



Lorraine Cochran-Johnson

Chief Executive Officer

## DeKalb County Zoning Board of Appeals

Department of Planning & Sustainability

178 Sams Street,  
Decatur, GA 30030

Wednesday September 10, 2025



Juliana Njoku

Interim Director

### Planning Department Staff Analysis

N4. Case No: A-25-1247703

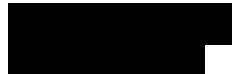
Parcel ID(s): 18 206 01 034

#### Commission District 02 Super District 06

Applicant: Todd Shoemaker



Owner: John Holbrook



Project Name: 2552 Echo Drive NE – Home Addition

Location: 2522 Echo Drive, Atlanta, GA 30345

Requests: variance from Section 27-5.4.7 of the DeKalb County Zoning Ordinance to reduce setback for retaining wall to 0' in R-100 (Residential Medium Lot) zoning district

**Staff Recommendation:** Withdrawal without Prejudice



DeKalb County  
GEORGIA

Chief Executive Officer  
Michael Thurmond

## DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director  
Cedric Hudson

Development Services Center  
178 Sams Street  
Decatur, GA 30030  
[www.dekalbcountyga.gov/planning](http://www.dekalbcountyga.gov/planning)  
404-371-2155 (o); 404-371-4556 (f)

### ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or

Authorized Representative: **Todd Shoemaker**

Mailing Address: **1410 Bell Valley Dr., Suite 200**

City/State/Zip Code: **[REDACTED]**

Email: **[REDACTED]**

Telephone: **[REDACTED]**

Business: **[REDACTED]**

#### OWNER OF RECORD OF SUBJECT PROPERTY

Owner: **John Holbrook**

Address (Mailing): **2522 Echo Dr NE, Atlanta, GA 30345**

Email: **[REDACTED]**

Business: **[REDACTED]**

#### ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: **2522 Echo Dr NE** City: **Atlanta** State: **GA** Zip: **30345**

District(s): **5** Land Lot(s): **3** Block: **C** Parcel: **17-0232-LL-065-8**

Zoning Classification: **R-100** Commission District & Super District: **Dis 2 & Sup 6**

#### CHECK TYPE OF HEARING REQUESTED:

VARIANCE (From Development Standards causing undue hardship upon owners of property.)

SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)

OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

**\*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW  
GUIDELINES MAY RESULT IN SCHEDULING DELAYS.\***

Email [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) with any questions.

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

**ZONING BOARD OF APPEALS APPLICATION**

**AUTHORIZATION OF THE PROPERTY OWNER**

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 3/12/25

Applicant \_\_\_\_\_  
Signature: 

DATE: \_\_\_\_\_

Applicant \_\_\_\_\_  
Signature: \_\_\_\_\_

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

**ZONING BOARD OF APPEALS APPLICATION**

**AUTHORIZATION TO REPRESENT THE PROPERTY OWNER**

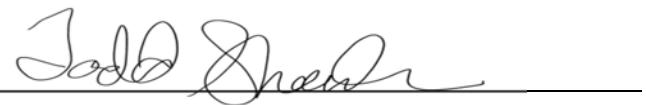
I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 3/12/25

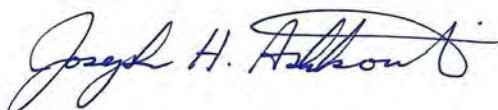
Applicant/Agent \_\_\_\_\_  
Signature: \_\_\_\_\_



TO WHOM IT MAY CONCERN:

(I)/ (WE): John Holbrook  
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.



Notary Public



Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature



JOSEPH H. ASHKOUTI  
NOTARY PUBLIC  
DEKALB COUNTY  
COMMISSION # W-00596475  
STATE OF GEORGIA  
My Comm. Expires April 26, 2027

# CERTIFICATE *of* SIGNATURE

REF. NUMBER  
UD38D-HTFUW-SMVD3-BEUXK

DOCUMENT COMPLETED BY ALL PARTIES ON  
13 MAR 2025 12:57:54 UTC

## SIGNER

### JOHN HOLBROOK

EMAIL  
JOHNFHOLBROOK@GMAIL.COM

## TIMESTAMP

SENT  
13 MAR 2025 03:51:59 UTC  
VIEWED  
13 MAR 2025 12:57:22 UTC  
SIGNED  
13 MAR 2025 12:57:54 UTC

## SIGNATURE



IP ADDRESS  
99.159.31.254  
LOCATION  
ATLANTA, UNITED STATES

## RECIPIENT VERIFICATION

EMAIL VERIFIED  
13 MAR 2025 12:57:22 UTC



## LETTER OF INTENT

2522 Echo Dr NE, Atlanta, GA 30345

1. 2522 Echo Dr NE is a unique lot with extraordinary or exceptional physical condition(s) which was not created by the current owner, previous owner, or applicant; this is lot with contour and grade that does not allow for normal expected use due to the grade. The situation due to the grade and space in which to put the pool for the owner to enjoy is very limited. We are asking for an encroachment to the side setback so they can enjoy the land to have a backyard with a pool. This wall is an addition to an existing home. Due to the topography between the two houses, there is a need for a retaining wall to keep the land on the west side of the property from erosion onto and into the neighbor's house to stabilize the land and stop the erosion. The neighbor that shares this property line is extremely supportive and is in favor of this happening. The retaining wall between the neighbors will require variance due to the amount the wall encroaches into the set back of 8' of the 10', but this is necessary to keep the integrity of the land & for stabilization. The owner who shares the property line approves of this action and is very happy and a letter will be provided. The retaining wall in the stream buffer is needed to stabilize the land from the building of the pool out of the buffer and for more enjoyment of the backyard and will stabilize the current erosion in the buffer. If this variance is not approved the land will erode into the neighbor's land and continue to cause issues. Under the current zoning ordinance this lot deprives the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner. There is no other location for the owners to enjoy their property and construct a pool except in the location evidenced on the site plan in this application.
2. The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.
3. The grant of the variance will not be materially detrimental to the public welfare or injury to the property or improvements in the zoning district in which the subject property is located.
4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship. If the owners are not allowed to construct the pool in the location on the site plan, they will not be able to have quiet enjoyment of the property like other neighbors that have a pool.
5. The requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text. We will do whatever is necessary, including block walls to be consistent with the house so it can be part of the addition to increasing property values and use of the property, should there be any issue.

B. Appeals of decisions regarding building architectural design standards shall be evaluated using the same criteria as section 7.6.7(B).

2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district. Other properties in the neighborhood have swimming pools.
3. Adequacy of public services, public facilities, and utilities to serve the proposed use.

4. The proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.
5. The size, scale and mass of proposed pool is appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.
6. The proposed use will not create a negative shadow impact on any adjoining lot or building because of the proposed building height.

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Taslimm Quraishi

[REDACTED]

April 1, 2025

**Zoning Board of Appeals**

1300 Commerce Dr  
Decatur, GA 30030

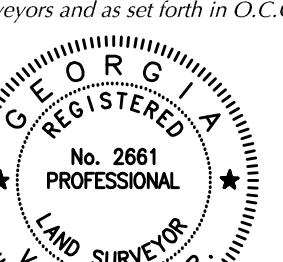
Dear Zoning Board,

My neighbor, John Holbrook, at 2522 Echo Dr will be submitting a variance application to allow him to build a retaining wall only a few feet off the property line. I fully support this, as without this wall his yard will continue to erode and we will have water issues, which we already have now. With this wall it will hold back the erosion and handle the water correctly. I am submitting this letter in support of his variance application to build the retaining wall between our properties. He has explained the building plans to me, and I have viewed them and fully support him building a wall for the purpose of stabilization. I also support the removal of trees as needed on the property line in order to construct the wall.

