



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals

Department of Planning & Sustainability

178 Sams Street,

Decatur, GA 30030

Wednesday, January 14, 2026

Planning Department Staff Analysis



Juliana
Njoku

Interim
Director

N7. Case No: A-26-1247893

Parcel ID(s): 16 218 03 210

Commission District 05 Super District 07

Applicant: Lisa Cephas – ASIL Remodeling Co.



Owner: LaVerne Huggins
2191 Terrance Court,
Lithonia, GA 30058

Project Name: 2191 Terrance Court

Location: 2191 Terrance Court, Lithonia, GA 30058

Requests: Application by Lesha Martin to request variance from §27-4.2.3(B) to increase the maximum permitted ADU size from 900 square feet to 1,878 square feet to facilitate conversion of an existing basement to an accessory dwelling unit.

Staff Recommendation: Approval with Conditions.

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.

STAFF FINDINGS:

Section 27-4.2.3(B) limits accessory dwelling units to 900 square feet of heated floor area. The applicant requests approval for an existing basement area of approximately 1,878 square feet to function as an ADU. The applicant states the space will be used for family occupancy only and will not be rented. The primary dwelling was constructed in 2004, prior to adoption of the current ADU size limitation (2015). The request does not propose exterior additions, grading, or increased impervious surface, and is framed as an interior conversion of an existing, below-grade area.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The subject property contains an existing basement constructed as part of the original home footprint. The basement is fully enclosed and the ADU conversion is limited to interior use of legally constructed space rather than construction of a new detached structure. Staff finds this is materially different from the typical ADU scenario the ordinance may anticipate, which often involves a newly built accessory structure.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The applicant requests an increase in permitted ADU size from 900 square feet to approximately 1,878 square feet to match the existing basement area. The request is substantial in terms of floor area; however, it is also tied to the fact that the basement already exists and was constructed as part of the principal structure. The space cannot be reduced to 900 square feet without significant structural demolition and loss of functional basement space.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The ADU may be contained entirely within the existing basement, which reduces the likelihood of visual or physical impacts to adjacent properties. The applicant also states the ADU is for family use only and not intended for rental, and that two neighbors have submitted letters of support noting that it may not increase density.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Hardship arises from the ordinance's 900-square-foot cap when applied to an existing basement that predates the current ADU standards. A literal application of the cap would effectively prohibit use of a legally constructed basement area as an ADU unless the owner undertakes significant interior demolition or leaves a large portion of the basement unused or inaccessible, which may be impractical and wasteful given the space was lawfully established as part of the home.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The intent of ADU regulations generally includes providing flexible housing options while maintaining compatibility with single-family neighborhoods and avoiding over-intensification. The applicant's request is presented as multigenerational family use within an existing house form, without exterior changes, which supports compatibility and reduces typical concerns associated with detached units or expanded footprints. Allowing an interior, below-grade family-use unit can be consistent with these planning objectives, provided the conversion is managed in a way that maintains neighborhood character and avoids impacts related to parking, external appearance, or commercialization.

FINAL STAFF ANALYSIS:

The request presents a unique circumstance in which the ADU size limitation is applied to an existing, legally constructed basement that predates the current ADU regulations. The proposal does not involve new construction, additions, grading, or increased impervious surface, and is framed as a family-use arrangement supporting multigenerational household needs. These factors weigh in favor of finding that the hardship is tied to existing site/building conditions rather than a self-created request for expansion.

At the same time, the magnitude of the increase (from 900 to approximately 1,878 square feet) requires staff to ensure the record clearly establishes what portion of the basement constitutes heated living area intended to function as the dwelling unit, and that the approval is limited to what is necessary. With floor plans, photographs, and a clear description of access and parking, staff finds the request can be consistent with public welfare and the spirit of the ordinance when conditioned appropriately.

Therefore, staff recommends **approval with conditions** of the application.

Staff Recommendation: Approval with Conditions.

