
IPF = 1/2" REBAR FOUND
 IPS = 1/2" REBAR PIN SET
 L.L. = LAND LOT
 L.L.L. = LAND LOT LINE
 P.L. = PROPERTY LINE
 CL = CENTERLINE
 B.L. = BUILDING LINE
 R/W = RIGHT-OF-WAY
 S.S.E. = SANITARY SEWER EASEMENT
 D.E. = DRAINAGE EASEMENT
 MH = MANHOLE
 C.B. = CATCH BASIN
 J.B. = JUNCTION BOX
 HW = HEADWALL
 D.I. = DROP INLET
 PP = POWER/UTILITY POLE
 F.H. = FIRE HYDRANT
 I.E. = INVERT ELEVATION
 F.F.E. = FINISHED FLOOR ELEVATION
 F.F.B. = FINISHED FLOOR BASEMENT
 F.F.G. = FINISHED FLOOR GARAGE
 BOC = BACK OF CURB
 EP = EDGE OF PAVEMENT
 N/F = NOW OR FORMERLY
 P.O.B. = POINT OF BEGINNING
 —SS— = SANITARY SEWER LINE/PIPE
 —X-X-X— = FENCE LINE
 —O— = FLOOD HAZARD ZONE LINE
 ——— = STORM SEWER LINE/PIPE
 —W— = WATER LINE
 —G— = GAS LINE
 CM = CONCRETE MONUMENT
 C.E. = CONSTRUCTION EASEMENT
 C&G = CURB AND GUTTER
 LS = LIGHT STANDARD
 OTP = OPEN TOP PIPE FOUND
 CTP = CRIMP TOP PIPE FOUND

ALL EXISTING INFRASTRUCTURE TO BE
DEMOLISHED PER SEPARATE DEMOLITION
PLAN/PERMIT.

24 HR CONTACT:
MICHAEL WALL
(404)438-6120
MIKEWALL4@GMAIL.COM
PARKSIDE DEVELOPMENT
1440 DUTCH VALLEY PL.
ATLANTA, GA. 30325

BUILDER/OWNER:
PARKWOOD LIVING LLC
MIKE WALL
(404)438-6120
1440 DUTCH VALLEY PL.
ATLANTA, GA. 30325
MIKEWALL4@GMAIL.COM

LOT AREA:
19,110 sf.
0.438 ACRES



* - LOT IS PART OF DRUID HILLS SUBDIVISION;
RECORDED PLAT FOR ORIGINAL SUBDIVISION
COULD NOT BE FOUND.

PAGE 1 OF 4

EXISTING CONDITIONS FOR:

1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020

LOT: 54 BLOCK: 12B
SUB: DRUID HILLS
AREA = 0.438 ACRES
JOB No. 24412EX

GSWCC GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

ROBERT W. RICHARDSON

LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000089322

ISSUED: 10/11/2019 EXPIRES 10/11/2025

SIGNATURE **DATE**



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.686.4054 FAX: 770.686.4055

REVISION: 11/05/25

REF. PLAT: PB. * P

LAND LOT: 2
DISTRICT: 18TH
DEKALB COUNTY
GEORGIA
FIELD DATE: 09/05/24
PLAT DATE: 09/30/25

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

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MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

IPF = 1/2" REBAR FOUND
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C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
LS = LIGHT STANDARD
OTP = OPEN TOP PIPE FOUND
CTP = CRIMP TOP PIPE FOUND

TREE INVENTORY:

SAVED:	REMOVED:
1 - 16" MAPLE - 4.8	2 - 25" REDTIP
6 - 12" MAGNOLIA - 3.2	3 - 10" JAPANESE MAPLE
7 - 9" CHERRY - 2.4	4 - 15" REDTIP
8 - 19" POPLAR - 5.4	5 - 50" OAK-POOR HEALTH
17 - 58" POPLAR - 32.6%	9 - 7" PRIVET
	10 - 20" PRIVET
	11 - 10" PECAN
	12 - 25" MAPLE
	13 - 30" REDBUD-POOR HEALTH
	14 - 8" JAPANESE MAPLE
	15 - 30" PECAN
	16 - 12" MAPLE

GENERAL NOTES:

- 1) THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 2) EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 3) ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- 4) ALL LOTS/SITES WITH 2" OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- 5) LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 6) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- 7) ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 8) ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- 9) A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 10) A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 11) DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 12) WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- 13) ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S)
- 14) NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- 15) WORK HOURS AND CONSTRUCTION DELIVERIES ARE:

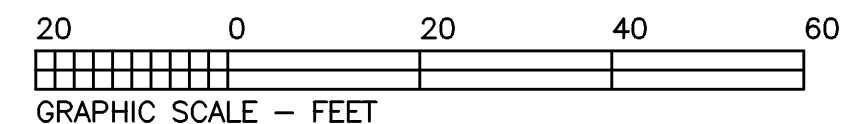
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

- 16) I ROBERT W. RICHARDSON CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

24 HR CONTACT:
MICHAEL WALL
(404)438-6120
MIKEWALL4@GMAIL.COM
PARKSIDE DEVELOPMENT
1440 DUTCH VALLEY PL
ATLANTA, GA. 30324

