



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals

Department of Planning & Sustainability

178 Sams Street,
Decatur, GA 30030

Wednesday September 10, 2025

Planning Department Staff Analysis



Juliana Njoku

Interim Director

N4. Case No: A-25-1247703

Parcel ID(s): 18 206 01 034

Commission District 02 Super District 06

Applicant:

Todd Shoemaker



Owner:

John Holbrook



Project Name:

2552 Echo Drive NE – Home Addition

Location:

2522 Echo Drive, Atlanta, GA 30345

Requests: variance from Section 27-5.4.7 of the DeKalb County Zoning Ordinance to reduce setback for retaining wall to 0' in R-100 (Residential Medium Lot) zoning district

Staff Recommendation: Withdrawal without Prejudice

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Todd Shoemaker

Mailing Address: [REDACTED]

City/State/Zip Code: [REDACTED]

Email: [REDACTED]

Telephone: [REDACTED]

Business: [REDACTED]

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: John Holbrook

Address (Mailing): 2522 Echo Dr NE, Atlanta, GA 30345

Email: [REDACTED]

Business: [REDACTED]

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2522 Echo Dr NE City: Atlanta State: GA Zip: 30345

District(s): 5 Land Lot(s): 3 Block: C Parcel: 17-0232-LL-065-8

Zoning Classification: R-100 Commission District & Super District: Dis 2 & Sup 6

CHECK TYPE OF HEARING REQUESTED:

☒

VARIANCE (From Development Standards causing undue hardship upon owners of property.)

☐

SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)

☐

OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 3/12/25

Applicant Jedd Sheeh
Signature: _____

DATE: _____

Applicant _____
Signature: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the ZoningBoard of Appeals for the requests as shown in this application.

DATE: 3/12/25

Applicant/Agent
Signature:

Jedd Shook

TO WHOM IT MAY CONCERN:

(I)/ (WE): John Holbrook
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Joseph H. Ashkouti

Notary Public

Jc

Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature



JOSEPH H. ASHKOUTI
NOTARY PUBLIC
DEKALB COUNTY
COMMISSION # W-00596475
STATE OF GEORGIA
My Comm. Expires April 26, 2027

CERTIFICATE *of* SIGNATURE

REF. NUMBER
UD38D-HTFUW-SMVD3-BEUXK

DOCUMENT COMPLETED BY ALL PARTIES ON
13 MAR 2025 12:57:54 UTC

SIGNER

JOHN HOLBROOK

EMAIL
JOHNHOLBROOK@GMAIL.COM

TIMESTAMP

SENT
13 MAR 2025 03:51:59 UTC
VIEWED
13 MAR 2025 12:57:22 UTC
SIGNED
13 MAR 2025 12:57:54 UTC

SIGNATURE



IP ADDRESS
99.159.31.254

LOCATION
ATLANTA, UNITED STATES

RECIPIENT VERIFICATION

EMAIL VERIFIED
13 MAR 2025 12:57:22 UTC



LETTER OF INTENT

2522 Echo Dr NE, Atlanta, GA 30345

1. 2522 Echo Dr NE is a unique lot with extraordinary or exceptional physical condition(s) which was not created by the current owner, previous owner, or applicant; this is lot with contour and grade that does not allow for normal expected use due to the grade. The situation due to the grade and space in which to put the pool for the owner to enjoy is very limited. We are asking for an encroachment to the side setback so they can enjoy the land to have a backyard with a pool. This wall is an addition to an existing home. Due to the topography between the two houses, there is a need for a retaining wall to keep the land on the west side of the property from erosion onto and into the neighbor's house to stabilize the land and stop the erosion. The neighbor that shares this property line is extremely supportive and is in favor of this happening. The retaining wall between the neighbors will require variance due to the amount the wall encroaches into the set back of 8' of the 10', but this is necessary to keep the integrity of the land & for stabilization. The owner who shares the property line approves of this action and is very happy and a letter will be provided. The retaining wall in the stream buffer is needed to stabilize the land from the building of the pool out of the buffer and for more enjoyment of the backyard and will stabilize the current erosion in the buffer. If this variance is not approved the land will erode into the neighbor's land and continue to cause issues. Under the current zoning ordinance this lot deprives the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner. There is no other location for the owners to enjoy their property and construct a pool except in the location evidenced on the site plan in this application.

2. The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.

3. The grant of the variance will not be materially detrimental to the public welfare or injury to the property or improvements in the zoning district in which the subject property is located.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship. If the owners are not allowed to construct the pool in the location on the site plan, they will not be able to have quiet enjoyment of the property like other neighbors that have a pool.

5. The requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text. We will do whatever is necessary, including block walls to be consistent with the house so it can be part of the addition to increasing property values and use of the property, should there be any issue.

B. Appeals of decisions regarding building architectural design standards shall be evaluated using the same criteria as section 7.6.7(B).

2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district. Other properties in the neighborhood have swimming pools.

3. Adequacy of public services, public facilities, and utilities to serve the proposed use.

4. The proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.
5. The size, scale and mass of proposed pool is appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.
6. The proposed use will not create a negative shadow impact on any adjoining lot or building because of the proposed building height.

Taslimm Quraishi



April 1, 2025

Zoning Board of Appeals

1300 Commerce Dr
Decatur, GA 30030

Dear Zoning Board,

My neighbor, John Holbrook, at 2522 Echo Dr will be submitting a variance application to allow him to build a retaining wall only a few feet off the property line. I fully support this, as without this wall his yard will continue to erode and we will have water issues, which we already have now. With this wall it will hold back the erosion and handle the water correctly. I am submitting this letter in support of his variance application to build the retaining wall between our properties. He has explained the building plans to me, and I have viewed them and fully support him building a wall for the purpose of stabilization. I also support the removal of trees as needed on the property line in order to construct the wall.

Sincerely,

A handwritten signature in black ink, appearing to read 'Taslimm'.

Taslimm Quraishi

SURVEYOR'S CERTIFICATION

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



Virgil F. Gaddy, Jr., C.A. PLS # 2661

7/12/24
DATE

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

GRID NORTH (GA WEST)

LEGEND

IPS IRON PIN SET
1/2" REBAR
RBF REBAR FOUND
CTF CRIMP TOP FOUND
OTF OPEN TOP FOUND
JB JUNCTION BOX
R/W RIGHT-OF-WAY
BL BUILDING LINE
P PROPERTY LINE
CB CATCH BASIN
FHW FENCE
SMH STORM MANHOLE
X-X FENCE
L.L. LAND LOT LINE
O.L. ORIGINAL LOT LINE
D.L. DRAINAGE EASMT.
S.E. SEWER EASMT.
U.L. UTILITY EASMT.
C.L. CHAIN LINE
PP POWER POLE
DP DRAINAGE POLE
LP LIGHT POLE
EP EDGE OF PAVEMENT
C CENTERLINE

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 29,568 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 98,137 FEET.

A LEICA TS13 03" R500 TOTAL STATION WAS USED TO OBTAIN ANGULAR AND LINEAR MEASUREMENTS.

GRID LOCATION & TOPOGRAPHIC DATUM OBTAINED USING A DUAL FREQUENCY LEICA GS14 RECEIVER AND GEORGIA LEICA RTK NETWORK. DATUM = NAVD88.

THE STRUCTURE ON THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089CD036K, EFFECTIVE DATE: 08-15-2019

AREA = 0.48 ACRE±

PROPERTY ZONED R-100 (DEKALB COUNTY)

SETBACKS SHOWN HEREON ARE BASED ON DEKALB COUNTY ZONING REQUIREMENTS AND ARE SUBJECT TO APPROVAL BY DEKALB COUNTY DEPARTMENT OF PLANNING.

DEKALB COUNTY HAS ESTABLISHED AN ADJACENT TO FUTURE CONDITION FLOOD (AFCF) ELEVATION OF 877.3 FOR THIS PROPERTY.