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.
2. Approval shall be limited to use of the existing basement area as an accessory dwelling unit substantially in accordance with the floor plan(s) submitted with the application. Any material change to the approved layout or expansion of the ADU area beyond what is shown in the approved plans shall require additional review and approval as required by the County.
3. The accessory dwelling unit shall be for family use only and shall not be leased, rented, or used for short-term rental. Documentation of owner-occupancy of the principal dwelling shall be maintained as required by applicable County standards.
4. No exterior expansion, additional entrances that materially change the exterior appearance, or increase in building footprint is approved by this variance. Any exterior modifications shall require appropriate permits and must comply with all applicable zoning and overlay requirements.
5. The applicant shall obtain all required building permits, and the basement unit shall comply with all applicable building, fire, and life-safety requirements for an occupied dwelling unit (including, as applicable, egress, ceiling height, ventilation, smoke/CO alarms, and separation requirements).
6. Off-street parking shall be provided on-site in compliance with County requirements, and the ADU use shall not result in parking within the public right-of-way or unsafe conditions.

Application # 1247893

Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)



Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Lisa Cephas - ASIL Remodeling Co.
Mailing Address: [REDACTED]
City/State/Zip Code: [REDACTED]
Email: [REDACTED]
Telephone Home: [REDACTED] Business: [REDACTED]

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: LaVerne Huggins
Address (Mailing): 2191 Terrance Court, Lithonia, GA 30058
Email: [REDACTED] Telephone Home: [REDACTED] Business: [REDACTED]

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2191 Terrance Court City: Lithonia State: GA Zip: 30058
District(s): 5/7 Land Lot(s): [REDACTED] Block: [REDACTED] Parcel: 16 218 03 210
Zoning Classification: R-85 Commission District & Super District: [REDACTED]

CHECK TYPE OF HEARING REQUESTED:

- ☒ VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 11/19/25 _____

Applicant
Signature:



DATE: _____

Applicant
Signature:

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 11/19/25

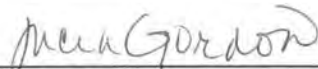
Applicant/Agent
Signature:

 11-20-2025


TO WHOM IT MAY CONCERN:

(I)/ (WE): LaVerne Huggins
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.



Notary Public



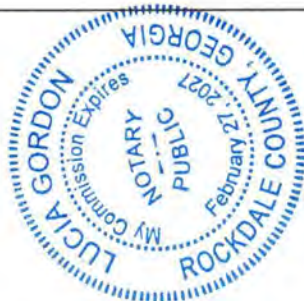
Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature





November 19, 2025

Zoning Boards of Appeals
Department of Planning & Sustainability
178 Sams Street
Decatur, GA 30030

Subject: Variance Request – Section 27-4.2.3(B)

Dear Members of the Zoning Board of Appeals,

My name is Lisa Cephas, and I am submitting this request on behalf of the property owner, Ms. LaVerne Huggins, for a variance from Section 27-4.2.3(B) of the DeKalb County Zoning Ordinance, which limits Accessory Dwelling Units (ADUs) to 900 square feet. We respectfully request approval for an existing 1,878 square foot basement to function as an accessory dwelling unit for family use only, specifically for Ms. Huggins' daughter and granddaughter, who visit frequently from out of town. This space will not be rented.

1. Physical Conditions of the Site

The subject home was built in 2004, more than a decade before the current ADU size limitations were adopted in 2015. The property has an irregular lot shape, and the basement was constructed as part of the original structure, fully enclosed and below grade. This existing condition was not created by the current owner. The zoning ordinance presumes that ADUs are newly built, stand-alone structures. In this case, the ADU is entirely within an existing basement footprint that cannot be reduced without substantial structural demolition and loss of functional space.

2. Minimum Variance Necessary

The variance request does not exceed the minimum necessary for reasonable use of the existing space. No exterior additions, grading, or increases in impervious surface are proposed. Approval simply allows use of a basement that already exists at 1,878 sq ft. Reducing it to 900 sq ft is not feasible without damaging structural components.

3. No Detriment to Public Welfare

The proposed use will have no negative impact on the neighborhood or surrounding properties. The ADU is for family use only and will not increase traffic, noise, or density. The dwelling unit is entirely inside the existing structure with no exterior changes. Neighbor support letters are being gathered as recommended by Planning staff.