BUILDER/OWNER:
PARKWOOD LIVING LLC
MIKE WALL
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LOT AREA:
19,110 sf.
0.438 ACRES



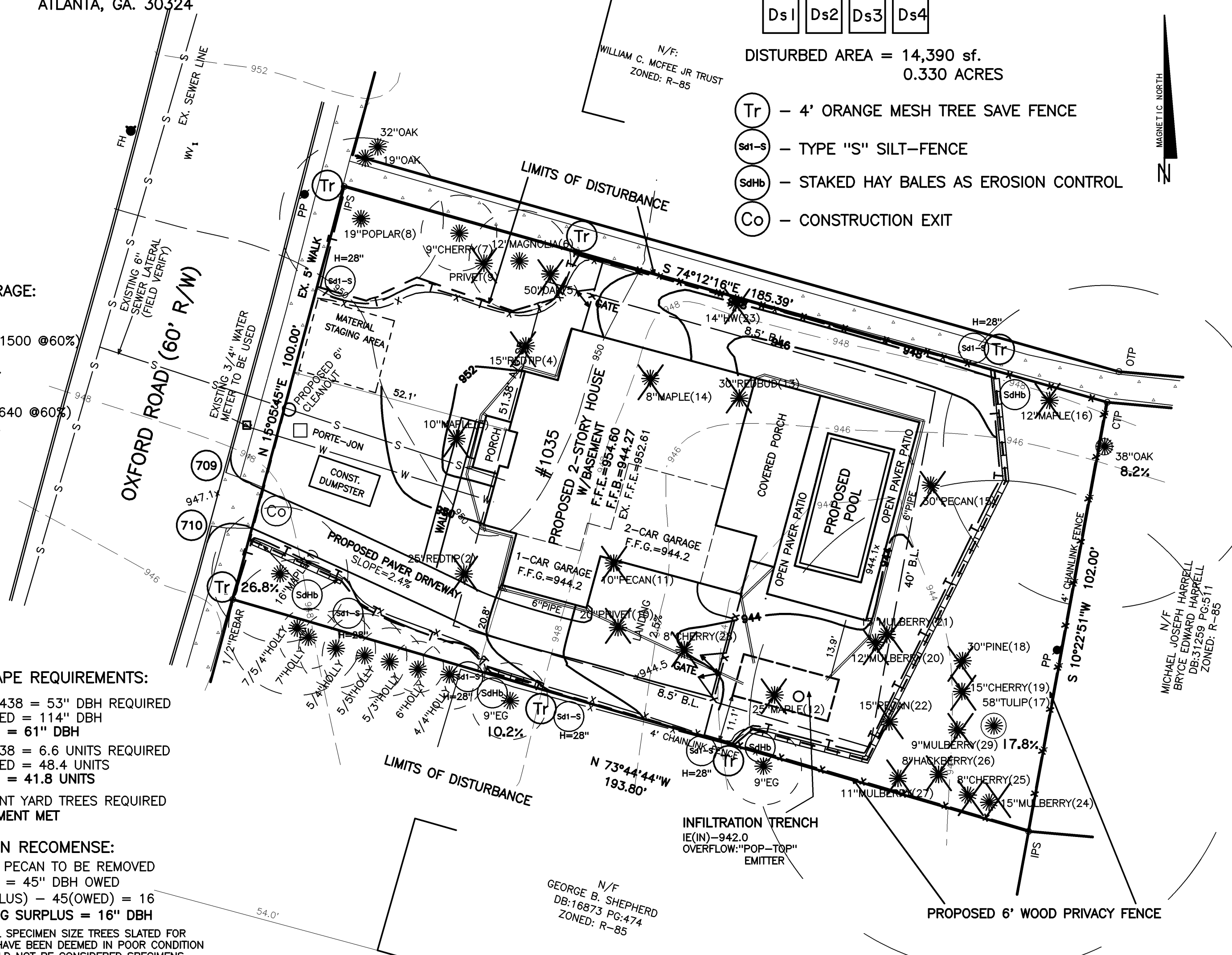
NO GRADED SLOPE SHALL EXCEED 3H:1V
ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 14,390 sf.
0.330 ACRES

- Tr - 4' ORANGE MESH TREE SAVE FENCE
Sd1-S - TYPE "S" SILT-FENCE
SdHb - STAKED HAY BALES AS EROSION CONTROL
Co - CONSTRUCTION EXIT

MAGNETIC NORTH
N



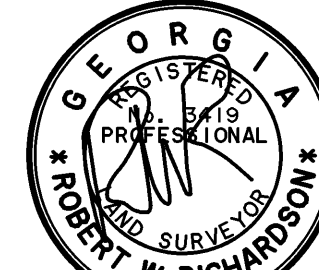
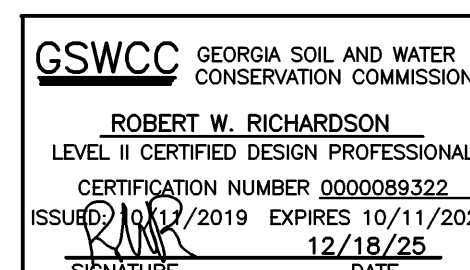
LANDSCAPE REQUIREMENTS:

120 x 0.438 = 53" DBH REQUIRED
PRESERVED = 114" DBH
SURPLUS = 61" DBH
15 x 0.438 = 6.6 UNITS REQUIRED
PRESERVED = 48.4 UNITS
SURPLUS = 41.8 UNITS
TWO FRONT YARD TREES REQUIRED
REQUIREMENT MET

SPECIMEN RECOMENSE:

ONE 30" PECAN TO BE REMOVED
30 x 1.5 = 45" DBH OWED
61(SURPLUS) - 45(OWED) = 16
REMAINING SURPLUS = 16" DBH
ADDITIONAL SPECIMEN SIZE TREES SLATED FOR
REMOVAL HAVE BEEN DEEMED IN POOR CONDITION
AND SHOULD NOT BE CONSIDERED SPECIMENS.

* LOT IS PART OF DRUID HILLS SUBDIVISION;
NO RECORD OF ORIGINAL SUBDIVISION PLAT
CAN BE FOUND.



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
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OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM
REVISION: 12/18/25
REF. PLAT: PB. * P.

PAGE 2 OF 4
POOL SITE PLAN FOR:
1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020
LAND LOT: 2
DISTRICT: 18TH
DEKALB COUNTY
GEORGIA
FIELD DATE: 09/05/24
PLAT DATE: 11/24/25
LOT: 54 BLOCK: 12B
SUB: DRUID HILLS
AREA = 0.438 ACRES
JOB No. 24412SPB

- INSTALLATION SPECIFICATIONS:
1. INSTALLATION, PRODUCT SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
 2. LOOSELY COMPACTED SOIL TO A MINIMUM DEPTH OF THREE (3) INCHES PRIOR TO APPLICATION.
 3. DRY STRAW OR HAY SHALL BE IN CLEAN CONDITION AND APPLIED BY HAND OR MACHINE TO A THICKNESS OF TWO (2) TO FOUR (4) INCHES. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.
 4. MULCH ON SLOPES GREATER THAN 3% SHOULD BE ANCHORED WITH EMULSIFIED ASPHALT OR OTHER SUITABLE TACKIFIER.
 5. ADDITIONAL MULCHING IS REQUIRED IF THE MINIMUM THICKNESS IS NOT ACHIEVED OR IF SOIL COVERAGE IS LESS THAN 90%.

Ds1 **DISTURBED AREA STABILIZATION WITH MULCHING**

- INSTALLATION SPECIFICATIONS:
1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
 2. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY TO ALLOW PROPER GERMINATION AND STABILIZATION.
 3. SOIL SURFACES MAY NEED TO BE TILLED, PITTED, OR OTHERWISE SCARIFIED TO ALLOW FOR PROPER SEED LODGING AND GERMINATION.
 4. APPLY LIME AT A RATE OF ONE TON PER ACRE AS NEEDED.
 5. APPLY 10-10-10 FERTILIZER TO SOILS WITH LOW FERTILITY AT A RATE OF 500 TO 700 POUNDS PER ACRE.
 6. SEEDS SHALL BE PLANTED AT A DEPTH OF TEN TIMES THE SEED DIAMETER.
 7. ACCEPTABLE PLANTING METHODS INCLUDE HYDRO-SEEDING, DRILLING, AND BROADCAST SPREADING BY MACHINE OR HAND.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BARLEY	144 LBS									X	X	X	X
ANNUAL LESPEDEZA	40 LBS	X	X	X	X								
WEEDING LOVEGRASS	4 LBS	X	X	X	X	X	X						
BROWNTOP MILLET	40 LBS					X	X	X	X				
OATS	128 LBS										X	X	X
RYE	168 LBS									X	X	X	X
ANNUAL RYEGRASS	40 LBS	X	X	X						X	X	X	X
SUDANGRASS	60 LBS		X	X	X	X	X	X					
WHEAT	180 LBS									X	X	X	X

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

Ds2 **DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING**

PLANTING SPECIFICATIONS:

1. INSTALLATION, SEED SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. PERMANENT VEGETATION SHALL INCLUDE GROUND PREPARATION, LIMING, FERTILIZING, SEEDING, AND MULCHING.
3. INTERIM EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL AT LEAST 70% OF THE EXPOSED SURFACE IS SUFFICIENTLY STABILIZED.
4. PREPARE THE LAND FOR SEEDING BY APPLYING LIME AND FERTILIZER AND DISKING THE SURFACE TO A MAXIMUM DEPTH OF FOUR (4) INCHES. FINISHED SURFACE SHALL BE SMOOTH, UNIFORM, AND FREE OF DEBRIS SUCH AS TRASH, ROCKS, ROOTS, AND WEEDS.
5. MULCH SHALL BE APPLIED UNIFORMLY WITHIN 24 HOURS OF SEEDING.
6. REFER TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR ADDITIONAL PLANTING SPECIFICATIONS AND ALTERNATIVE VEGETATIVE COVER SUCH AS TREES AND SHRUBS.