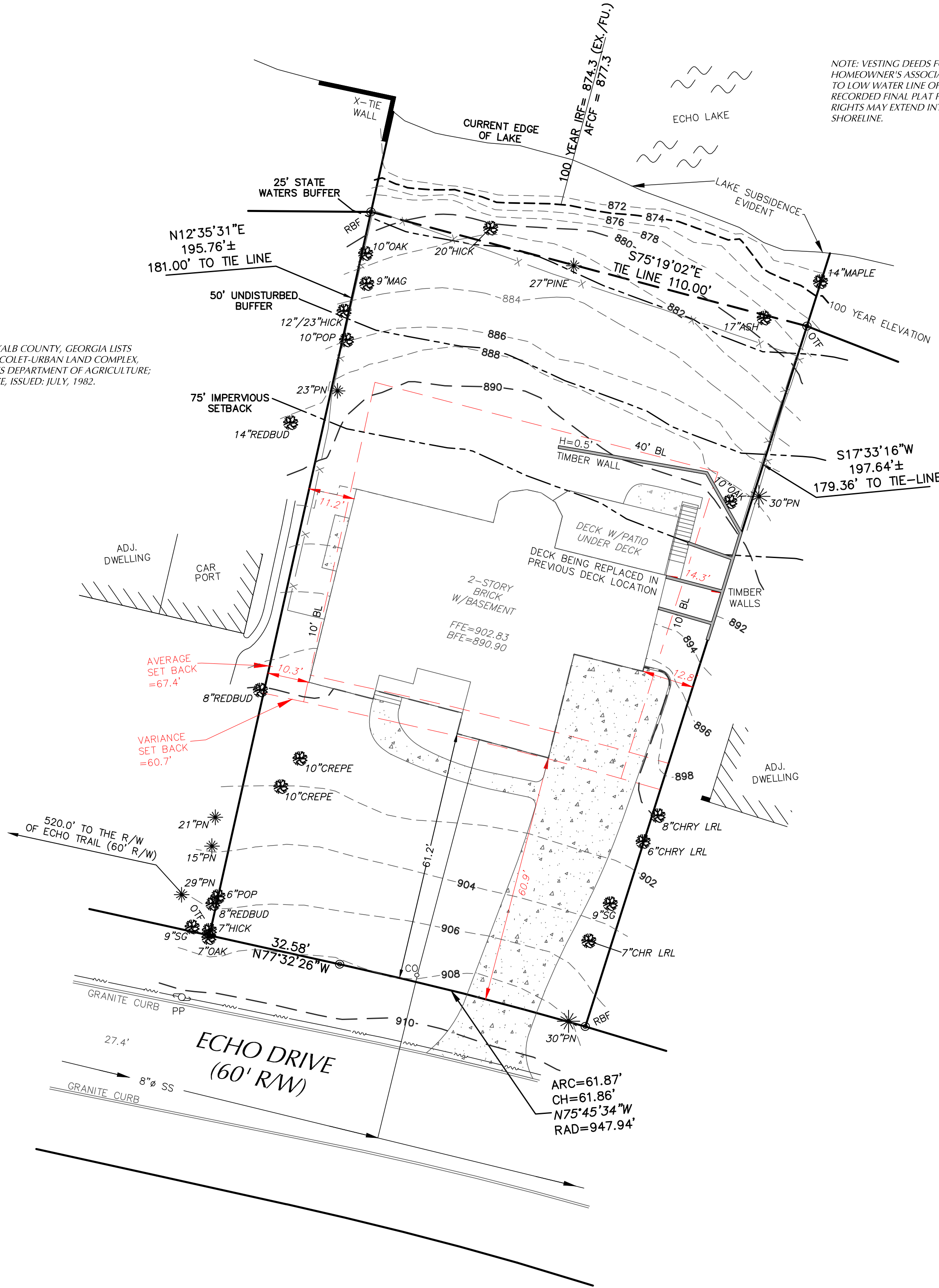
LOT COVERAGE CALCULATION (IN SQ.FT.):
LOT = 20,754

DWELLING = 3,404
FRONT PORCH = 40
DRIVEWAY / WALKWAY = 2,076
BASEMENT ENTRY = 48
REAR DECK / PATIO = 306
TIMBER WALLS = 83.5

TOTAL IMPERVIOUS = 6,157.5
LOT COVERAGE = 29.67%

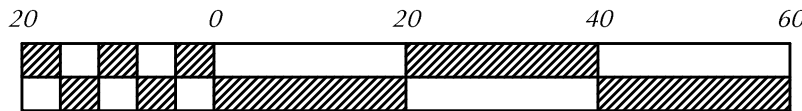
NOTE: SOIL SURVEY FOR DEKALB COUNTY, GEORGIA LISTS THE ENTIRE PROPERTY AS PACOLET-URBAN LAND COMPLEX, PREPARED BY: UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, ISSUED: JULY, 1982.

NOTE: VESTING DEEDS FOR PROPERTY AND ECHO LAKE HOMEOWNER'S ASSOCIATION REFERENCE PROPERTY RIGHTS TO LOW WATER LINE OF ECHO LAKE AS SHOWN ON RECORDED FINAL PLAT FROM 1957. ADDITIONAL PROPERTY RIGHTS MAY EXTEND INTO LAKE FROM CURRENT SHORELINE.



Existing Conditions

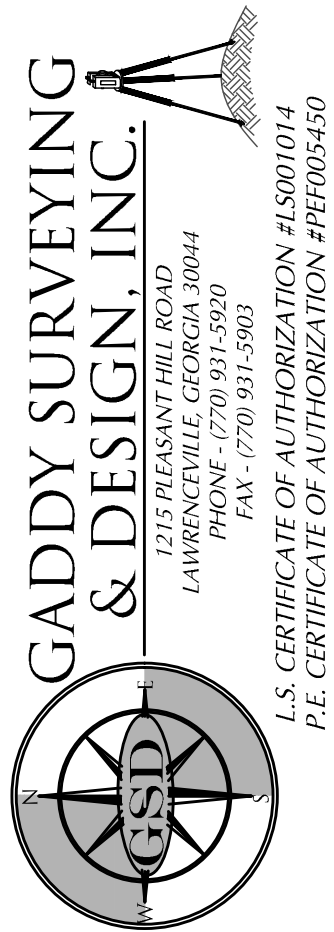
GRAPHIC SCALE



1 INCH = 20 FEET

PROJECT NUMBER
HPO-24-001

BY FIELD
CV 06-03-24 07:12:24
DRAWING



TOPOGRAPHIC SURVEY FOR:
JOHN & ANNA HOLBROOK
#2522 ECHO DRIVE
LOT 5 - BLOCK "A"
ECHO LAKE SUBDIVISION
(PLAT BOOK 27, PAGE 02)
LAND LOT 206 - 18TH DISTRICT
DEKALB COUNTY, GEORGIA

<p><u>24 - Hour local erosion</u> <u>and sediment control</u> <u>contact.</u> Havana Pools & Outdoors, LLC Jose Covelo - 4044833089 2232 River Heights Ct SE, Marietta, GA 30067. Business license - OCC033483</p>	<p><u>Distinct and super district</u> <u>commissioner</u> Commissioner :- Michele Long Spears Gi dYf W'a a ggjcbvYf.'!9Xk UfXf HYXf Terry</p>
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Lot size = 0.48 acre
 Required amount of storage = 67 cu.yd. x 0.48
 = 32.16 cu.yd.
 Required length of Slit fence = 107.2 feet

Abutting property owners

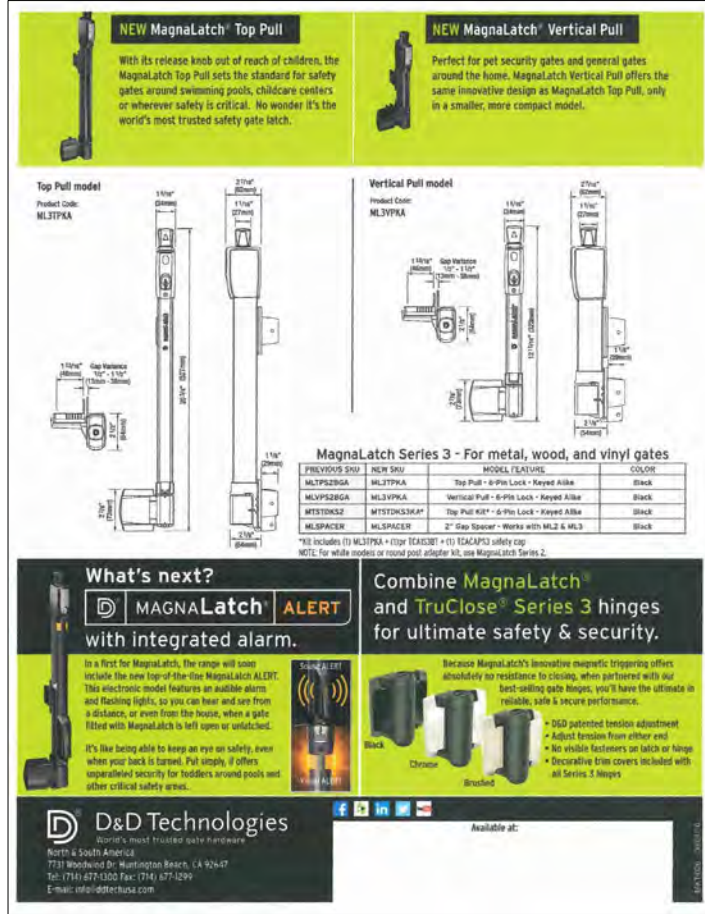
EROSION CONTROL SEEDING SCHEDULE (Ds1, Ds2, Ds3).

CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS BY TEMPORARILY RE-SEEDING UNTIL PERMANENT GROUND COVER IS ESTABLISHED. (MAXIMUM 3 WEEKS).

TOP DRESSING: APPLY WHEN PLANTS ARE 2-4 INCHES TALL.
FERTILIZER: AMMONIUM NITRATE 33%) 300 LBS PER ACRE.
SECOND YEAR FERTILIZER: (5-10-15) OR EQUIVALENT 500 LBS. PER ACRE.
SEEDING RATES:
 SUMMER 4/1-9/15 BERMUDA(HULLED) 10 LBS. PER ACRE
 COOL 9/1-11/1 FESCUE(KY 31) 50 LBS PER ACRE
 WINTER 11/1-4/15 ANNUAL RYE GRASS 50 LBS. PER ACRE
 WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE
 EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT

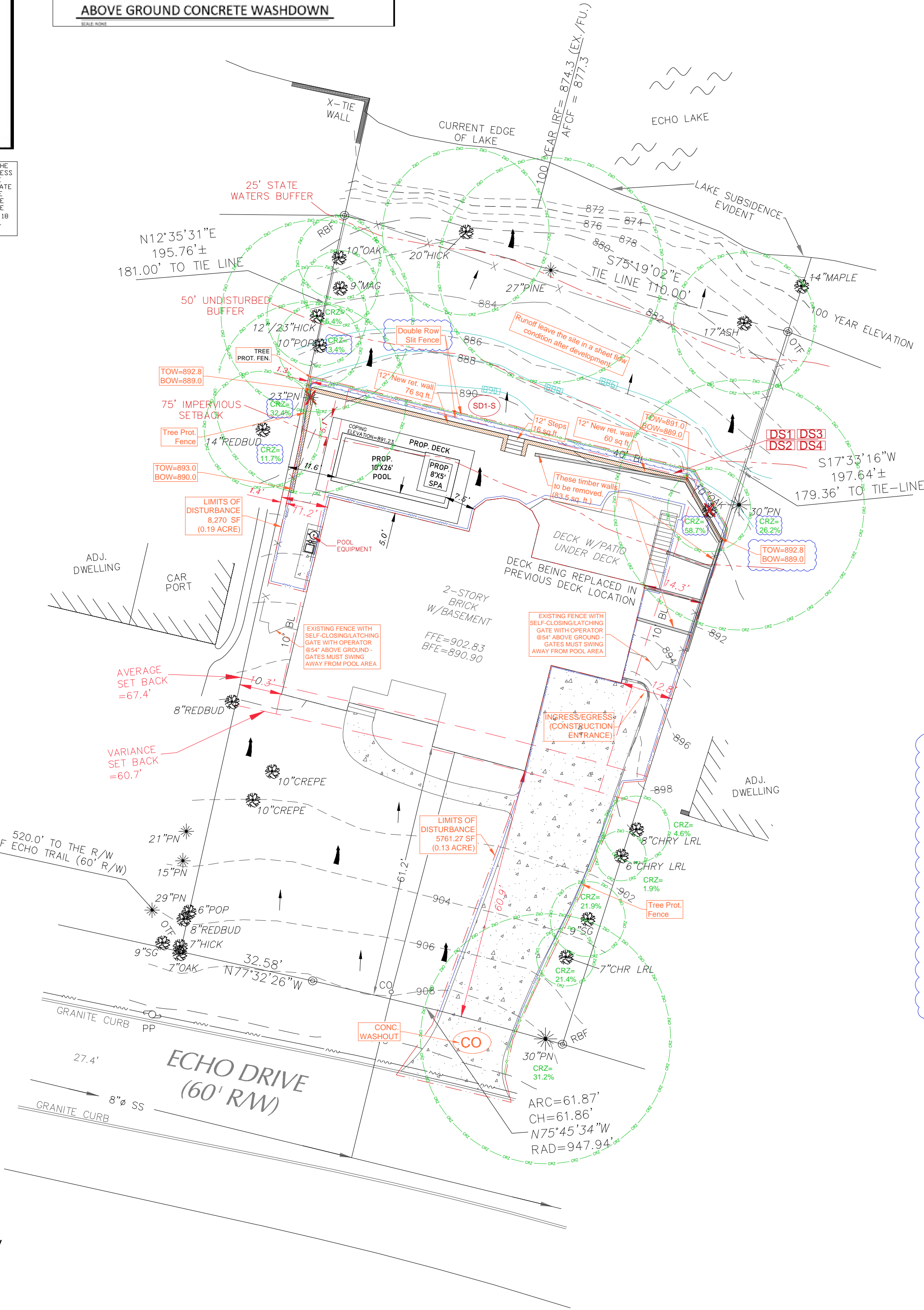
A MINIMUM FOUR FOOT (4') HIGH EFFECTIVE CONSTRUCTION SAFETY BARRIER SHALL BE IN PLACE AROUND ALL BUILDING EXCAVATIONS AT ALL TIMES DURING CONSTRUCTION, UNTIL A PERMANENT FENCED ENCLOSURE IS EFFECTIVELY IN PLACE AROUND THE BUILDING.

THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC., ONTO STREET WILL RESULT IN AN IMMEDIATE STOP WORK ORDER, AND IT WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRUCTED IN ACCORDANCE WITH THE CURRENT DETAIL.



- Dumpsters and/or temporary sanitary facilities shall not be located in the street or tree protection area or right-of-way.
 - Additional erosion controls shall be installed as deemed necessary by the on-site professional engineer.
 - The installation of erosion and sedimentation control measures and practices shall occur prior to or concurrent with land-disturbing activities.
 - Erosion and sedimentation control measures will be maintained all times. If full implementation of the approved plan does not provide for effective erosion and sediment control, additional erosion and sedimentation control measures shall be implemented to control or treat the sediment source.
 - All lots/sites with 2' of fill or greater will require a compaction certificate by a professional registered engineer prior to a building permit and/or for footers being poured.
 - Locate and field stake all utilities, easements, pipes, flood limits, stream buffers, and tree save areas prior to any land disturbing activities.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection devices to be installed prior to land disturbance and maintained until final landscaping.
 - All tree protection fencing to be inspected daily and repaired or replaced as needed.
 - A final as-built lot survey required prior to issuance of Certificate of Occupancy.
 - A final as-built water quality certificate required prior to Certificate of Occupancy.
 - Water quality BMP(s) to be installed at the time of final landscaping.
 - All collected water shall be directed to the water quality BMP(s).
 - No water quality BMP(s) allowed in undisturbed stream buffers or tree save/critical root zone.
- Work hours and construction deliveries are:
- Monday - Friday 7:00am - 7:00pm
 Saturday 8:00am - 5:00pm
- I, Travis Arcoia certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my direct supervision.

- As-built water quality certification shall be provided before issuance of Certificate of occupancy.
- Water quality BMP(s) to be installed at the time of final landscaping.
- All collected water shall be directed to the water quality devices. All runoff from roof drain shall be directed to the water quality BMP.
- Overflow from water quality BMP shall not adversely affect adjacent properties.