4. Undue Hardship from Literal Interpretation

Literal application of the 900 sq ft ADU limit creates hardship because it prevents use of legally constructed space that predates the ordinance. The homeowner cannot reasonably use the basement as intended without this variance.

5. Consistency with Spirit and Intent of the Ordinance

The property is designated SUB (Suburban) in the Comprehensive Plan, which encourages flexible housing options and supports multigenerational living. This request is fully consistent with those goals and maintains the character of the existing single-family home and neighborhood.

Conclusion

For these reasons, we respectfully request approval of the variance to allow the existing 1,878 sq ft basement to function as a family-use accessory dwelling unit. Thank you for your time and thoughtful consideration.

Sincerely,

L. Cephas

Lisa Cephas
Applicant/Authorized Representative
(On behalf of owner, LaVerne Huggins)

2191 TERRANCE CT BASEMENT

PROJECT INFO - CODE SUMMARY

APPLICABLE CODES TO GEORGIA (Residential Construction)

NOTE: All construction described in these plans shall be constructed in compliance with Codes and Standards adopted by the State of Georgia and used for the design of the Commercial Construction and occupancy

International Building Code (IBC), 2018 Edition, with 2020 GA amendments
International Building Code (IBC), 2018 Edition, with 2020 GA amendments
International Plumbing Code (IPC), 2018 Edition, with 2020 GA Amendments
International Mechanical Code (IMC), 2018 Edition, with 2020 GA Amendments
International Fuel Gas Code (IFGC), 2018 Edition, with 2020 GA Amendments
International Fire Code (IFC), 2018 Edition
International Energy Conservation Code (IECC), 2015 Edition, with 2020 GA Amendments
National Electrical Code (NEC), 2017 Edition, with no GA Amendments
Chapter 120-3-3, Georgia State Minimum Fire Safety Standard / 2020 Life Safety Code
Chapter 120-3-20, Georgia Accessibility Code / ADA Standards
NFPA 101 2015 ED LIFE SAFETY CODE with 2020 GA Amendments

IRC-2012 BUILDING CLASSIFICATION

TYPE V CONSTRUCTION
UNPROTECTED, UNSPRINKLERED

BUILDING OCCUPANCY CLASSIFICATION

R-3A RESIDENTIAL
CEILING HEIGHT @ 9'-1" AND @ 8'-1"
IN TWO STORY BUILDING W/STEM WALL FOOTING
AND GRADE LEVEL ACCESS
BUILDING HEIGHT: 35'-3"

SQUARE FOOTAGE SUMMARY

SEE SQUARE FOOTAGE ANALYSIS TABLE

PROJECT INFORMATION

PROJECT NAME: TERRANCE CT
PROJECT ADDRESS: 2191 TERRANCE CT
TYPE OF CONSTRUCTION: CONVENTIONAL LIGHT FRAME CONSTRUCTION
DESIGNER: NYKEIL DAVIS & ASSOCIATES 878-357-8332 WWW.NYKEILDAVIS.COM
CONTRACTOR: LISA CEPHAS (ASIL REMODELING) 404-374-9867

SCOPE OF WORK

BASEMENT RENOVATION BUILD OUT

DRAWING INDEX

C1 COVER SHEET
C2 SPECS. AND NOTES
ARCHITECTURAL: PLAN AND ELEVATIONS
A1 BASEMENT PLAN/PROPOSED/EXISTING
E1 ELECTRICAL PLAN BASEMENT FLOOR

SQUARE FOOTAGES

BASEMENT 1955S.F.