SPECIES	PLANTING RATES PER ACRE*	TYPICAL PLANTING MONTHS											
		J	F	M	A	M	J	J	A	S	O	N	D
BAHIA	60 LBS	X	X	X	X	X	X	X	X	X	X	X	X
BERMUDA (HULLED)	10 LBS	X	X	X	X	X							
BERMUDA (UNHULLED)	10 LBS	X	X							X	X	X	
TALL FESCUE	50 LBS			X	X				X	X	X	X	
WEEDING LOVEGRASS	4 LBS			X	X	X							
SERICEA LESPEDEZA	60 LBS	X	X	X	X	X							

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

LIME AND FERTILIZER APPLICATION:

1. GRADED AREAS REQUIRE LIME APPLICATION.
2. AGRICULTURAL LIME SHALL BE APPLIED AT A RATE OF ONE (1) TO TWO (2) TONS PER ACRE UNLESS SOIL TESTS SUGGEST OTHERWISE. REPEAT APPLICATION EVERY FIVE (5) YEARS OR AS NEEDED.

TYPE OF SPECIES	PLANTING YEAR	RECOMMENDED N-P-K	FERTILIZER RATE PER ACRE
COOL SEASON GRASSES	1	6-12-12	1500 LBS
	2	6-12-12	1000 LBS
	MAINTENANCE	10-10-10	400 LBS
COOL SEASON GRASSES AND LEGUMES	1	6-12-12	1500 LBS
	2	0-12-12	1000 LBS
	MAINTENANCE	0-10-10	400 LBS
WARM SEASON GRASSES	1	6-12-12	1500 LBS
	2	6-12-12	800 LBS
	MAINTENANCE	10-10-10	400 LBS
WARM SEASON GRASSES AND LEGUMES	1	6-12-12	1500 LBS
	2	0-10-10	1000 LBS
	MAINTENANCE	0-10-10	400 LBS

* PERMANENT SEEDING MAY BE SUBSTITUTED WITH SODDING (Ds4) AT THE DISCRETION OF THE PROPERTY OWNER AND LOCAL INSPECTOR.

Ds3 **DISTURBED AREA STABILIZATION WITH PERMANENT SEEDING**

Ds4

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project is desirable.
- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather, if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area.

Table 2. Sod Planting Requirements			
Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P P-C P-C P-C	Warm weather
Bahiagrass	Pensacola	P-C	Warm weather
Centipede	—	P-C	Warm weather
St. Augustine	Common Bitterblue Raleigh	C	Warm weather
Zoysia	Emerald Myer	P-C	Warm weather
Tall Fescue	Kentucky 31	M-L, P	Cool weather

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated

- Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.
- Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants.
- Mix fertilizer into soil surface. Fertilize based on soil tests or Table 1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.
- Agricultural lime should be applied based on soil tests or at a rate of 1-2 tons/acre.
- Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod.

Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type (lbs./acre)	Fertilizer Rate (lbs./sq.ft.)	Fertilizer Rate	Season
10-10-10	1000	.025	Fall

- On slopes steeper than 3:1, sod should be anchored with pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod and soil.
- Irrigate sod and soil to a depth of 4" immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.

- Fertilize grasses in accordance with soil tests or Table 3.

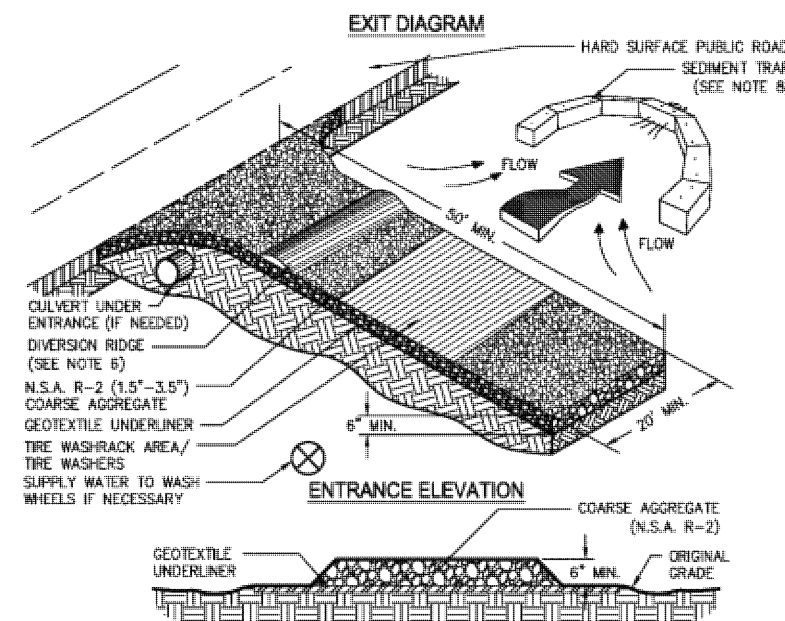
Table 3. Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	30
Warm season	First	6-12-12	1500	50-100
	Second	6-12-12	800	30