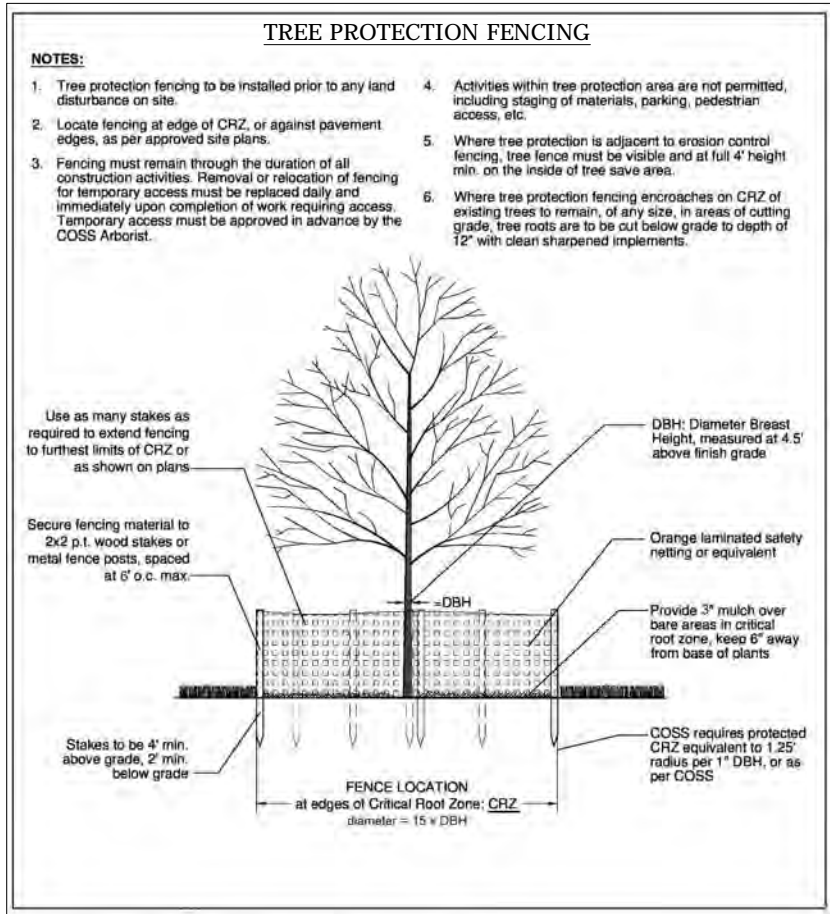


TOTAL IMPERVIOUS AREA	=	6,157.5 S.F
LOT COVERAGE	=	6,157.5/20,754

TOTAL NEW IMPERVIOUS AREA	=	6,157.5-83.5+779.0 S.F.
	=	6853 S.F.
NEW IMPERVIOUS COV.	=	6,853/20,754
	=	0.3302 =33.0%
TOTAL DISTURBED AREA	=	5761.27 S.F (0.13 ACRES)

EXISTING
50' Buffer Encroachment = 00.00 sq. ft
75' Buffer Encroachment = 240.73 sq. ft

PROPOSED
50' Buffer Encroachment = 00.00 sq. ft
75' Buffer Encroachment = 648.86 sq. ft

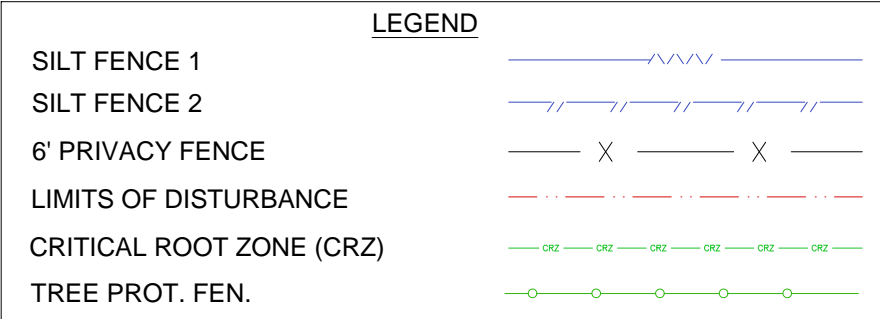


THE STRUCTURE ON THIS PROPERTY IS NOT
LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL
FLOOD HAZARD AREA AS PER DEKALB COUNTY
FLOOD INSURANCE RATE MAP #13089C0056K,
EFFECTIVE

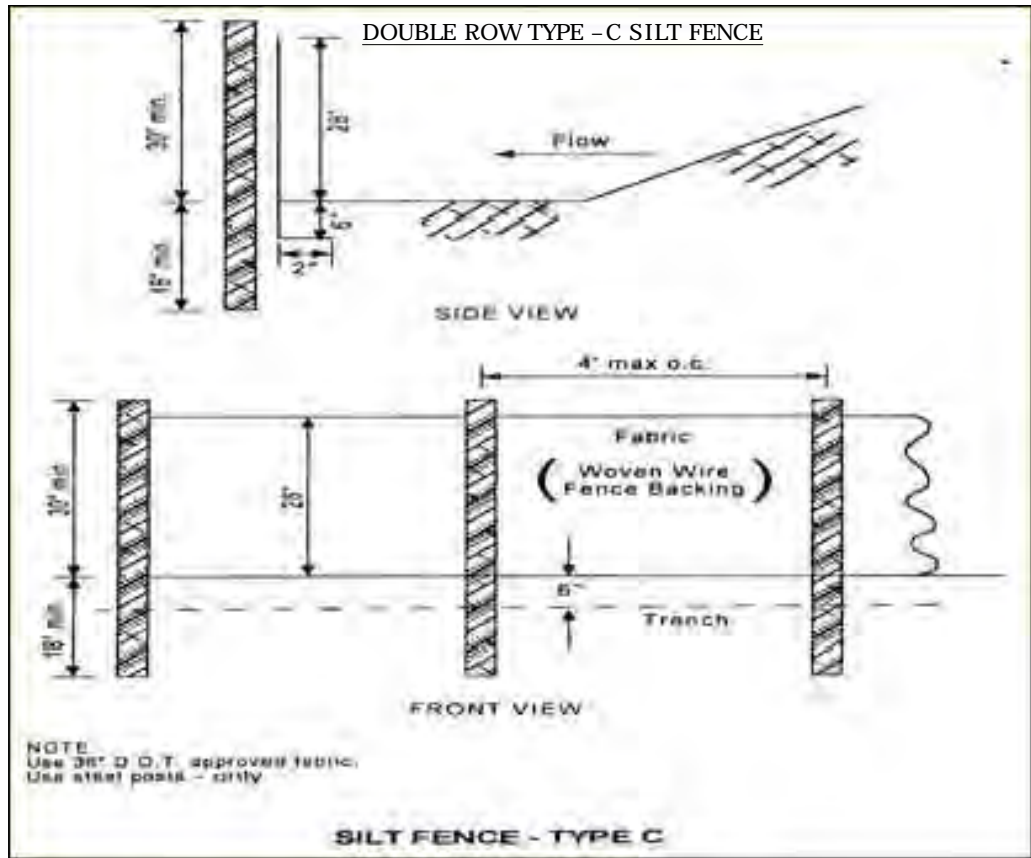
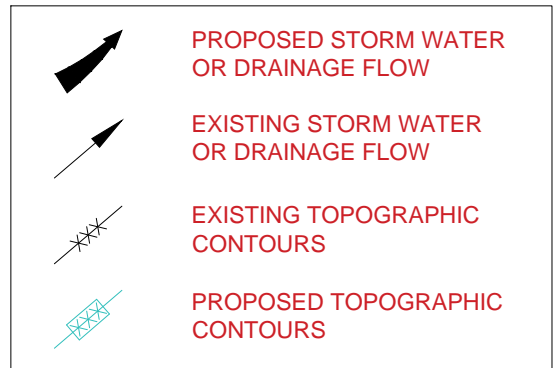
120"/acre = 58" to be preserved on site...116" saved;
116"-58" = 58"
surplus recompense for removal of specimen trees is
 $1.5 \times \text{DBH} = (10" \times 23") \times 1.5 = 49.5"$
 $58" \rightarrow 49.5"$
0" to be planted on site
OR 0" owed to the DeKalb County Tree Bank, monetary payment to the tree bank is
\$100/inch or \$00.00 owed to tree bank.