RELEASED FOR CONSTRUCTION

NYKEIL DAVIS
DESIGN, BUILD MANAGEMENT
WWW.NYKEILDAVIS.COM

1911 Grayson
HWY STE #
8-315
Grayson GA
30017
PROJECT
X
RESIDENCE

TOWN, STATE
DATE 24 FEB 2020
PROJECT
NO
REVISION
1
2
3
4
5
6
7
8
9
10

1. ALL DIMENSIONS
SHOWN ARE TO
F.O. UNLESS
OTHERWISE
NOTED
2. HOUSE DATUM: X"Y"
+ 0'-0"

COVER SHEET

2191 TERRANCE CT
LITHONIA GA 30058

MAIN
LEVEL
FLOOR
PLAN

SCALE: 1/4"=1'-0"

C1

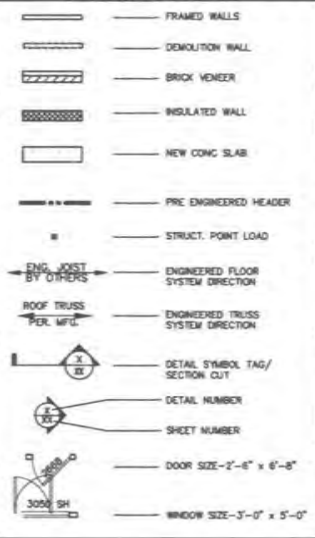
DRAWN BY: [Signature]

ARCHITECTURAL LEGENDS

ELECTRICAL LEGEND



GENERAL LEGEND



ABBREVIATIONS

A/C	AIR CONDITION	H.B.	HOSE BIB	M.C.	WALK IN CLOSET
A.F.F.	AT FINISH FLOOR	J.S.	JACK STUD	W/	WITH
ARCH.	ARCHITECTURAL	LAUD.	LAUNDRY	W.M.	WELDED WIRE MESH
BDR.	BED ROOM	LIN.	LINEN		
C.O.	CASED OPENING	MDF	MEDIUM DENSITY FIBERBOARD		
CLG.	CEILING	ML.	MILLIMETERS		
C.L.	CENTER LINE	D.C.	ON CENTER		
C.	COLUMN	DPT.	OPTIONAL		
DET.	DETAIL	DSR.	ORIENTED STRAND BOARD		
DR.	DOOR	PAN.	PANTRY		
DW.	DISH WASHER	POLY.	POLYETHYLENE		
DWG.	DRAWING	REFRIG.	REFRIGERATOR		
DN.	DOWN	1R & 1S	1 ROD & 1 SHELF		
EA.	EACH	4 SH.	SHELF		
ELEC.	ELECTRIC	S.R.G.	SHEETROCK OPENING		
ENP.	ENGINEERING WOOD PRODUCTS	STD.	STANDARD		
FLD.	FLOOD	TND.	TREADS		
FLT.	FLAT	TYP.	TYPICAL		
GAR.	GARAGE	UTL.	UTILITY		
HGT.	HEIGHT	VC.	VICTORY		
H.V.A.C.	HEATING VENTILATION & AIR CONDITIONING				

SLAB NOTES

- PLANS ARE DESIGNED TO MEET THE 2008 IBC RESIDENTIAL CODE/ 2008 IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH MUNICIPALITY.
- PRESUMPTIVE SOIL CAPACITY IS 2000.
- ALL HOUSE SLABS AND GARAGE ARE TO BE 3,000 PSI CONCRETE MINIMUM, UNLESS OTHERWISE NOTED.
- ALL INTERIOR GRADE BEAMS SHALL BE SIZED TO PROVIDE NOT LESS THAN 8" OF PROJECTION ON EITHER SIDE OF THE BEARING WALL, UNLESS NOTED OTHERWISE OR SUPERCEDED BY LOCAL REQUIREMENTS.
- GRADE BEAMS SHALL BE INSTALLED WITH A TYPICAL OVERALL DEPTH, INCLUDING SLAB THICKNESS, OF NOT LESS THAN 12" UNLESS NOTED OTHERWISE OR SUPERCEDED BY LOCAL REQUIREMENTS.
- ALL SLABS ARE 4" CONCRETE SLAB WITH W.W.M. REINFORCED OVER 6 MIL. POLY OVER 4" COMPACTED FILL, UNLESS NOTED OTHERWISE.

ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR TO PLACE STANDARD WALL OUTLETS AND SMOKE DETECTORS PER LOCAL CODE.
- ALARM FANS TO BE PLACED BY CONTRACTOR.
- PRE WIRE STANDARD FOR GARAGE DOOR OPENERS.
- ELECTRICAL CONTRACTOR TO PLACE DISHWASHER SWITCH PER LOCAL CODE.
- 220V OUTLET FOR STOVE AND DRYER PER COMMUNITY SPEC.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND NECESSARY PERMITS AND OBTAIN AND PAY FOR ALL FEES AND PERMITS REQUIRED TO INSTALL A COMPLETE ELECTRICAL SYSTEM.
- IT IS THE INTENT OF THESE PLANS FOR THE ELECTRICAL CONTRACTOR TO PROVIDE A COMPLETE SYSTEM, REGARDLESS OF WHETHER EACH INDIVIDUAL COMPONENT IS MENTIONED OR NOT.
- WORK PERFORMED BY THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE STANDARDS OF THE FOLLOWING CODES AND ORDINANCES:
 - NATIONAL ELECTRICAL CODE LATEST EDITION
 - N.E.C.A. STANDARD OF INSTALLATION
 - THE ELECTRICAL UTILITY COMPANY SERVICE STANDARDS
 - UNDERWRITERS LABORATORY STANDARDS
 - OTHER LOCAL CODES, ORDINANCES AND LAWS APPLICABLE TO THE LOCATION OF THIS PROJECT.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY AND THE ELECTRIC UTILITY COMPANY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TIMELY PLACEMENT OF ALL CONDUITS, OUTLET BOXES, CABINETS, AND OTHER WIRING DEVICES IN FLOORS, WALLS, CEILINGS, ETC. AS THE CONSTRUCTION PROGRESSES.
- OUTLET BOXES SHALL BE LOCATED AS FOLLOWS:
 - WALL SWITCHES - 42" ABOVE FINISH FLOOR
 - CONVENIENCE OUTLETS - 14" (18" A.F.F. CENTER)
 - EQUIPMENT OUTLETS AS REQUIRED (N.E.C.A.)
- CONDUCTORS SHALL BE COPPER TYPE THW/THHN.
- CONVENIENCE RECEPTACLES SHALL BE 15 (20AMP), 125 VOLT N.E.M.A. 5-1520R.
- WALL SWITCHES SHALL BE 20 AMP, 120/277 V. AC, SINGLE POLE OR AS INDICATED ON THE DRAWINGS.
- CIRCUIT BREAKER PANELS SHALL BE BY SQUARE D, SIEMENS, OR GENERAL ELECTRIC.
- GROUNDING OF ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE N.E.C. AND LOCAL REQUIREMENTS.
- ALL MATERIAL SHALL BE NEW AND U.L. APPROVED AND LABELED.
- ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE TESTED AND ADJUSTED FOR PROPER OPERATION. COMPLETE WIRING SYSTEM SHALL BE FREE OF SHORT CIRCUITS.
- THE ELECTRICAL CONTRACTOR SHALL MAKE COMPLETE CONNECTIONS TO ALL EQUIPMENT. COORDINATE WITH EQUIPMENT SUPPLIER FOR EXACT LOCATIONS AND REQUIREMENTS.

GENERAL NOTES

GENERAL NOTES:

- ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. WRITTEN DIMENSIONS AND NOTES SHALL CONTROL.
- SEE ROOF PLAN AND/OR EXTERIOR ELEVATIONS FOR OVERHANG.
- ALL INTERIOR BOX COLUMNS ARE 10x10", UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS ARE 45°, UNLESS NOTED OTHERWISE.
- THE GARAGE IS TO BE SEPARATED FROM THE LIVING AND ATTIC SPACE BY A MINIMUM OF A 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
- ALL DOORS ARE 4" FROM HINGED CORNER OR CENTERED, UNLESS NOTED OTHERWISE.
- PLANS ARE DESIGNED TO MEET THE 2008 IBC RESIDENTIAL CODE/ 2008 IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH MUNICIPALITY.
- PROVIDE WOOD BLOCKING BEHIND CEILING FANS.
- USE 2x4 BLOCKING @ 36", 48", 72" A.F.F. TO CENTER LINE OF BLOCK FOR KITCHEN CABINETS AND @ 30" A.F.F. TO CENTER LINE OF BLOCK FOR BATHROOM CABINETS.
- CLOSETS TO HAVE 1 ROD AND 1 SHELF WHERE SHOWN UNLESS NOTED OTHERWISE.
- 18x15" - SHELF @ 36" A.F.F., 20x15" - SHELF @ 60" A.F.F., 2nd ROD @ 36" A.F.F.
- LINEN CLOSETS AND PANTRIES TO HAVE (5) 18" DEEP SHELVES UNLESS NOTED OTHERWISE. FIRST SHELF TO BE @ 36" AFF W/ SHELF SPACING 12" O.C. ASV.
- UTILITY ROOM TO HAVE (1) 18" SHELF AT 60" A.F.F. ABOVE WASHER & DRYER. CABINETS ARE PER COMMUNITY SPEC.
- DOOR INTO THE HOUSE FROM THE GARAGE TO BE WEATHERSTRIPPED SOLID CORE.
- ALL MIRROR WIDTHS TO BE 3" LESS THAN OVERALL VANITY WIDTH. MIRROR HEIGHTS ARE PER COMMUNITY SPEC.
- CENTER OF TOILET TO BE A MIN. OF 15" FROM THE VERTICAL SURFACE OF SIDE WALLS, CABINETS OR OTHER OBSTRUCTION. PROVIDE A MIN. OF 21" CLEAR FROM TOILET TO THE VERTICAL FACE OF A TUB OR OTHER OBSTRUCTION. EDGE OF TOILET TO BE A MIN. 6" FROM PEDESTAL OR WALL MOUNTED LAV.
- FACE EDGE OF SHOWER UNITS TO HAVE A MIN. 24" CLEAR TO ANY VERTICAL SURFACE.
- A/C PADS ARE TO BE 36x36" OR 36x72" FOR 2-UNIT A/C PAD.
- STUB GAS LINE 6" AFF AT CENTERLINE OF RANGE.

FIREPLACE ROUGH OPENING

FP BOX SIZE	OPENING WIDTH	OPENING HEIGHT
36" BOX	42"	34 1/2"
42" BOX	48"	34 1/2"

DRAINAGE NOTES:

- PROVIDE SITE DRAINAGE AS REQUIRED BY SITE TOPOGRAPHY.
- FINISH FLOOR SHALL BE A MIN. 6" ABOVE ADJ. FINISH GRADE FINISH GRADE SHALL SLOPE 5% FOR A MIN. DISTANCE OF 10' FROM HOUSE TO AN APPROVED DRAINAGE SYSTEM.

GEN. FRAMING NOTES:

- ALL EXTERIOR WALLS SHALL BE CONSIDERED LOAD BEARING. ALL LOAD BEARING WALLS ARE NOMINAL 2x4 AT 16" O.C. UNLESS NOTED OTHERWISE. ALL NON-LOAD BEARING WALLS ARE NOMINAL 2x4 AT 24" O.C. UNLESS NOTED OTHERWISE.
- INTERIOR WET WALLS SHALL BE FRAMED 2x6 TO ALLOW FOR PLUMBING. EXTERIOR WET WALL SHALL BE FRAMED 2x6 TO ALLOW FOR INSULATION AROUND PLUMBING.
- ALL 2x4 WALL HEADERS SHALL BE 2x2x10s w/ 1/2" PLYWOOD FLUTCH PLATE BETWEEN. UNLESS NOTED OTHERWISE, ALL 2x6 WALL HEADERS SHALL BE 3x2x10s w/ 1/2" PLYWOOD FLUTCH PLATES BETWEEN. UNLESS NOTED OTHERWISE, ALL 2x MATERIAL CUT FOR USE IN HEADERS SHALL BE CUT FROM 16x47 BOARDS.
- CRIPPLE DOWN OVER ALL INTERIOR NON-BEARING WALL OPENINGS. UNLESS NOTED OTHERWISE.
- EACH END OF A HEADER FOR WALL OPENINGS UP TO 72" WIDE SHALL REST ON A SINGLE JACK-STUD. EACH END OF A HEADER FOR WALL OPENINGS GREATER THAN 72" SHALL REST ON (2) JACK-STUDS, UNLESS NOTED OTHERWISE.
- MULTIPLE WINDOW OPENINGS SHALL HAVE (2) STUDS TO MATCH WALL WIDTH BETWEEN WINDOW UNITS UNLESS NOTED OTHERWISE.
- SHEATHING ON ALL PREPARED CHASES SHALL BE 7/16" O.S.B. PREPARED OPENING SHALL BE FRAMED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS FOR SIZE AND CLEARANCE OF OPENING.
- ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 7/16" O.S.B. PLYWOOD. NAILING SCHEDULE SHALL BE:
 - 8d COMMONS AT 6" O.C. AT ALL EDGES.
 - 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS.
- OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
- ROOF DECKING SHALL BE 7/16" O.S.B. PLYWOOD MINIMUM.