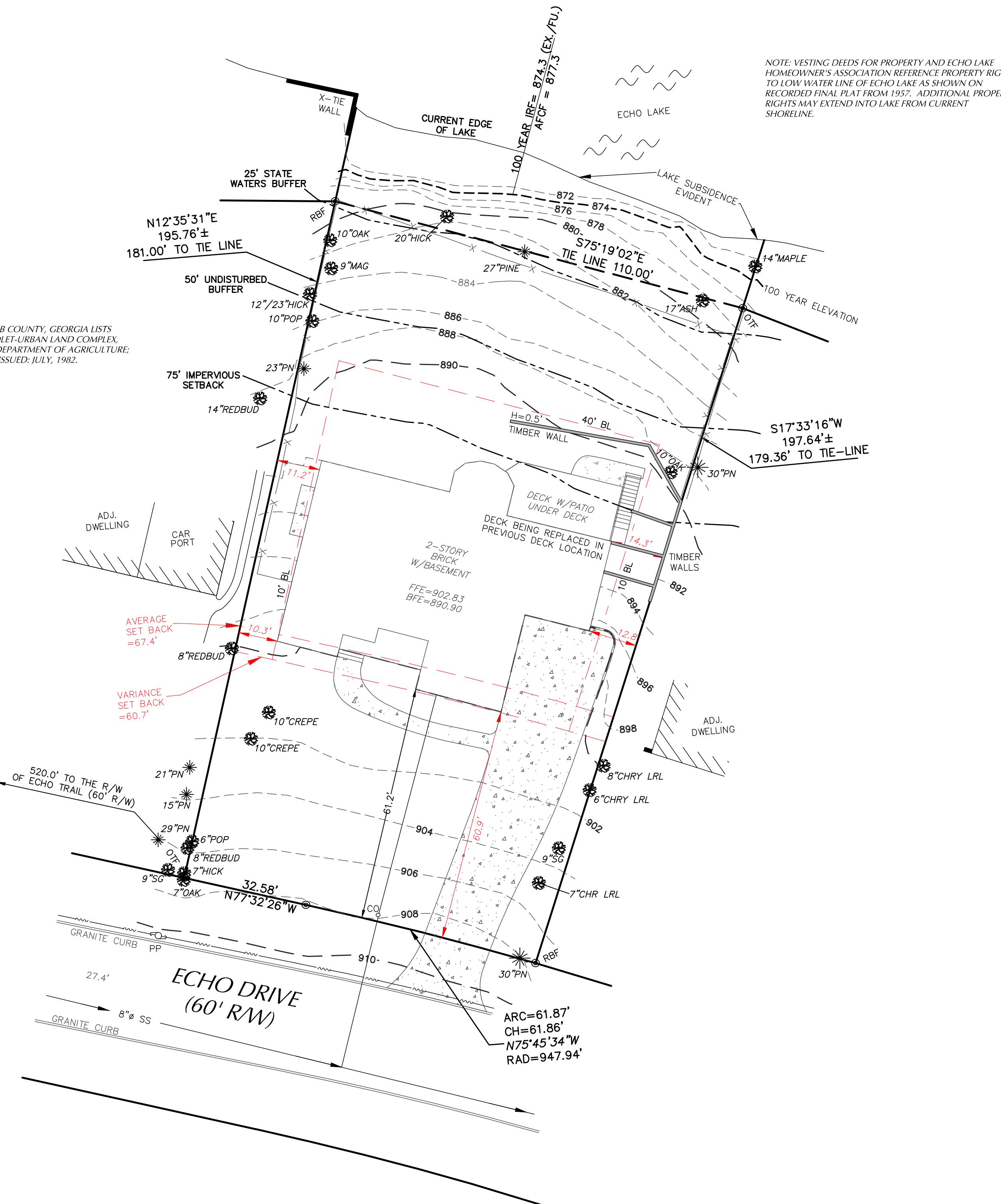
Sincerely,



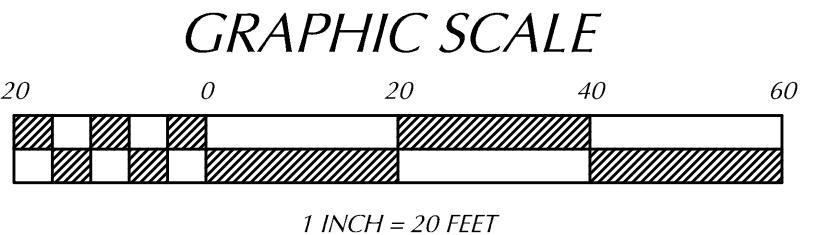
Taslimm Quraishi

<p>THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT</p>	<p><b>SURVEYOR'S CERTIFICATION</b></p> <p><i>This plat is a retrace of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.</i></p> <p></p> <p><i>V.F. GADDY, JR.</i></p> <p><i>7/12/24</i></p>
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PROJECT NUMBER		DRAWING	
HPO-24-001		FIELD	07-12-24
BY	CV	06-03-24	



## Existing Conditions



**GADDY SURVEYING  
& DESIGN, INC.**

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1215 PLEASANT HILL ROAD  
LAWRENCEVILLE, GEORGIA 30044  
PHONE - (770) 931-5920  
FAX - (770) 931-5903

L.S. CERTIFICATE OF AUTHORIZATION #LS001014  
P.E. CERTIFICATE OF AUTHORIZATION #PEF005450

*TOPOGRAPHIC SURVEY FOR:*  
***JOHN & ANNA HOIBROOK***  
***#2522 ECHO DRIVE***  
***LOT 5 ~ BLOCK "A"***  
***ECHO LAKE SUBDIVISION***  
***(PLAT BOOK 27, PAGE 103)***  
***LAND LOT 206 ~ 18TH DISTRICT***  
***DEKALB COUNTY, GEORGIA***

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a water, drainage ditch or area of concentrated runoff.
Ch	CHANNEL STABILIZER			Improving, stabilizing or stabilizing on open channel, existing stream, or ditch.
Co	CONSTRUCTION DITCH			A crushed stone pad located in the construction area to be used for material storage, haul roads, and temporary structures. Must be removed at construction site to be prohibited.
Cr	CONSTRUCTION DUST STABILIZATION			A temporary structure to contain dust generated from the construction site while a permanent structure is being constructed.
Dc	STREAM DRAIN CHANNEL			A temporary channel constructed to convey flow from a construction site while a permanent structure is being constructed.
Di	DITCH			An earth channel or ditch, located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.
Dm1	TEMPORARY DOWNGRADE STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct runoff down a slope. This is temporary and inexpensive.
Dm2	PERMANENT DOWNGRADE STRUCTURE			A paved sheet pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FLYER RING			A temporary stone barrier constructed of stone, rocks and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position for bank or stabilizing structures.
Gr	GRAVEL STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where the slope will be affected by the running water to form gullies.
Lv	LEVEL SPREADER			A temporary stone filter dam installed across drainageways or in conjunction with a temporary sediment trap.
Rd	ROCK FILTER DAM			A wall installed to stabilize an eroding slope. Permanent slopes are not erodible. Erosion control will require special design.
Ri	RETAINING WALL			A wall installed to stabilize an eroding slope. Permanent slopes are not erodible. Erosion control will require special design.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be burlap, bags of straw or hay, brush, logs or poles, or a steel fence.
Sd2	INLET SEDIMENT TRAP			A temporary protective device formed at or around an inlet to a storm drain to collect sediment.
Sd3	TEMPORARY SEDIMENT BAG			A small temporary pond that collects a disturbed area so that sediment can settle out. The principle of operation is to collect sediment from runoff from a temporary sediment basin is the lack of a pipe or filter.
Sd4	TEMPORARY SEDIMENT TRAP			A linear control device that releases/drains water from the surface of sediment ponds, traps, or bags at a controlled rate of flow.
Sk	FLOATING SEDIMENT SQUEEZE			A linear control device constructed as a diversion perpendicular to the direction of the runoff to collect sediment. It is used to collect sediment while creating multiple sedimentation chambers with the employment of intermediate dikes.
SpB	SEEP BERM			A small control device that collects water from the surface of sediment ponds, traps, or bags at a controlled rate of flow.

#### 24 - Hour local erosion and sediment control contact.

Havana Pools & Outdoors, LLC  
Jose Cevalo - 4044923089  
2232 River Heights Ct SE,  
Marietta, GA 30067.  
Business License - OCC033483

#### Distinct and super district commissioner

Commissioner - Michele Long Spears  
Glyfia Vea a Jigjiby! I'9Xk Uixi Hyxi  
Terry

#### Sediment storage calculation (slit fence)

Lot size = 0.48 acre  
Required amount of storage = 67 cu.yd. x 0.48  
= 32.16 cu.yd.

Required length of Slit fence = 107.2 feet

Total length of Slit fence (within the buffer) = 167.62 feet

#### Abutting property owners

MLH HOMES LLC  
NAPPO MARY E  
NAPPO GENNARO & MARY E  
NAPPO GENNARO

**EROSION CONTROL SEEDING SCHEDULE (Ds1, Ds2, Ds3):**  
CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS BY TEMPORARILY RE-SEEDING UNTIL PERMANENT GROUND COVER IS ESTABLISHED. (MAXIMUM 3 WEEKS).

**SOIL PREPARATION:**  
ADD 2 TONS OF LIME PER ACRE FOR PERMANENT GRASS. HAY MULCH FOR TEMPORARY COVER AT 5000 LBS. PER ACRE.

**TOP DRESSING: APPLY WHEN PLANTS ARE 2-4 INCHES TALL.**  
FERTILIZER: (AMMONIUM NITRATE 33%) 300 LBS PER ACRE.

SECOND YEAR FERTILIZER: (5-10-15) OR EQUIVALENT 500 LBS. PER ACRE.