According to the Chart 1-3 per 14-39(g)(4). We need 15 density units per acre.
Subject Lot size = 0.48 Acre
Required tree density = $15 \times 0.48 = 7.2$ (8 Trees)
Remaining trees = 9 Trees

- *Soil Testing: Conduct soil tests to determine pH and nutrient levels. Amend soil as needed based on test results.
- *Irrigation: Ensure proper irrigation systems are in place to support plant growth, especially during dry periods.
- *Maintenance: Regularly monitor and maintain vegetation to prevent overgrowth, pests, and diseases.



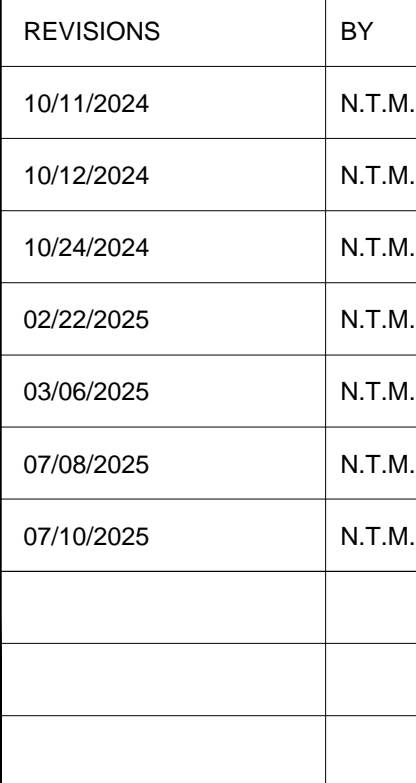
TREE NOTES				
RECOMPENSE FORMULA				
$\$ \text{AMOUNT} = \$100.00 \text{ [(# NO OF TREES DESTROYED} \times \text{# OF TREES LOST)} - \text{\# TREES REPLACED}]$ $+ \$30.00 \text{ [DBH INCHES DESTROYED} \times \text{DBH INCHES LOST)} - \text{\# CALIPER INCHES REPLACED}]$				
\$100.00 x # TREES DESTROYED	=	\$100.00 x 2	=	\$200.00
+ \$30.00 x DBH INCHES DESTROYED	=	\$30.00 x 33	=	\$990.00
- \$100.00 x TREES REPLACED	=	\$100.00 x 0	=	\$0.00
- \$30.00 x DBH INCHES REPLACED	=	\$30.00 x 0	=	\$0.00
			=	\$1190.00



- *International Building Code, 2018 Edition, with Georgia Amendments (2020)
- *International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- *International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- *International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- *International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- *International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- *National Electrical Code, 2020 Edition (No Georgia Amendments)
- *International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- *International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

Stabilize the area with retaining walls.

SCALE: 1"=20'



PROPOSED SITE PLAN FOR;
John & Anna Holbrook
25222 Echo Dr NE, Atlanta, GA 30345
DeKalb County, Georgia

JOB NO.	24-69
DRAWN	NADEERA
CHECKED	TODD
SCALE	NOTED
DATE	SEPTEMBER 2024

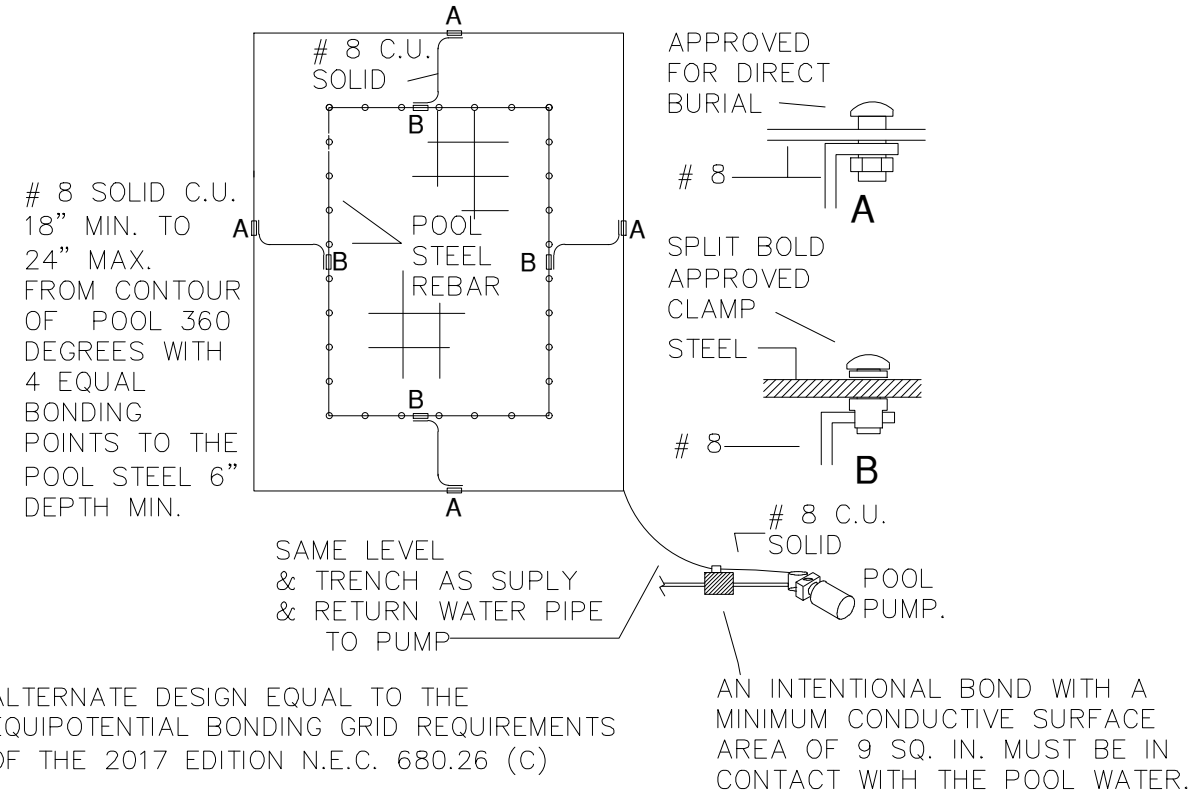
SHEET NO.

A-2

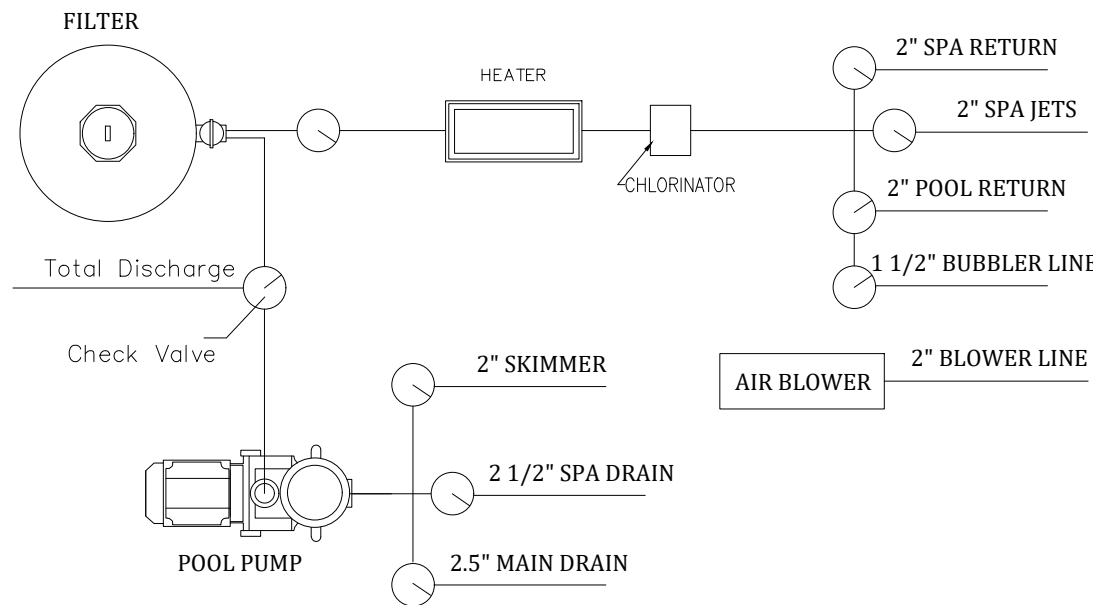
ELECTRICAL NOTES:

1. ALL POOL ELECTRICAL WORK SHALL BE ACCOMPLISHED IN COMPLIANCE WITH FBC 2020, 7TH EDITION, CHAPTER 42.
2. ALL POOL ELECTRICAL WORKS, GROUNDING AND BONDING MUST BE CONFORM WITH THE NEC 2017, ART.680.
3. AT LEAST ONE GFCI PROTECTED, 125-VOLT RECEPTACLE OUTLET IS REQUIRED BETWEEN 6 AND FEET OF THE INSIDE WALL OF THE POOL. NEC 680.22(A)(1) (RESIDENTIAL AND COMMERCIAL)
4. THE EQUIPMENT GROUNDING CONDUCTOR MUST BE A MINIMUM 12 AWG COPPER. NEC 680.21(A); 680.25(F)(2); 680.25(B)(1)
5. EQUIPOTENTIAL BONDING TO COMPLY WITH 2017 NEC 680.26(8) SHALL BE INSTALLED IN OR UNDER PAVED WALKING SURFACES FOR THREE FEET HORIZONTALLY BEYOND THE WALLS OF THE POOL. NEC 680.26(C) L 4 POINTS & DECK BONDING (360 DEGREES)
6. RECEPTACLE OTLETS ARE NOT PERMITTED WITHIN 6 FEET OF THE INSIDE WALLS OF A POOL. NEC 680.22(A)(2)
7. POOL PUMP MOTOR CIRCUITS, MUST BE PROVIDED WITH GFCI PROTECTION. NEC 680.21(C)
8. LIGHTING OUTLETS MUST BE LOCATED A MINIMUM OF 5 FEET FROM THE INSIDE WALL OF A POOL OR MOUNTED A MINIMUM OF 12 FEET ABOVE THE MAXIMUM WATER LEVEL. NEC 680.22(B)(1).
9. OVERHEAD CONDUCTORS ARE NOT PERMITTED OVER THE POOL OR THIN 10 FEET HORIZONTALLY FROM THE EDGE OS THE POOL. FBC 424.1.4.2.4
10. OVERHEAD CONDUCTORS SHALL NOT BE PERMITTED OVER THE POOL OR WITHIN 10 FEET HORIZONTALLY FROM EDGE OF THE POOL UNLESS PROVIDE WITH CLEARANCE TO COMPLY WITH NEC 680.8.
11. A CONDUCTIVE ELEMENT THAT IS PART OF THE POOL BONDING SYSTEM MUST BE IN DIRECT CONTACT WITH THE POOL WATER. IN THE ABSENCE OF RAILS, LADDERS OR NICHES, A WATER BONDING SHALL MEET THE REQUIREMENT. NEC 680.26(C).
12. ALL METAL PARTS WITHIN 5 FEET OF THE POOL MUST BE BONDED TO A COMMON BONDING GRID. NEC 680.26(8)(5)

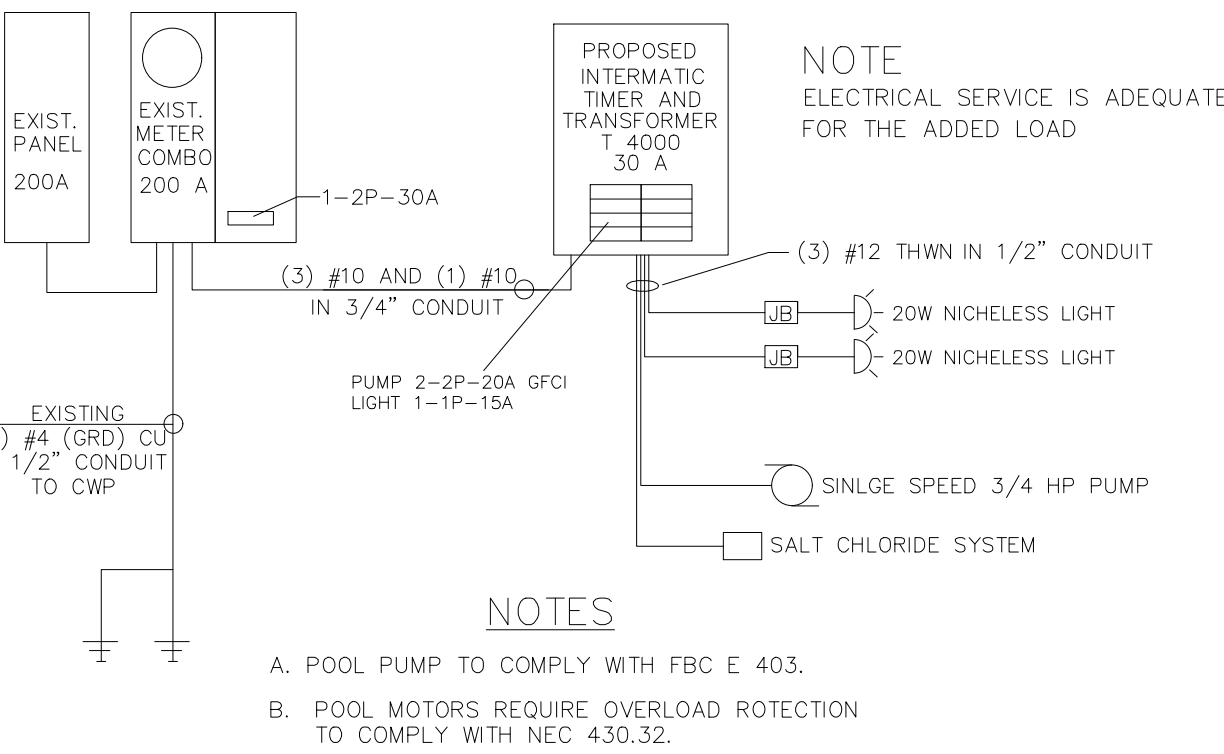
NOTE:
ALL METAL LOCATED WITHIN 5'
OF POOL WATER SHALL BE BONDED



BONDING DETAIL
NTS



PUMP CONNECTION DIAGRAM
NTS



ELECTRIC DIAGRAM

LIST OF POOL/SPA EQUIPMENT

- FILTER: PENTAIR C & C PLUS (SIZE 420)
- MAIN PUMP: PENTAIR WHISPERFLO 2HP
- GAS HEATER: PENTAIR MASTERTEMP 400 (400,000 BTU)
- ADD'L PUMPS: ¾ H.P. BOOSTER PUMP
- CHLORINATOR: INTELLICHLOR IC-40
- CLEANER: POLARIS 280 VAC SWEEP
- POOL LIGHT: 2 PENTAIR LED COLOR
- SPA LIGHT: 1 PENTAIR LED LIGHT
- POOL/SPA CONTROL: EASYTOUCH-8 WIRELESS