MAINTENANCE

The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



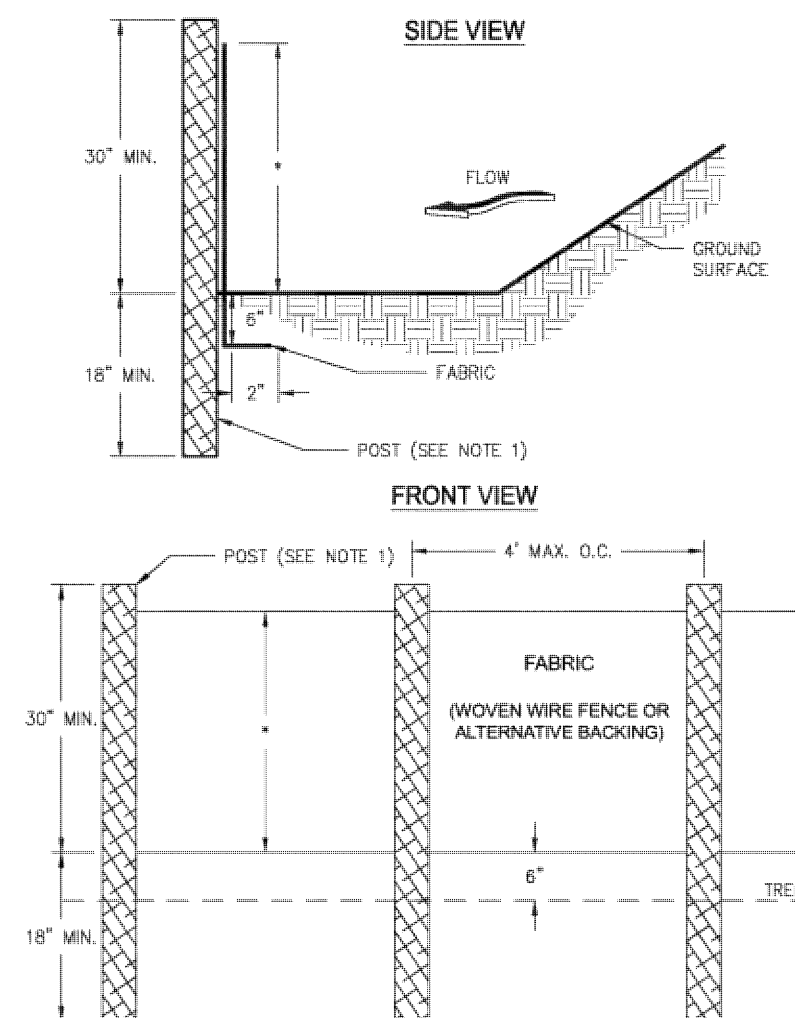
- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 8".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

GSWCC (Amended - 2013)

6-142

SILT FENCE Sd1-S (TYPE C)