**SEEDING RATES:**  
SUMMER 4/1-9/15 BERMUDA(HULLED) 10 LBS. PER ACRE

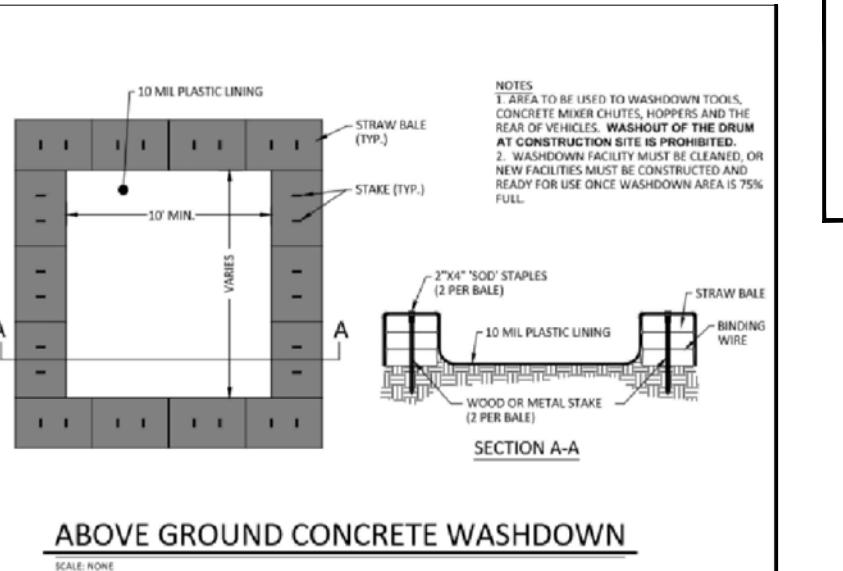
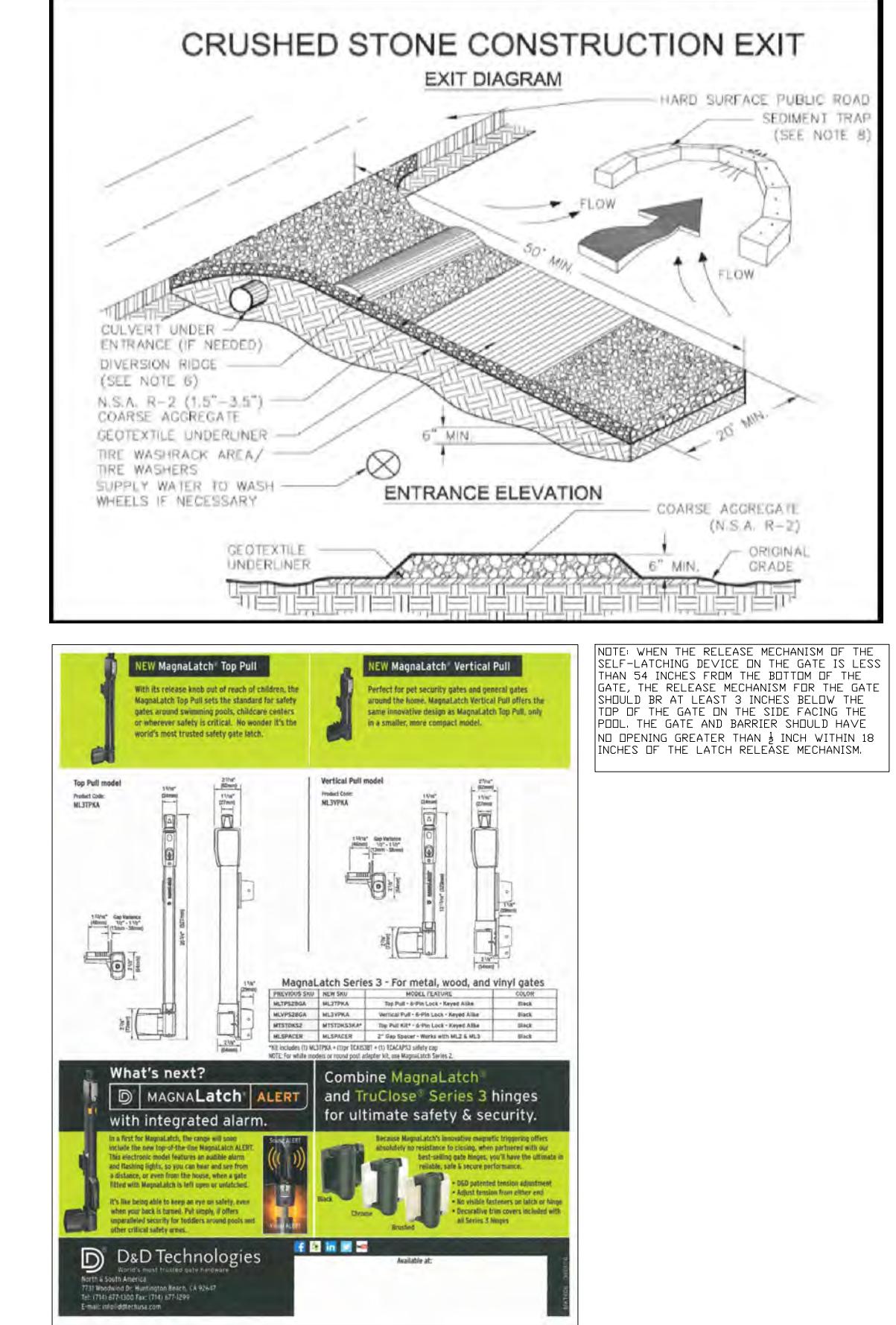
COOL 9/1-11/15 FESCUE(K31) 50 LBS PER ACRE

WINTER 1/1-4/15 ANNUAL RYE GRASS 50 LBS. PER ACRE

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT

A MINIMUM FOUR FOOT (4') HIGH EFFECTIVE CONSTRUCTION SAFETY BARRIER SHALL BE IN PLACE AROUND ALL BUILDING EXCAVATIONS AT ALL TIMES DURING CONSTRUCTION, UNTIL A PERMANENT FENCED ENCLOSURE IS EFFECTIVELY IN PLACE AROUND THE BUILDING.

THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC., ONTO STREET WILL RESULT IN AN IMMEDIATE STOP WORK ORDER, AND IT WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRUCTED IN ACCORDANCE WITH THE CURRENT DETAIL.



**DEVELOPER**  
Havana Pools & Outdoors, LLC  
Jose Cevalo - 4044923089  
2232 River Heights Ct SE,  
Marietta, GA 30067.  
Business License - OCC033483

**OWNER NAME**  
JOHN & ANNA  
HOLBROOK

#### Comprehensive vegetative plan :

##### Temporary Vegetative Practices

1. Cover Crops:  
Species: Ryegrass, Annual Rye, Crimson Clover  
Planting Dates: Early fall (September to October)  
Seeding Rate: 20-30 lbs/acre for Ryegrass, 15-20 lbs/acre for Crimson Clover

##### 2. Mulching:

Materials: Straw, Wood Chips, Compost  
Application Dates: Throughout the year as needed  
Application Rate: 2-4 inches thick layer

##### Permanent Vegetative Practices

1. Grasses:  
Species: Bermuda Grass, Zoysia Grass, Fescue  
Planting Dates: Late spring to early summer (April to June)  
Seeding Rate: 1-2 lbs/1000 sq ft for Bermuda, 2-3 lbs/1000 sq ft for Fescue

##### 2. Trees and Shrubs:

Species: Oak, Maple, Dogwood, Azalea, Hydrangea  
Planting Dates: Late fall to early spring (October to March)  
Spacing: 15-20 feet apart for trees, 3-5 feet apart for shrubs

##### 3. Perennial Flowers:

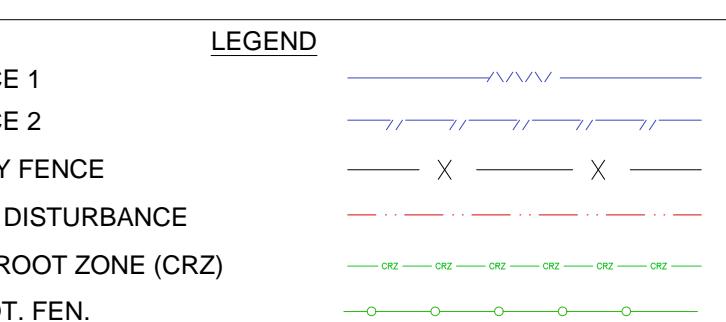
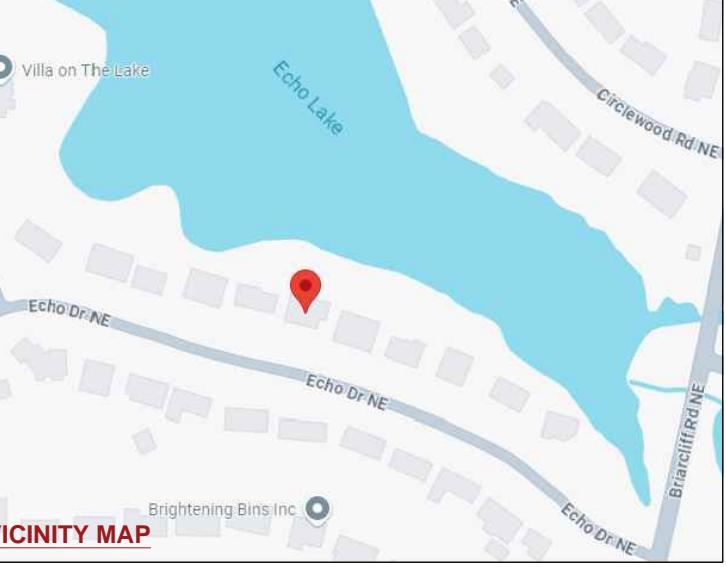
Species: Black-eyed Susan, Coneflower, Daylily  
Planting Dates: Spring (March to May)  
Seeding Rate: Follow specific seed packet instructions

##### Additional Considerations

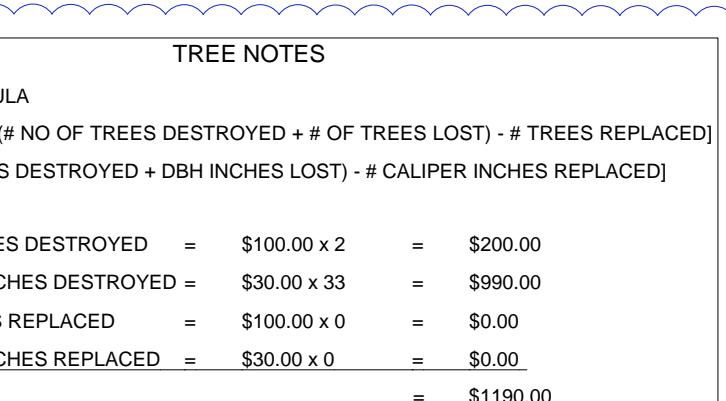
\*Soil Testing: Conduct soil tests to determine pH and nutrient levels. Amend soil as needed based on test results.