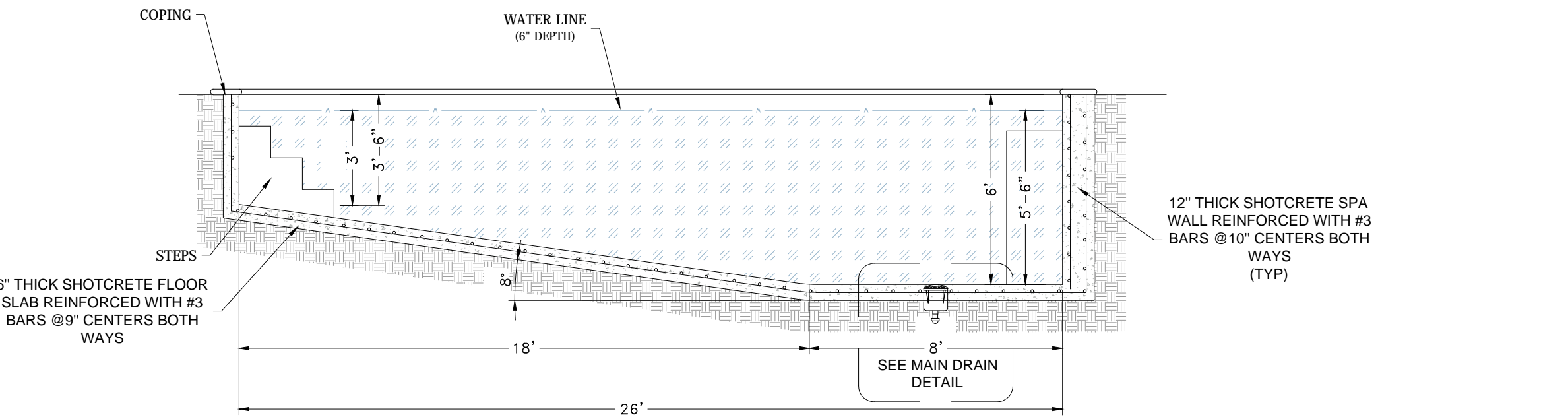
PLUMBING NOTES:

1. ALL POOL EQUIPMENT PIPING SHALL BE SCHEDULE 40, PVC-PW, ON-THREADED, NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HENGERS.
2. ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1-1/2" DIAMETER, UNLESS OTHERWISE NOTED
3. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS.
4. ANTI VORTEX MAIN DRAINS SHALL HAVE ITS PLATE SECURELY FASTENED WITH TAMPER-PROOF SCREWS.
5. POOL VACUUM SHALL HAVE SPRING LOADED CAP IN ACCORDANCE WITH THE GEORGIA BUILDING CODE
6. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEORGIA BUILDING CODE AS IT PERTAINS TO BUOYANCY.
7. THE WATER VELOCITY THROUGH ALL SUCTION PIPING SHALL BE LESS THAN 8 FEET PER SECOND.
8. THE WATER VELOCITY THROUGH ALL PRESSURE PIPING SHALL BE LESS THAN 10 FEET PER SECOND.
9. ALL PIPING SHALL BE SUITABLE FOR EXPOSURE TO ULTRA VIOLET RADIATION AND NORMAL OPERATING TEMPERATURES

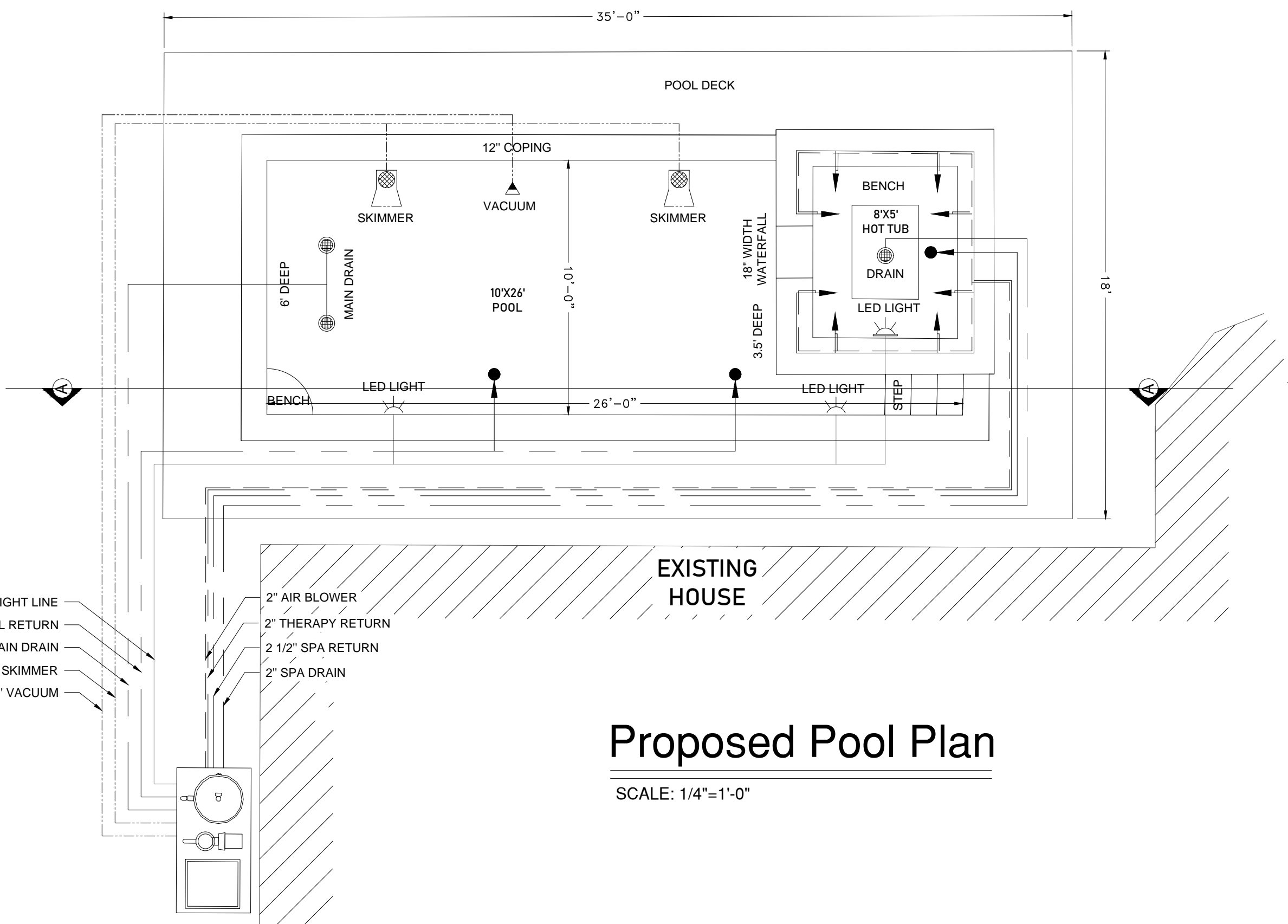
STRUCTURAL NOTES:

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 2500 PSI. REINFORCED STEEL FROM POOL WALL SHALL NOT BE BENT INTO A NEW OR FUTURE CONCRETE DECK. CONCRETE DECK SHALL BE FREE TO FLOAT BEYOND POOL WALL. EXCEPTION: STRUCTURAL DECKS SHALL COMPLY WITH THE DESIGN FOR SUPPORT SHOWN ON THESE PLANS.
4. ALL REINFORCING SPLICES SHALL BE 18" IN LENGTH UNLESS OTHERWISE INDICATED ON THESE PLANS.
5. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPALS.
6. POOL WALL REINFORCEMENT IS ADEQUATE TO WITHSTAND THE HORIZONTAL WATER LOADS PLACED ON THE POOL WALL FOR UP TO 18" OF EXPOSED POOL WALL ABOVE GRADE.

DATA	POOL	SPA	DECK
MAX. LENGTH (FEET)	26	8	35
MAX. WIDTH (FEET.)	10	5	18
DEPTH (FEET)	3.5 - 6	4	-
SURFACE AREA (SQ. FT.)	263	40	285
PERIMETER (FEET.)	136	26	106
VOLUME (GALLONS)	7,200	1,197	-



Section A - A
SCALE: 1/4"=1'-0"



Proposed Pool Plan
SCALE: 1/4"=1'-0"

DEVELOPER

Havana Pools & Outdoors, LLC
Jose Covello - 4044833089
2232 River Heights Ct SE,
Marietta, GA 30067.
Business License - OCC033483