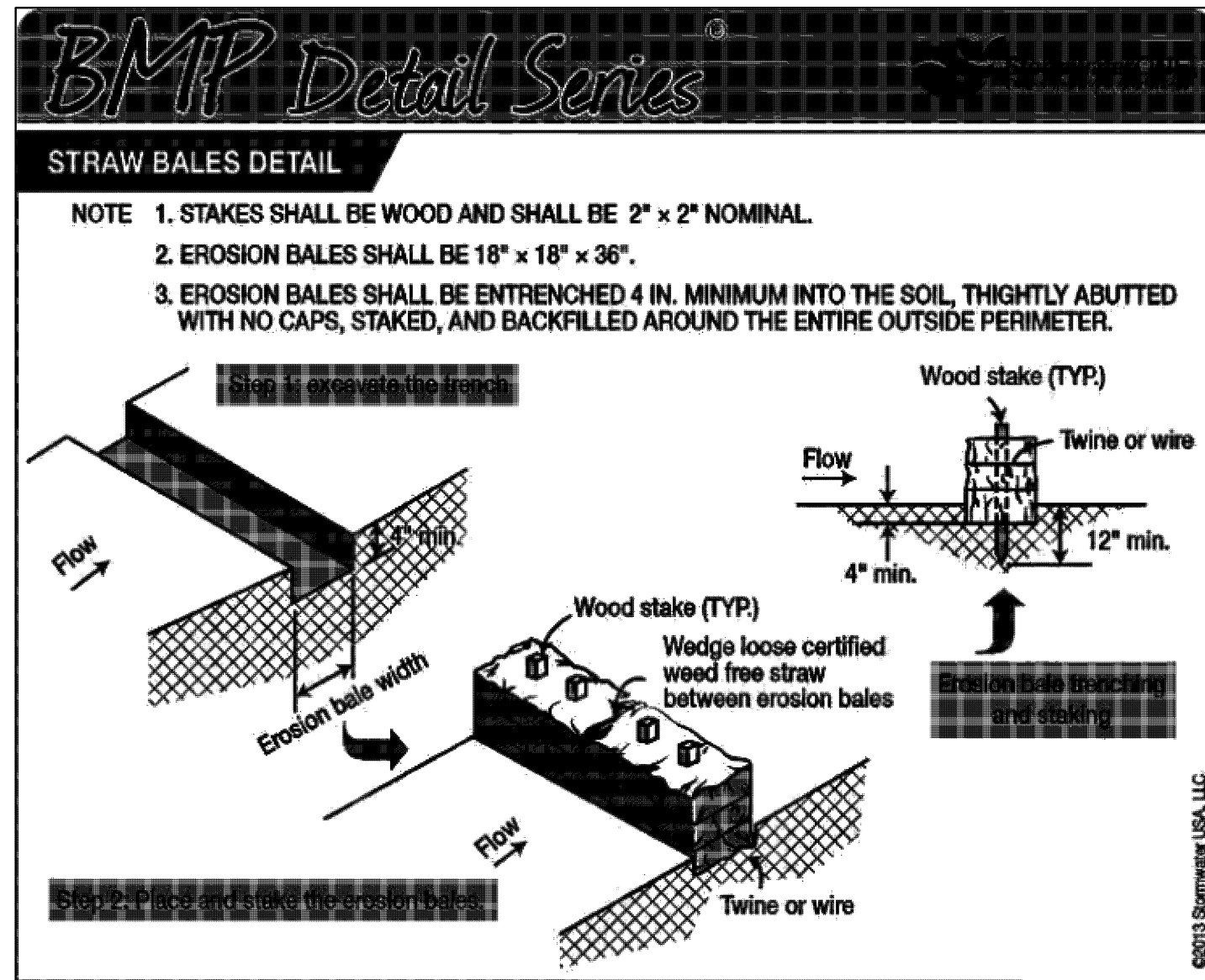


- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

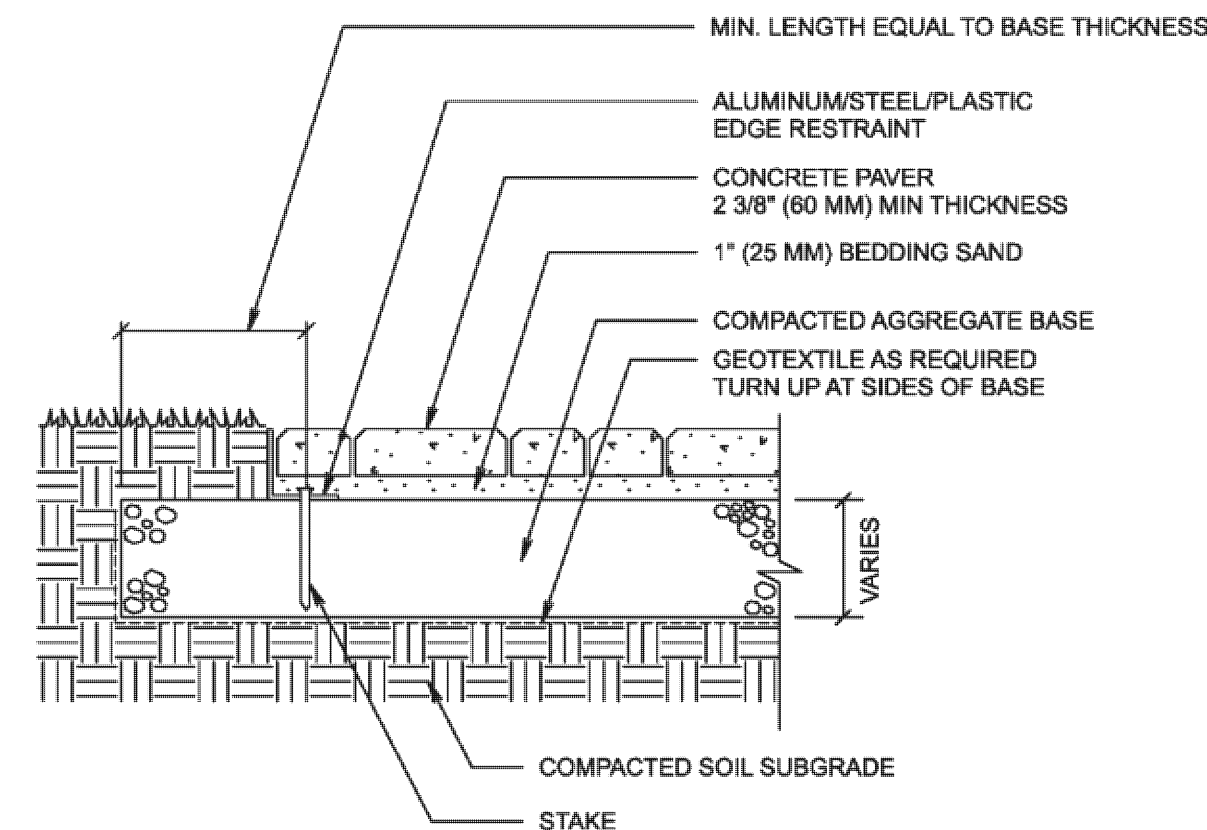
Figure 6-27.2

GSWCC 2016 Edition

6-142



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NOTE:
THICKNESS OF AGGREGATE BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COLDER CLIMATES MAY REQUIRE THICKER BASES.