\*Irrigation: Ensure proper irrigation systems are in place to support plant growth, especially during dry periods.

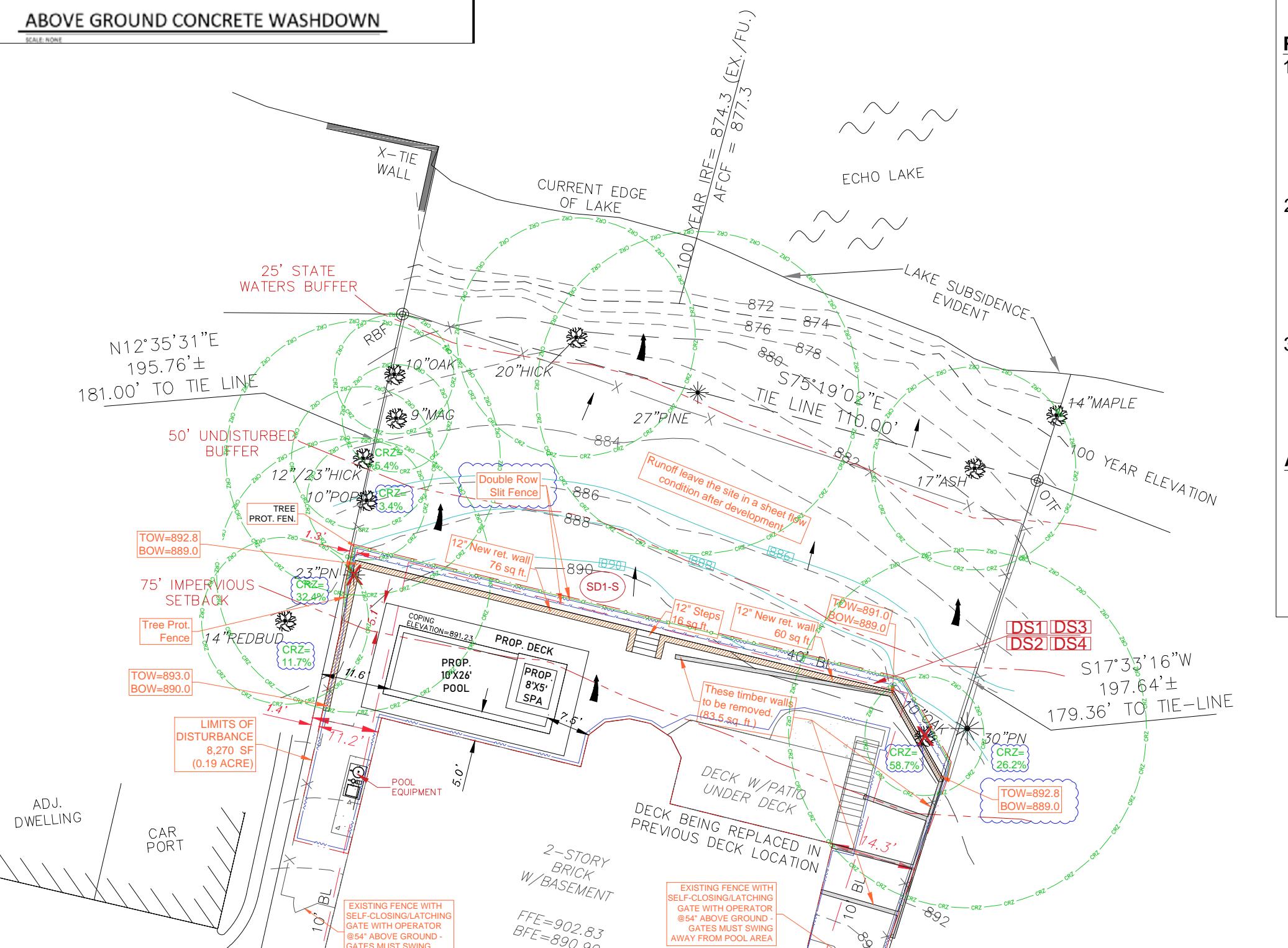
\*Maintenance: Regularly monitor and maintain vegetation to prevent overgrowth, pests, and diseases.



THE STRUCTURE ON THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089C0056K, EFFECTIVE DATE: 08-15-2019



THE STRUCTURE ON THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089C0056K, EFFECTIVE