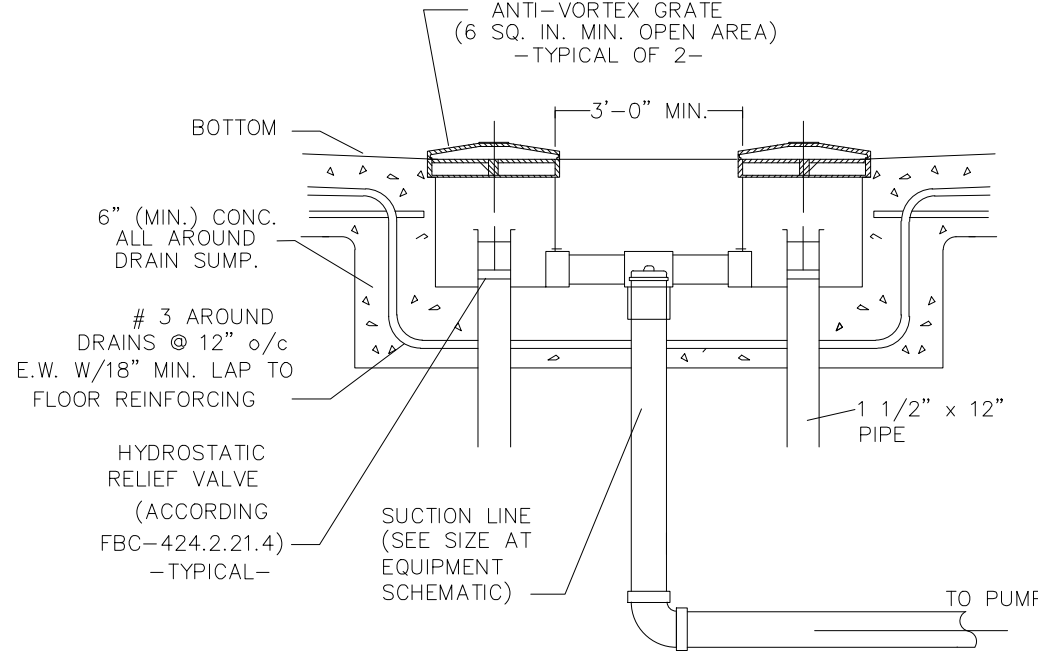
OWNER NAME

JOHN & ANNA
HOLBROOK

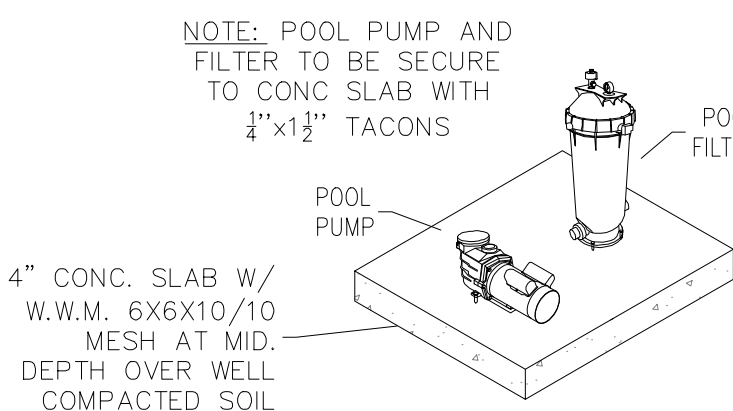
NOTE:

REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS:

- >> CONCRETE POURED AGAINST EARTH 3"
- >> CONCRETE EXPOSED TO EARTH OR WEATHER:
5' OR SMALLER 1-1/2"
6' OR LARGER 2"



DOUBLE MAIN DRAIN DETAIL
NTS



EQUIPMENT HOLD DOWN
NTS



REVISIONS	BY
10/11/2024	N.T.M.
10/12/2024	N.T.M.
10/24/2024	N.T.M.
02/22/2025	N.T.M.
03/06/2025	N.T.M.
07/08/2025	N.T.M.
07/10/2025	N.T.M.

PROPOSED POOL PLAN FOR;
John & Anna Holbrook
2522 Echo Dr NE, Atlanta, GA 30345
DeKalb County, Georgia

JOB NO.	24-69
DRAWN	NADEERA
CHECKED	TODD
SCALE	NOTED
DATE	SEPTEMBER 2024

APPLICABLE CODE

- *International Building Code, 2018 Edition, with Georgia Amendments (2020)
- *International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- *International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- *International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- *International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- *International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- *National Electrical Code, 2020 Edition (No Georgia Amendments)
- *International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- *International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

SCOPE OF WORK

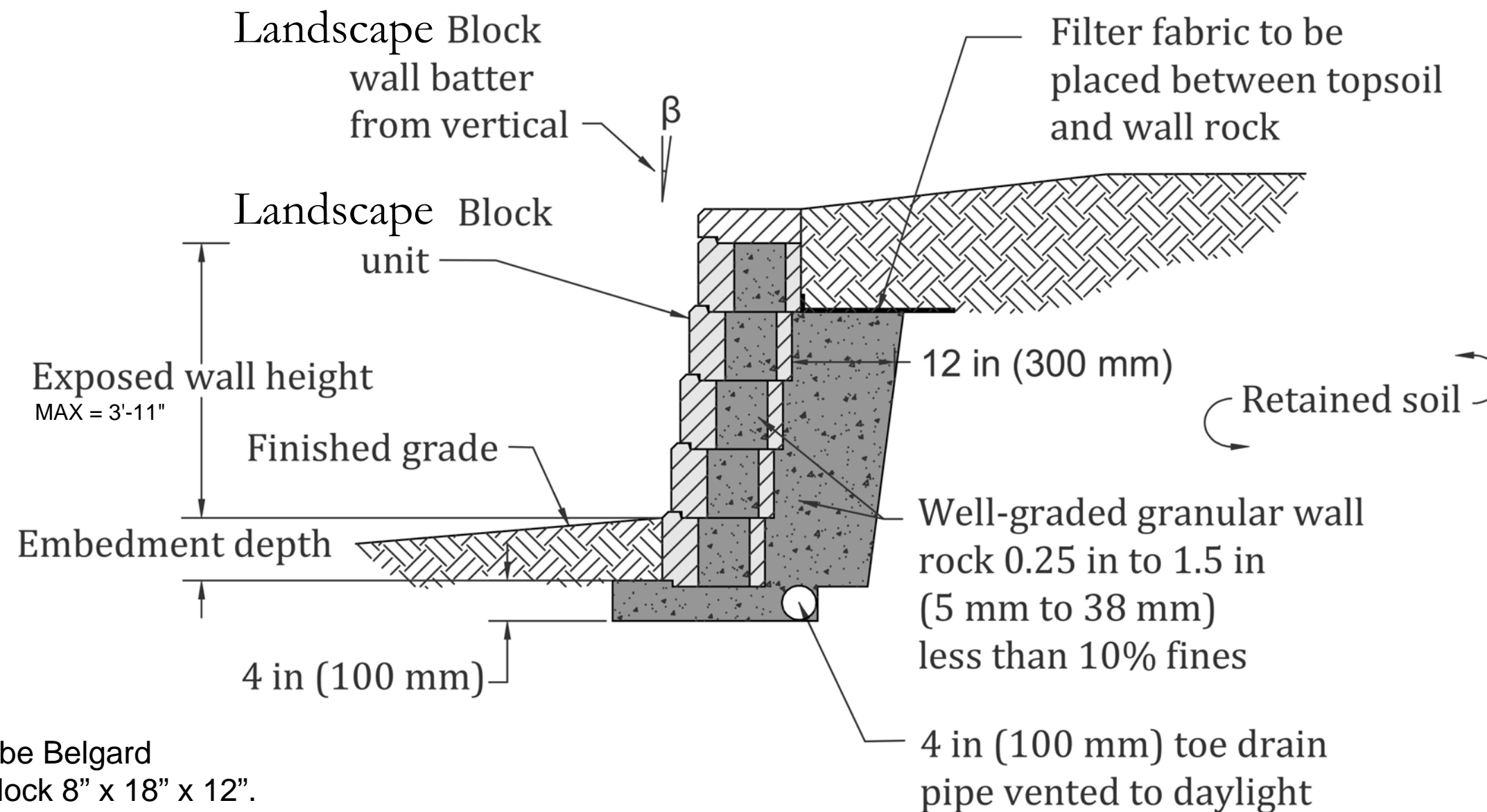
Stabilize the area with retaining walls.

Proposed Pool Plan

RELEASED FOR CONSTRUCTION

SHEET NO.

A-3



1. Block used will be Belgard Diamond Pro block 8" x 18" x 12".

2. Footer and backfill will be made out of gravel.

3. Wall will also include 4" perforated pipe.

LANDSCAPE BLOCK WALL DETAIL

(NOT TO SCALE)

SHEET NO.

A-4