HEADER NOTES:

- HEADER MATERIAL TO BE A MIN. # 2 S.Y.P.
- HEADERS, LONGER THAN 9'-0", IF NOT SPECIFIED ON PLANS, ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- LOCATE HEADER DIRECTLY ABOVE OPENING. PROVIDE CRIPPLE FRAMING FROM TOP PLATE TO HEADERS AS REQUIRED.
- TABLE APPLIES TO ALL EXTERIOR WALLS AND LOAD BEARING INTERIOR WALLS. FOR NON-LOAD BEARING INTERIOR WALLS, USE 2x4s CUT FROM STUDS.
- DO NOT USE TABLE IF HEADERS SUPPORT CONCENTRATED LOADS.

HEADERS

HEADER SCHEDULE		
SPAN	FRAMING	LABEL
UP TO 6'-6"	2x10	HDR-A
6'-7" TO 9'-0"	2x12	HDR-B
OVER 9'-0"	BY ENGINEER	ENG.

Y KEIL DAVIS
DESIGN & BUILD MANAGEMENT

1911 Grayson
HWY STE #
8-315
Grayson GA
30017
PROJECT
X
RESIDENCE.

FORM STATE
DATE
PROJECT NO.
REVISION
NOTES
1. ALL DIMENSIONS
SHOWN ARE TO
F.O. UNLESS
OTHERWISE
NOTED
2. HOUSE DATUM: 1.1'
= 0'-0"

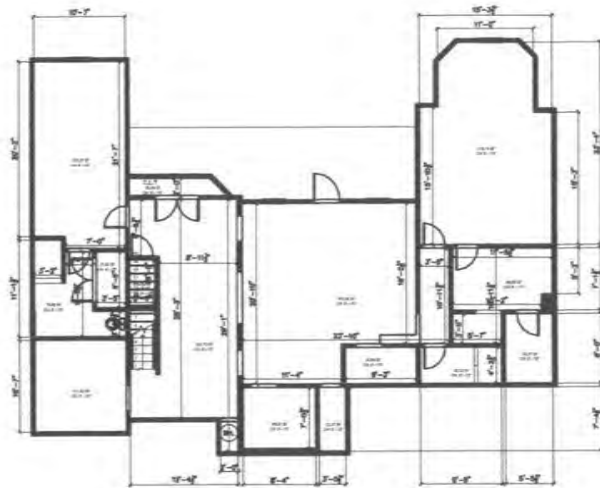
NOTES AND LEGEND
2191 TERRANCE CT
LITHONIA GA 30058

MAIN
LEVEL
FLOOR
PLAN

SCALE 1/4"=1'-0"

C2

CREATED BY: [Signature]