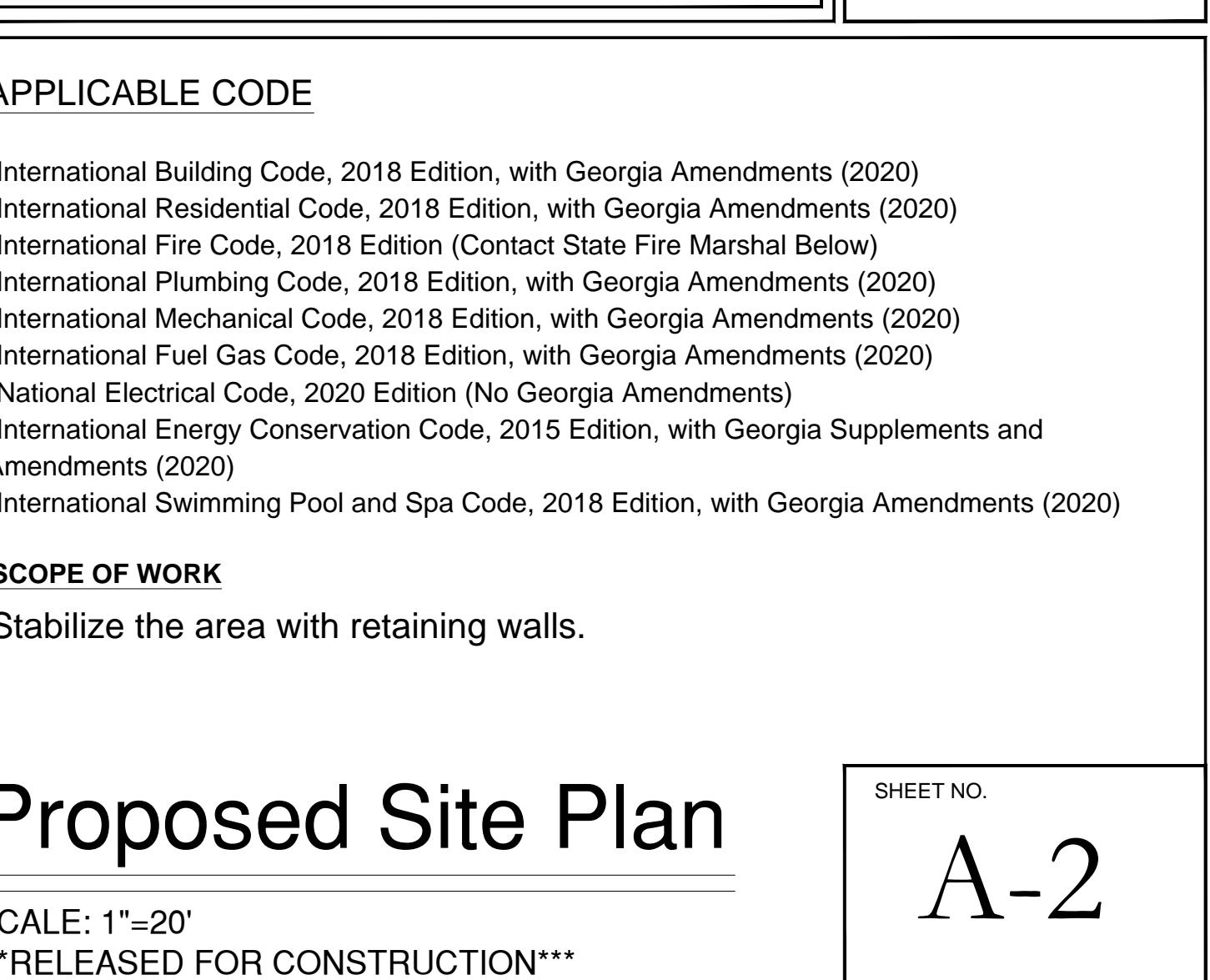
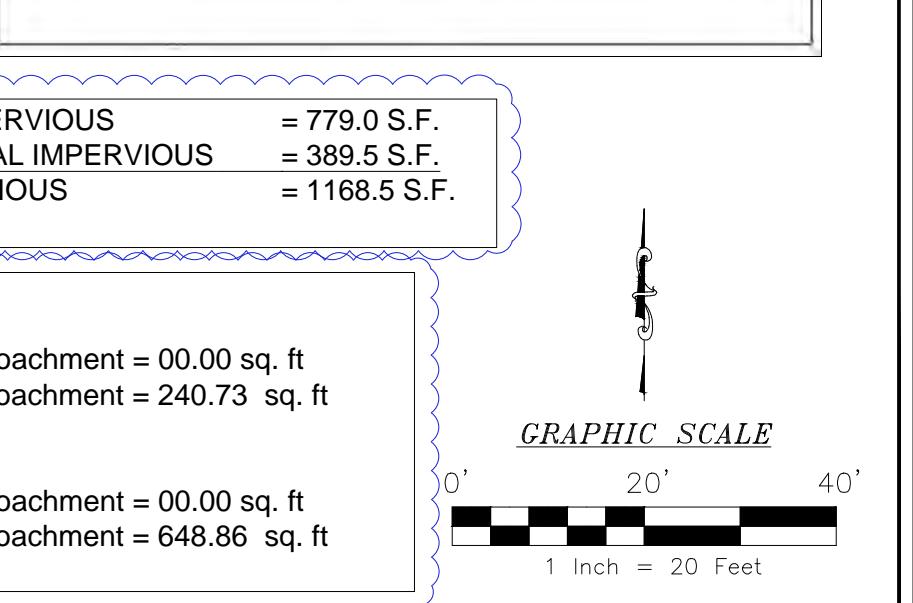
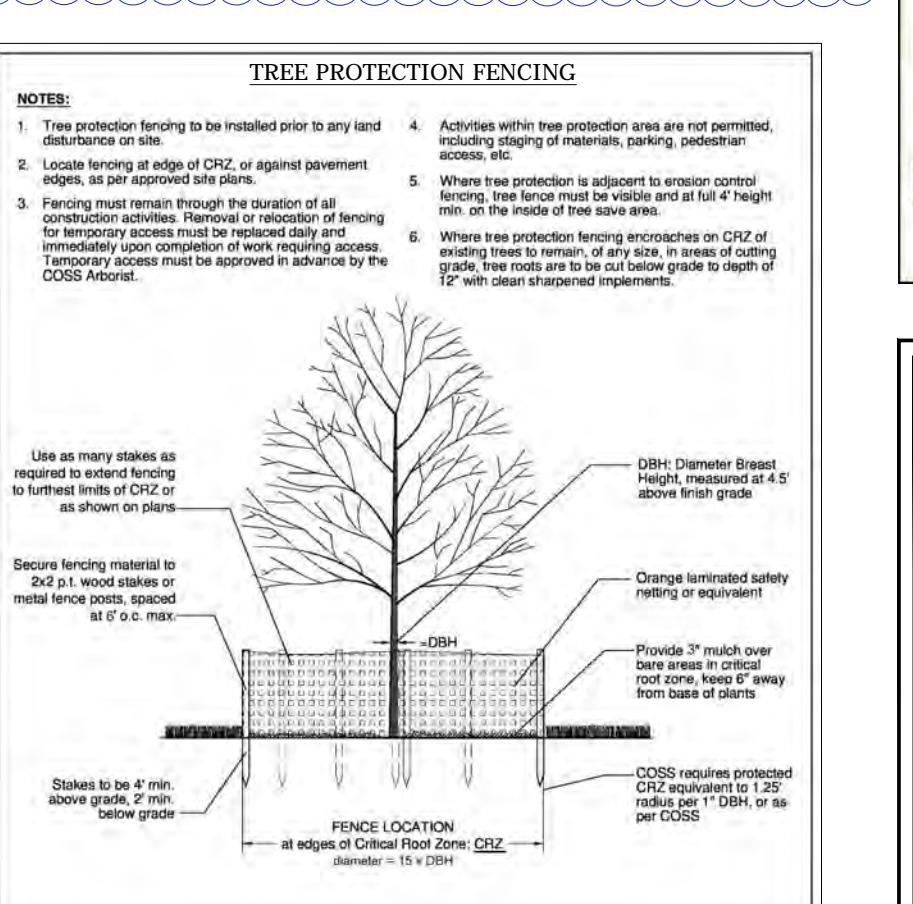


LOT 5 ~ BLOCK "A"  
ECHO LAKE SUBDIVISION  
(PLAT BOOK 27, PAGE 103)  
LAND LOT 206 ~ 18TH DISTRICT  
DEKALB COUNTY, GEORGIA  
PARCEL # 18-206-01-034

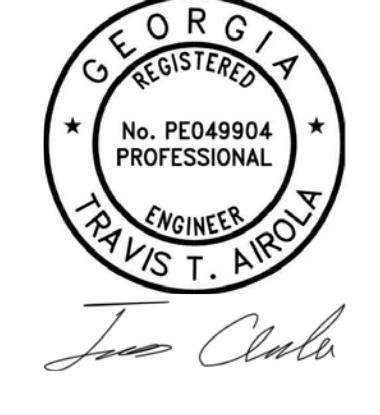
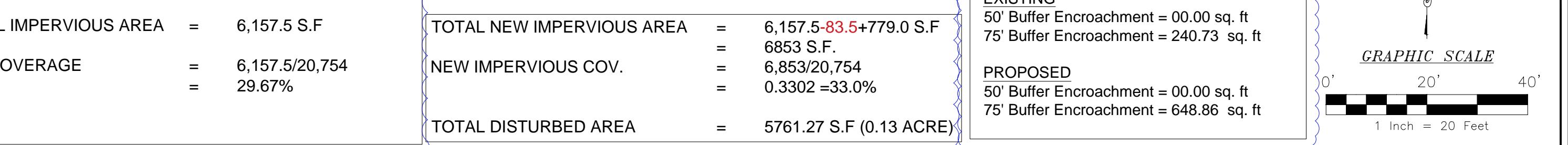


**TREE PRESERVATION:**  
120/acre = 58" to be preserved on site...116" saved;  
116"-58" = 58"  
surplus recompense for removal of specimen trees is  
1.5 x DBH = (10+23)x1.5 = 49.5"  
58"-49.5" 0" to be planted on site  
OR 0" owed to the DeKalb County Tree Bank, monetary payment to the tree bank is  
\$100/inch or \$0.00 owed to tree bank.

**TREE CALCULATION:**  
According to the Chart 1-3 per 14.9(g)(4). We need 15 density units per acre.  
Subject Lot size = 0.48 Acre  
Required tree density = 15x0.48 = 7.2 (Trees)  
Remaining trees = 9 Trees



EXISTING IMPERVIOUS LOT COVERAGE		PROPOSED IMPERVIOUS	
LOT AREA	= 20,754 S.F.	NEW RET. WALLS	= 136.0 S.F.
DWELLING	= 3,404 S.F.	FRONT PORCH	= 16.0 S.F.
FRONT PORCH	= 40 S.F.	DRIVEWAY/WALKWAY	= 2,076 S.F.
DRIVEWAY/WALKWAY	= 48 S.F.	BASEMENT ENTRY	= 506 S.F.
BASEMENT ENTRY	= 83.5 S.F.	REAR DECK / PATIO	= 284.6 S.F.
REAR DECK / PATIO	= 6,157.5 S.F.	TIMBER WALLS	= 779.0 S.F.
TIMBER WALLS	= 6,157.5/20,754	TOTAL IMPERVIOUS AREA	= 779.0 S.F.
TOTAL IMPERVIOUS AREA	= 29.67%	PROPOSED IMPERVIOUS	= 779.0 S.F. 50% ADDITIONAL IMPERVIOUS TOTAL IMPERVIOUS
LOT COVERAGE	= 29.67%	EXISTING	50' Buffer Encroachment = 0.00 sq. ft
		NEW IMPERVIOUS COV.	6853 S.F.
			6,853/20,754
			= 0.3302 = 33.0%
		TOTAL DISTURBED AREA	= 5761.27 S.F. (0.13 ACRE)