BELGARD PAVERS

www.Belgard.com

PATIO/WALK/RESIDENTIAL DRIVEWAY W/
ALUMINUM / STEEL / PLASTIC EDGE

DRAWING NO. ICPI-53
SCALE F.S.

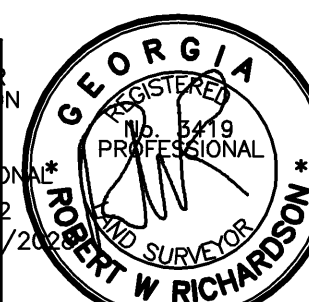
PAGE 3 OF 4

NOTES & DETAILS FOR:

1035 OXFORD ROAD
TAX PARCEL# 18 002 04 020

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/11/2019 EXPIRES 10/11/2029
SIGNATURE DATE



ALPHA LAND SERVICES

P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

REVISION: _____
REF. PLAT: PB. _____ P. _____

LAND LOT: 2
DISTRICT: 18TH
COUNTY: DEKALB
GEORGIA
FIELD DATE: 09/05/24
PLAT DATE: 09/30/25
LOT: 54 BLOCK: 12B
SUB: DRUID HILLS
AREA = 0.438 ACRES
JOB No. 24412S2

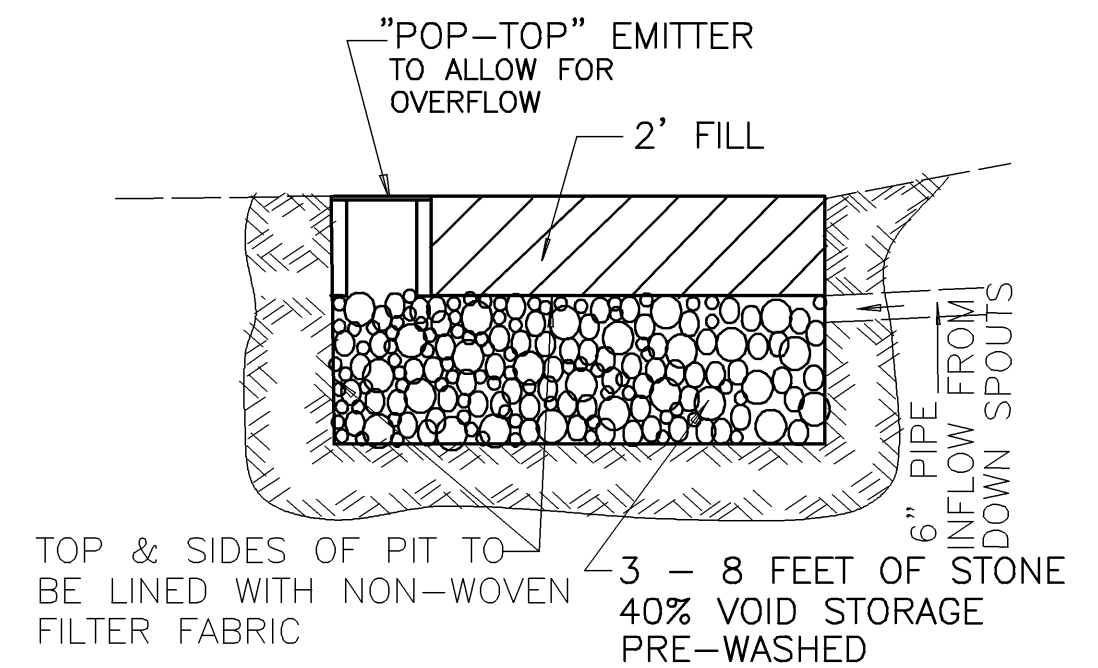


Notes:

- 1- See specifications for additional tree protection requirements.
- 2- If there is no existing irrigation, see specifications for watering requirements.
- 3- No pruning shall be performed except by approved arborist.
- 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
- 5- See site preparation plan for any modifications with the Tree Protection area.

- Tree Protection fence: minimum height 5' chainlink or barred fencing. All panels bound, no gaps, stabilized at base.
- Metal Fence.
- 2" thick layer of mulch.
- Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.
- Haybales staked in against fence.