EXISTING FLOOR PLAN



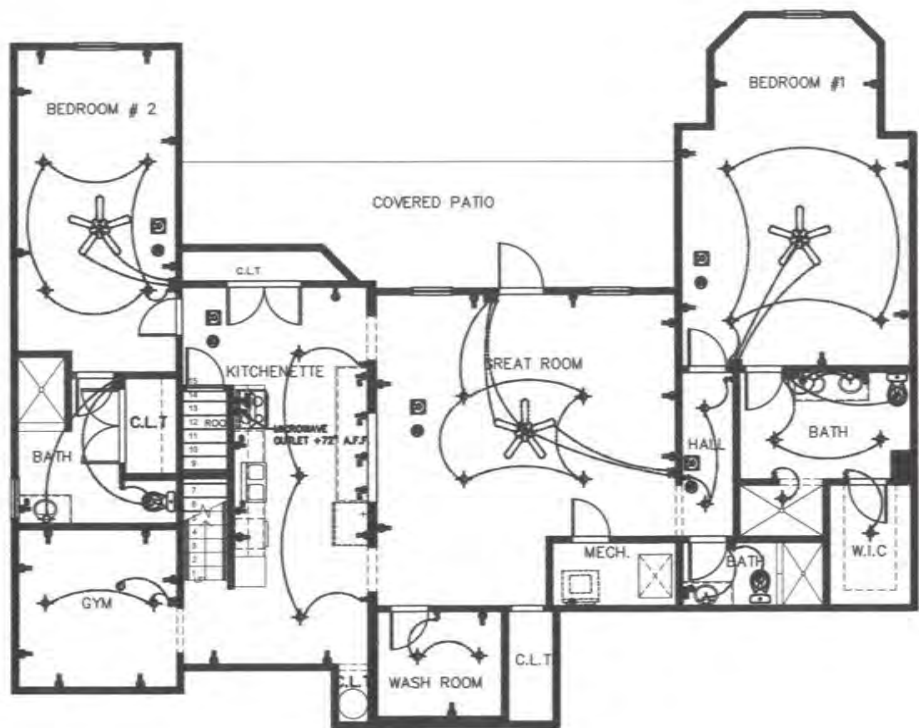
PROPOSED FLOOR PLAN

BASEMENT FLOOR PLAN
(SCALE: 1/8"=1'-0")

DRAWING NOTES:
1) CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS
2) ALL WORK SHALL COMPLY W/ LOCAL BUILDING CODES

RELEASED FOR CONSTRUCTION

 NYKEIL DAVIS DESIGN & BUILD MANAGEMENT	
1911 Grayson HWY STE # B-315 Grayson GA 30017 PROJECT X RESIDENCE	
TOWN STATE DATE PROJECT NO. REVISION	
NOTES: 1. ALL DIMENSIONS SHOWN ARE TO F.O. UNLESS OTHERWISE NOTED. 2. HOUSE DATUM: X.Y. 3. 1"=4'-0"	
BASEMENT FLOOR PLAN 2191 TERRANCE CT LITHONIA GA 30058	
MAIN LEVEL FLOOR PLAN	
SCALE: 1/8"=1'-0"	
A1	
DRAWN BY: [Signature]	



BASEMENT ELECTRICAL PLAN
(SCALE: 1/8"=1'-0")

RELEASED FOR CONSTRUCTION



1911 Grayson
HWY STE #
B-315
Grayson GA
30017
PROJECT
X
RESIDENCE

TOWN, STATE

DATE
PROJECT
NO.

REVISION

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Date: 11.20.25

To Whom It May Concern,

I am writing to express my support for the variance request submitted by Ms. LaVerne Huggins and her representative Ms. Lisa Cephas, regarding the property located at:

**2191 Terrance Court
Lithonia, GA 30058**

I understand that the request seeks a variance from Section 27-4.2.3(B) to allow the existing 1,878 sq ft basement to function as a family-use accessory dwelling unit. I fully support this request as it will not negatively impact the neighborhood, does not change the exterior appearance of the home, does not increase density, and is intended solely for family use.

Based on my knowledge of the property and the homeowners, I see no adverse effect on the surrounding community and believe this request should be approved.

Sincerely,

Name: Jacqueline A. Shepherd-Walker

Address: [REDACTED]

Signature: [Signature]

Date: Nov. 29, 2025

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I am writing to express my support for the variance request submitted by Ms. LaVerne Huggins and her representative Ms. Lisa Cephas, regarding the property located at:

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Lithonia, GA 30058**

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Based on my knowledge of the property and the homeowners, I see no adverse effect on the surrounding community and believe this request should be approved.

Sincerely, KATHLEEN P. BURKE

Name: KATHLEEN P. BURKE

Address: [REDACTED]

Signature: Kathleen P. Burke