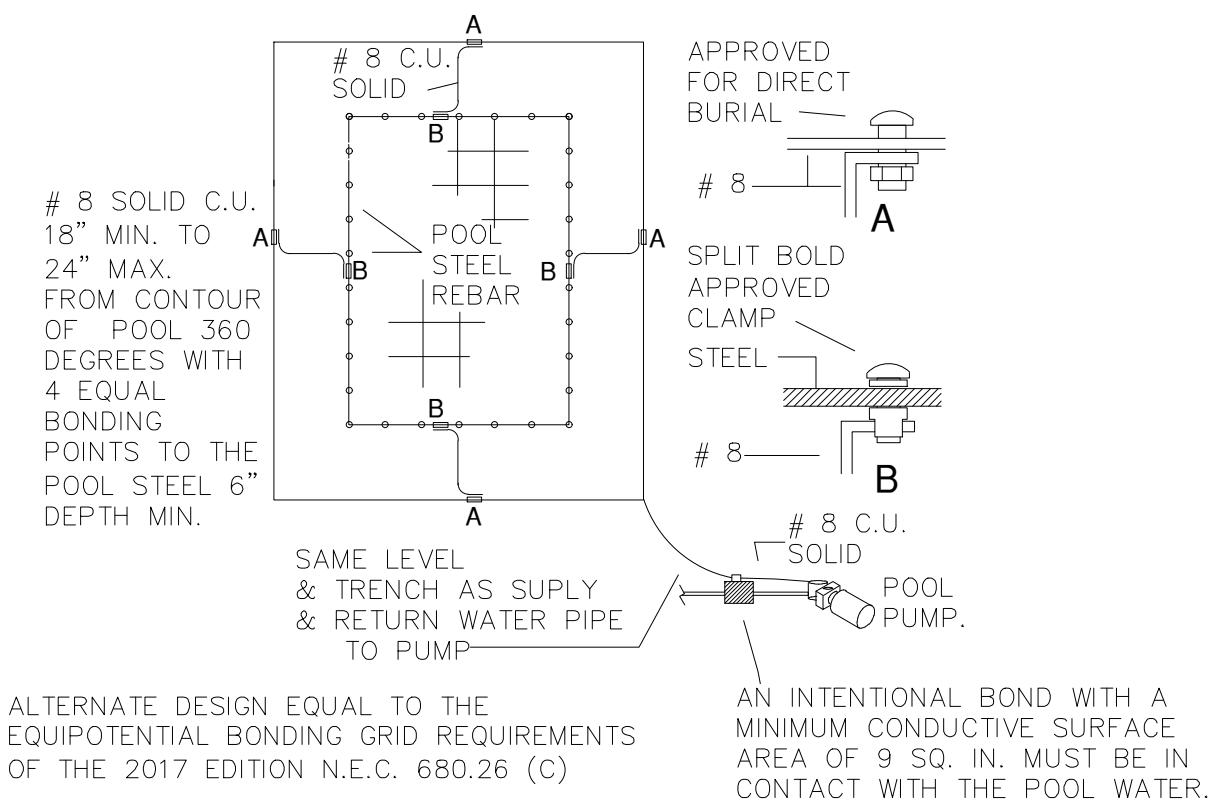
REVISIONS	BY
10/11/2024	N.T.M.
10/12/2024	N.T.M.
10/24/2024	N.T.M.
02/22/2025	N.T.M.
03/06/2025	N.T.M.
07/08/2025	N.T.M.
07/10/2025	N.T.M.

JOB NO.	24-69
DRAWN	NADEERA
CHECKED	TODD
SCALE	NOTED
DATE	SEPTEMBER 2024

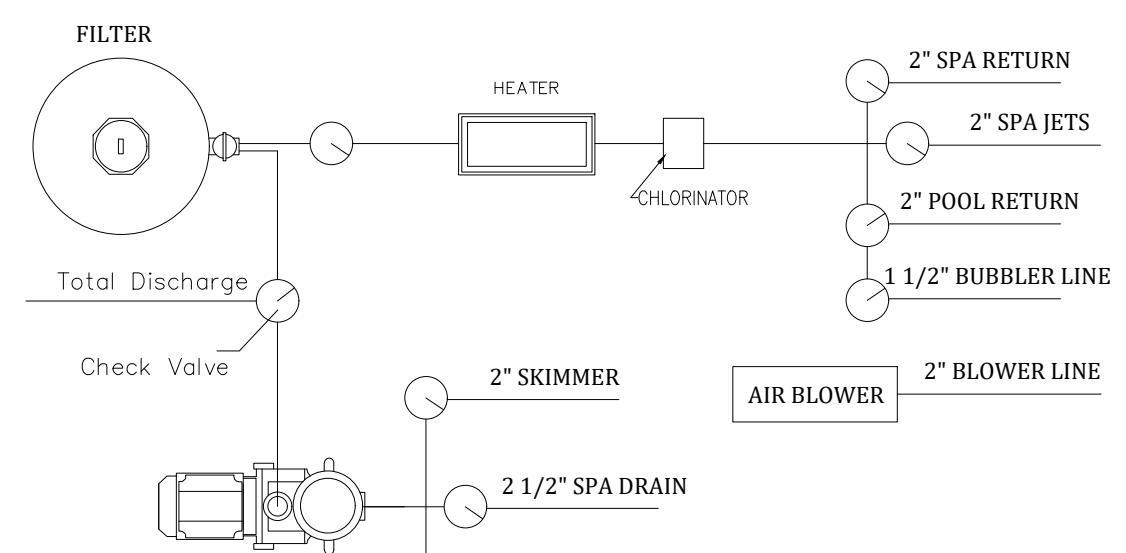
#### ELECTRICAL NOTES:

- ALL POOL ELECTRICAL WORK SHALL BE ACCOMPLISHED IN COMPLIANCE WITH FBC 2020, 7TH EDITION, CHAPTER 42
- ALL POOL ELECTRICAL WORKS, GROUNDING AND BONDING MUST BE CONFORM WITH THE NEC 2017, ART.680
- AT LEAST ONE GFCI PROTECTED 125-VOLT RECEPTACLE OUTLET IS REQUIRED BETWEEN 6 AND FEET OF THE INSIDE WALL OF THE POOL. NEC 680.22(A)(1) (RESIDENTIAL AND COMMERCIAL)
- THE EQUIPMENT GROUNDING CONDUCTOR MUST BE A MINIMUM 12 AWG COPPER NEC 680.21(A): 680.25(F)(2); 680.25(B)(1)
- EQUIPOTENTIAL BONDING TO COMPLY WITH 2017 NEC 680.26(B) SHALL BE INSTALLED IN OR UNDER PAVED WALKING SURFACES FOR THREE FEET HORIZONTALLY BEYOND THE WALLS OF THE POOL NEC 680.26(C) L 4 POINTS & DECK BONDING (360 DEGREES)
- RECEPTACLE OUTLETS ARE NOT PERMITTED WITHIN 6 FEET OF THE INSIDE WALLS OF A POOL NEC 680.22(A)(2)
- POOL PUMP MOTOR CIRCUITS, MUST BE PROVIDED WITH GFCI PROTECTION. NEC 680.21(C)
- RECEPTACLE OUTLETS MUST LOCATED A MINIMUM OF 5 FEET FROM THE INSIDE WALL OF A POOL OR MOUNTED A MINIMUM OF 12 FEET ABOVE THE MAXIMUM WATER LEVEL NEC 680.22(B)(1)
- OVERHEAD CONDUCTORS ARE NOT PERMITTED OVER THE POOL OR THIN 10 FEET HORIZONTALLY FROM THE EDGE OF THE POOL FBC 424.1.4.2.4
- OVERHEAD CONDUCTORS SHALL NOT BE PERMITTED OVER THE POOL OR WITHIN 10 FEET HORIZONTALLY FROM EDGE OF THE POOL UNLESS PROVIDED WITH CLEARANCE TO COMPLY WITH NEC 680.8
- A CONDUCTIVE ELEMENT THAT IS PART OF THE POOL BONDING SYSTEM MUST BE IN DIRECT CONTACT WITH THE POOL WATER. IN THE ABSENCE OF RAILS, LADDERS, OR NICHES, A WATER BONDING SHALL MEET THE REQUIREMENT, NEC 680.25(C)
- ALL METAL PARTS WITHIN 5 FEET OF THE POOL MUST BE BONDED TO A COMMON BONDING GRID. NEC 680.26(B)(5)