URBAN TREE FOUNDATION © 2014
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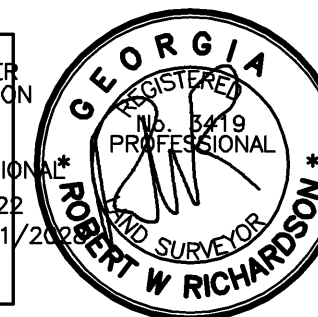
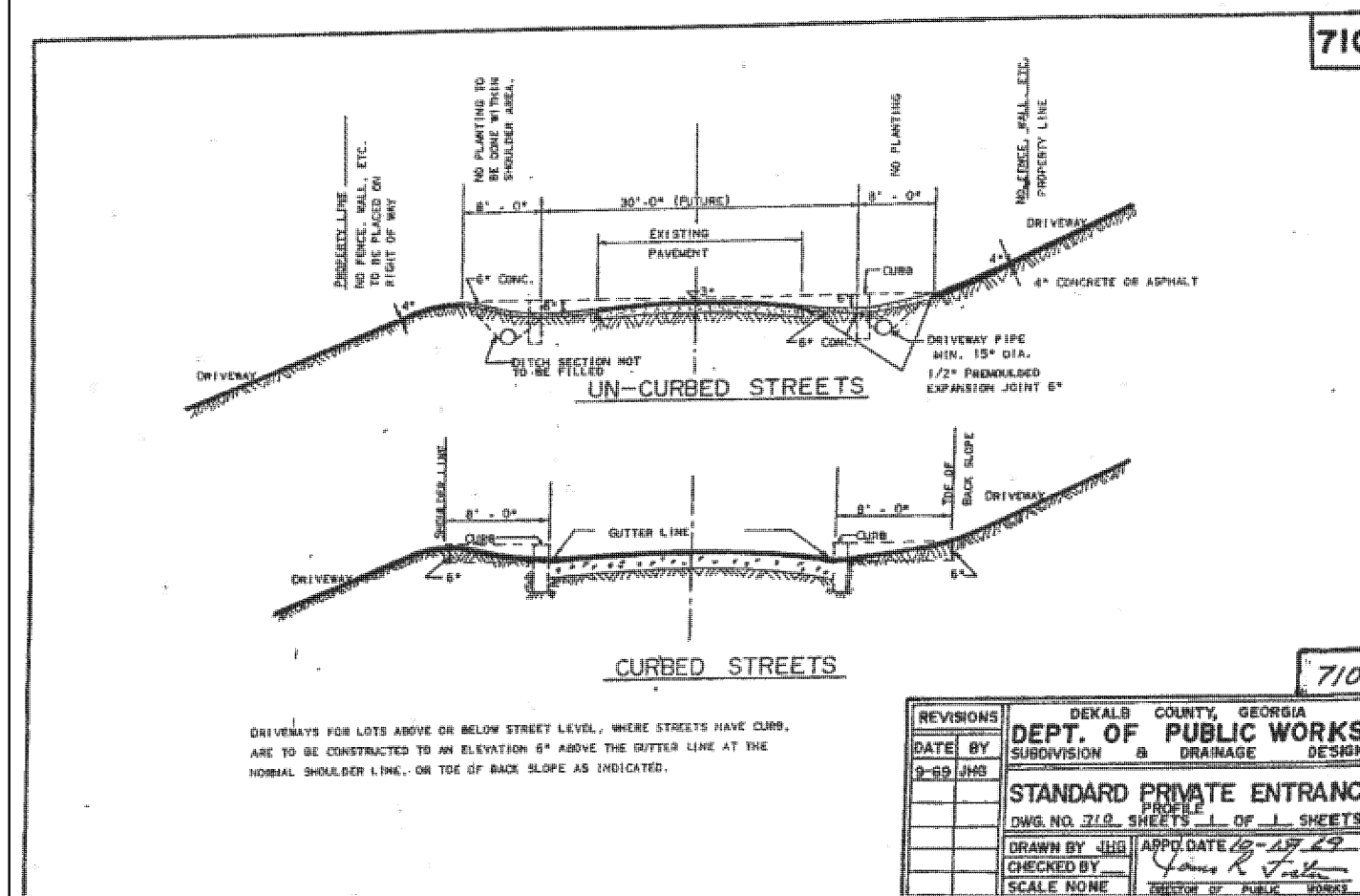


GRAVEL TRENCH : N.T.S.

2.) DOWN SPOUTS SHALL NOT BE DISCHARGE
CLOSER THAN 5' FROM FOUNDATION



SCALE: 3/4" = 1'-0"



From: [REDACTED]
To: [Paige V. Jennings](#); [REDACTED]
Cc: [REDACTED]
Subject: Re: 1035 Oxford Road - HPC
Date: Tuesday, January 13, 2026 3:28:07 PM
Attachments: [image001.png](#)
[24412SPB \(2\) \(1\).pdf](#)

Hey Paige, hope all is well and Happy New Year! Since we removed that flex room, all we are submitting for in this application is the pool and the wood privacy fence. Here is the site plan with the proposed pool and fence. I assume we no longer need to show the house for the meeting, as we have already permitted that and have started. Please let me know if you think we need anything else for this. Thanks!

Mike Wall
404-438-6120

On Tue, Jan 13, 2026 at 2:31 PM Paige V. Jennings <pvjennings@dekalbcountyga.gov> wrote:

Good Afternoon,

Hope that everyone is doing well and had a wonderful holiday season!

We are preparing our staff reports for next week's HPC meeting, and I wanted to check in on if there will be any additional documents submitted for review. Please let me know and send over the documents as soon as possible, so that we can have our staff reports completed before the end of the day tomorrow.

Thank You,

Paige

Paige V. Jennings (they/them)

Senior Planner, Historic Preservation

DeKalb County Government | Department of Planning & Sustainability

Current Planning | Zoning Division

Government Services Center | 178 Sams Street | Decatur, GA 30030

Email: pvjennings@dekalbcountyga.gov