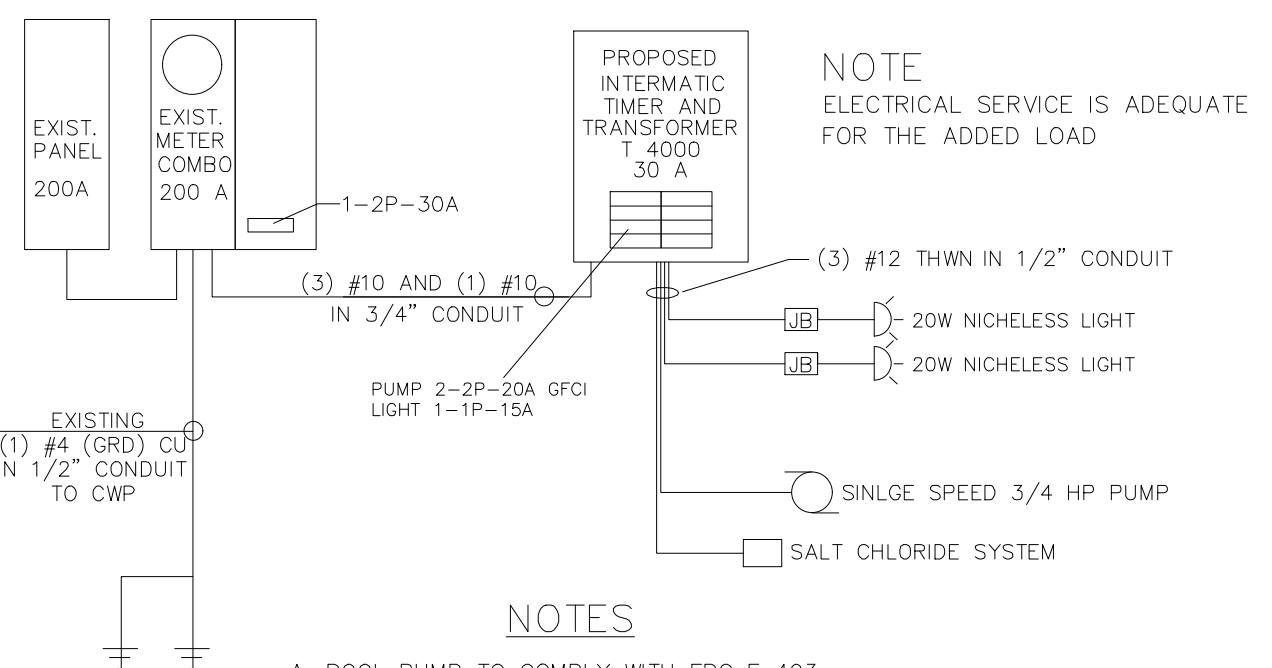
NOTE:  
ALL METAL LOCATED WITHIN 5' OF POOL WATER SHALL BE BONDED



BONDING DETAIL  
NTS



PUMP CONNECTION DIAGRAM  
NTS



ELECTRIC DIAGRAM

#### LIST OF POOL/SPA EQUIPMENT

- FILTER: PENTAIR C & C PLUS (SIZE 420)
- MAIN PUMP: PENTAIR WHISPERFLO 2HP
- GAS HEATER: PENTAIR MASTERTEMP 400 (400,000 BTU)
- ADD'L PUMPS: 1/2 HP. BOOSTER PUMP
- CHLORINATOR: INTELLICHLOR IC-40
- CLEANER: POLARIS 280 VAC SWEEP
- POOL LIGHT: 2 PENTAIR LED COLOR
- SPA LIGHT: 1 PENTAIR LED LIGHT
- POOL/SPA CONTROL: EASYTOUCH-8 WIRELESS

#### PLUMBING NOTES:

- ALL POOL EQUIPMENT PIPING SHALL BE SCHEDULE 40, PVC-PW, ON-THREADED, NSP APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HINGERS.
- ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1-1/2" DIAMETER, UNLESS OTHERWISE NOTED
- POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS.
- ALL POOL EXHAUST PIPES SHALL HAVE ITS PLATE SECURELY FASTENED WITH TAMPER-PROOF SCREWS.
- POOL VACUUM SHALL HAVE SPRING LOADED CAP IN ACCORDANCE WITH THE GEORGIA BUILDING CODE
- ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEORGIA BUILDING CODE AS IT PERTAINS TO BUOYANCY.
- THE WATER VELOCITY THROUGH ALL SUCTION PIPING SHALL BE LESS THAN 8 FEET PER SECOND.
- THE WATER VELOCITY THROUGH ALL PRESSURE PIPING SHALL BE LESS THAN 10 FEET PER SECOND.
- ALL PIPING SHALL BE SUITABLE FOR EXPOSURE TO ULTRA VIOLET RADIATION AND NORMAL OPERATING TEMPERATURES

#### STRUCTURAL NOTES:

- ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60000 PSI.
- ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 2500 PSI. REINFORCED STEEL FROM POOL WALL SHALL NOT BE BENT INTO A NEW OR FUTURE CONCRETE DECK. CONCRETE DECK SHALL BE FREE TO FLOAT BEYOND POOL WALL. EXCEPTION: STRUCTURAL DECKS SHALL COMPLY WITH THE DESIGN FOR SUPPORT SHOWN ON THESE PLANS.

- ALL REINFORCING SPLICES SHALL BE 18" IN LENGTH UNLESS OTHERWISE INDICATED ON THESE PLANS.

- THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPALS.

- POOL WALL REINFORCEMENT IS ADEQUATE TO WITHSTAND THE HORIZONTAL WATER LOADS PLACED ON THE POOL WALL FOR UP TO 18" OF EXPOSED POOL WALL ABOVE GRADE.

DATA	POOL	SPA	DECK
MAX. LENGTH (FEET)	26	8	35
MAX. WIDTH (FEET.)	10	5	18
DEPTH (FEET)	3.5 - 6	4	-
SURFACE AREA (SQ. FT.)	263	40	285
PERIMETER (FEET.)	136	26	106
VOLUME (GALLONS)	7,200	1,197	-

#### DEVELOPER

Havana Pools & Outdoors, LLC  
Jose Covel - 4044833089  
2232 River Heights Ct SE,  
Marietta, GA 30067.  
Business License - OCC033483

#### OWNER NAME

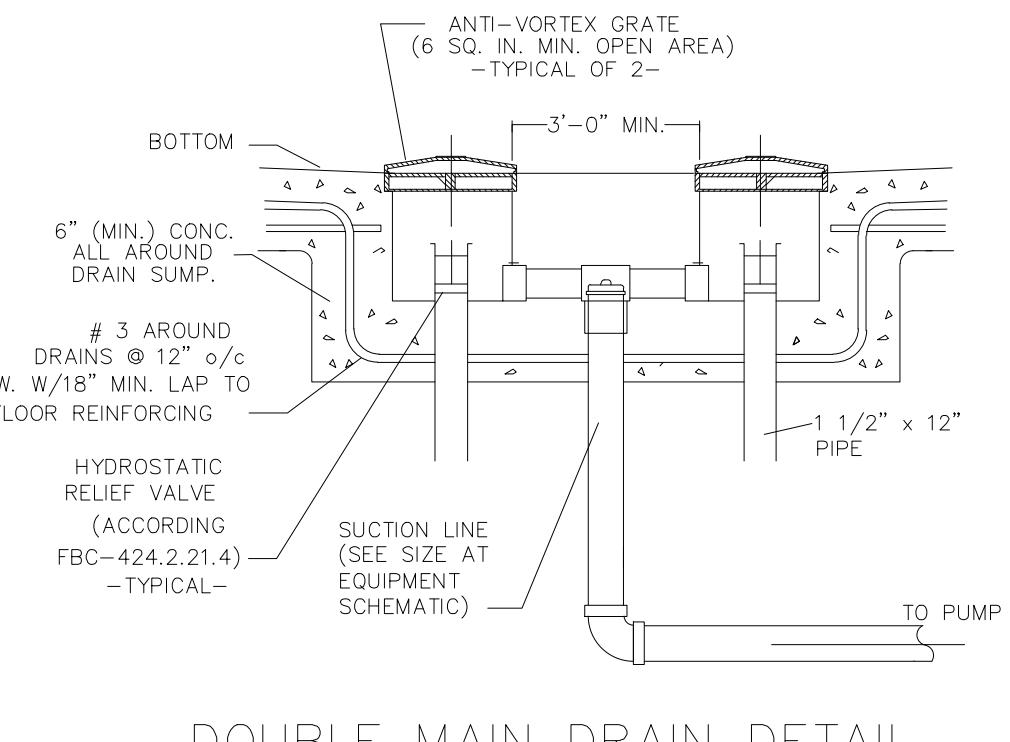
JOHN & ANNA  
HOLBROOK

#### NOTE:

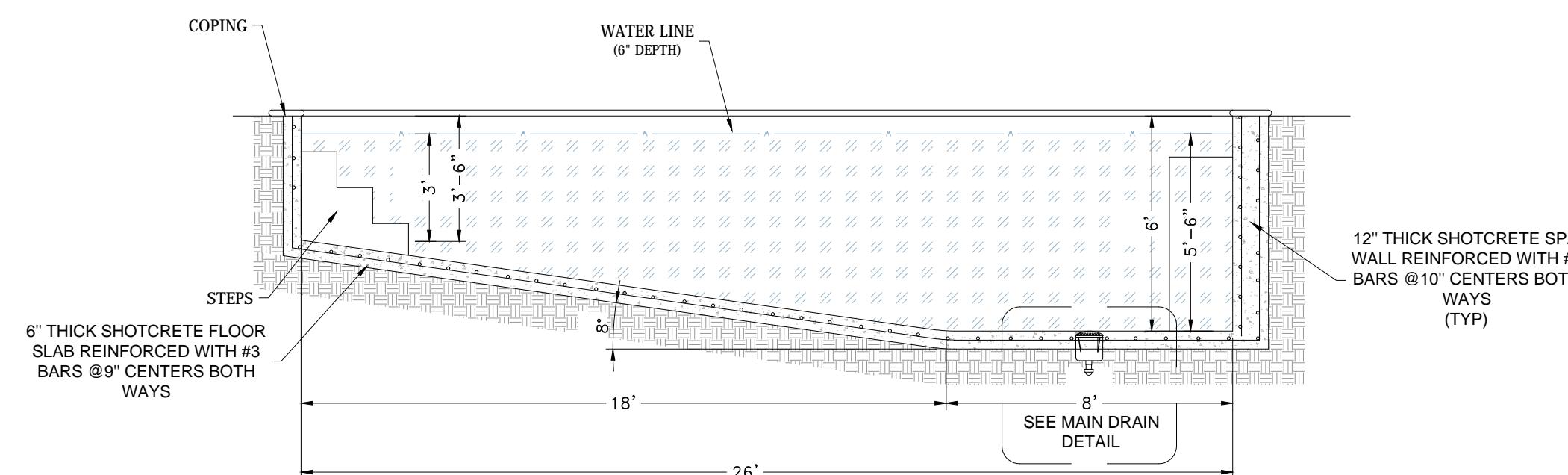
REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS:

>> CONCRETE POURED AGAINST EARTH 3"

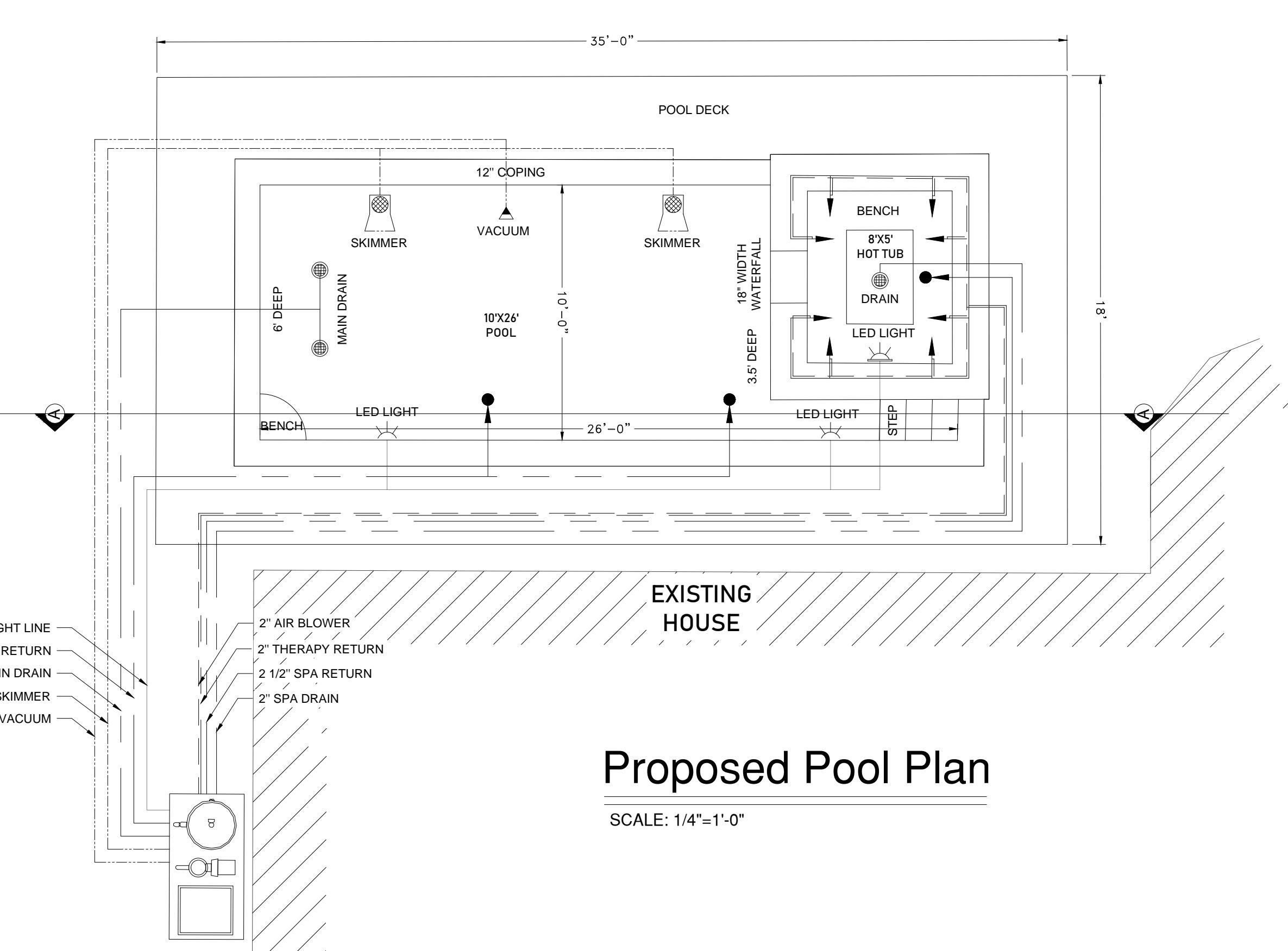
>> CONCRETE EXPOSED TO EARTH OR WEATHER:  
5' OR SMALLER 1-1/2"  
6' OR LARGER 2"



DOUBLE MAIN DRAIN DETAIL  
NTS



Section A - A



Proposed Pool Plan

SCALE: 1/4"=1'-0"

#### APPLICABLE CODE

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- National Electrical Code, 2020 Edition (No Georgia Amendments)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

#### SCOPE OF WORK

Stabilize the area with retaining walls.

## Proposed Pool Plan

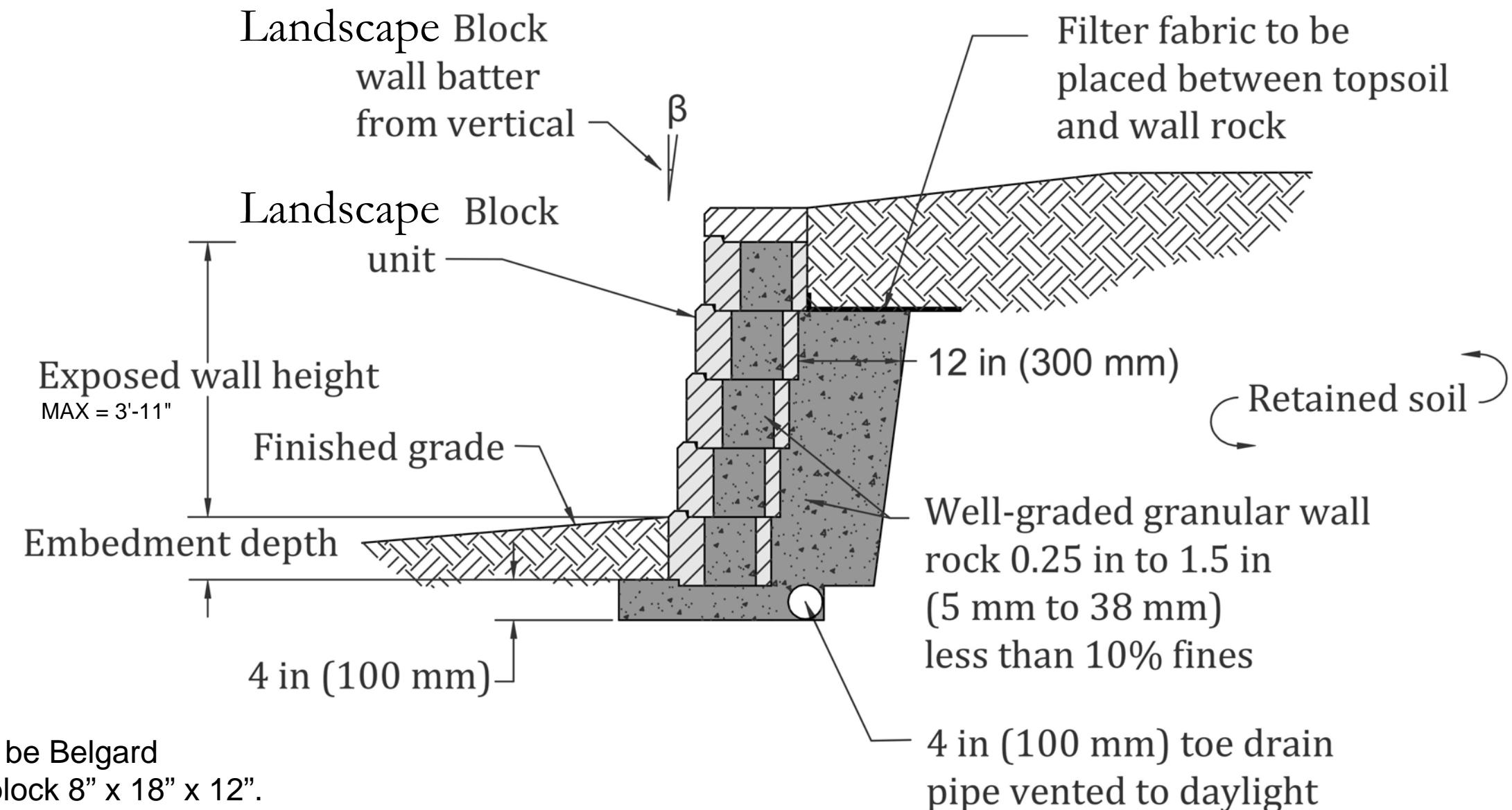
\*\*\*RELEASED FOR CONSTRUCTION\*\*\*



REVISIONS	BY
10/11/2024	N.T.M.
10/12/2024	N.T.M.
10/24/2024	N.T.M.
02/22/2025	N.T.M.
03/06/2025	N.T.M.
07/08/2025	N.T.M.
07/10/2025	N.T.M.

PROPOSED POOL PLAN FOR,  
John & Anna Holbrook  
2522 Echo Dr NE, Atlanta, GA 30345  
Dekalb County, Georgia

JOB NO.	24-69
DRAWN	NADEERA
CHECKED	TODD
SCALE	NOTED
DATE	SEPTEMBER 2024



1. Block used will be Belgard Diamond Pro block 8" x 18" x 12".
2. Footer and backfill will be made out of gravel.
3. Wall will also include 4" perforated pipe.

**LANDSCAPE BLOCK WALL DETAIL**  
(NOT TO SCALE)

SHEET NO.

**A-4**