

DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief of Executive Officer
Lorraine Cochran-Johnson

Director
Juliana A. Njoku

Planning Commission Meeting Date – Tuesday, March 3, 2026, 6:00 PM

(This meeting will be held online, via Zoom.)

Join from PC, Mac, Linux, iOS or Android: <https://dekalbcountyga.zoom.us/j/87468073122>
or Telephone Dial: USA 888-270-9936 (US Toll Free) Conference code: 691303

Meeting participant's or caller's phone numbers may be displayed to the public viewing or participating in the online meeting.

Board of Commissioners Meeting Date – Thursday, March 26, 2026, 5:30 PM

This is an in-person meeting & will be broadcast via live stream on DCTV's webpage, and on DCTVChannel23.TV.

<https://www.dekalbcountyga.gov/dctv/dctv-live-broadcast>

GOVERNMENT SERVICES CENTER - 178 SAMS STREET - DECATUR, GA 30030

Citizens may also email documents for inclusion into the official record by submitting such materials by
5:30 pm three (3) business days prior to the public hearing.

Email the DeKalb County Planning Commission at plansustain@dekalbcountyga.gov
Email the DeKalb County Board of Commissioners at publichearing@dekalbcountyga.gov

AGENDA

NEW CASES:

N1-2026-0138 Z-26-1247920 Commission District 05 Super District 07
15 222 03 014; 15 222 03 033
1437 & 1453 South Indian Creek Drive, Stone Mountain, GA 30083

Application of Sunlight Leaf, LLC c/o Battle Law, P.C. to rezone property from R-75 (Residential Medium Lot-75) to R-60 (Residential Small Lot-60) to allow a cottage home development.

N2-2026-0139 Z-26-1247923 Commission District 01 Super District 07
18 283 04 001; 18 266 05 014
3003 Chamblee-Tucker Road; 2936 Mercer University Dr.
Chamblee, GA 30341

Application of Urbanvue Apartments c/o Battle Law, P.C. to rezone property from O-I (Office-Institutional) zoning district to MR-2 (Medium Density Residential-2) zoning district to allow a townhome community.

N3-2026-0140 Z-26-1247929 Commission District 04 Super District 06
18 012 10 004; 18 012 10 003
3820 & 3828 North Decatur Road, Decatur, GA 30032

Application of Scope Builders, LLC c/o Battle Law, P.C. to rezone property from NS (Neighborhood Shopping) to C-1 (Local Commercial) to allow a convenience store (with fuel pumps), a drive-through facility for a pharmacy, and retail.

N4-2026-0141 SLUP-26-1247927 Commission District 04 Super District 06
18 012 10 004; 18 012 10 003
3820 & 3828 North Decatur Road, Decatur, GA 30032

Application of Scope Builders, LLC c/o Battle Law, P.C. for a Special Land Use Permit (SLUP) to allow fuel pumps in an activity center (Town Center) character area in the C-1 (Local Commercial) zoning district.

N5-2026-0142 SLUP-26-1247928 Commission District 04 Super District 06
18 012 10 004; 18 012 10 003
3820 & 3828 North Decatur Road, Decatur, GA 30032

Application of Scope Builders, LLC c/o Battle Law, P.C. for a Special Land Use Permit (SLUP) to allow a drive-through facility for a pharmacy (in conjunction with a convenience store and retail) in an activity center (Town Center) character area in the C-1 (Local Commercial) zoning district.

N6-2026-0143 Z-26-1247933 Commission District 03 Super District 06
15 117 01 105; 15 117 01 025; 15 117 01 104
2674, 2682 & 2690 Gresham Road, Atlanta, GA 30316

Application of Tikay Investments, LLC c/o Battle Law, P.C. to rezone property from R-75 (Residential Medium Lot-75) zoning district to MR-2 (Medium Density Residential-2) zoning district to allow a multifamily development consisting of up to 39 dwelling units.

N7-2026-0144 Z-26-1247935 Commission District 05 Super District 07
16 187 02 008
2111 Poplar Falls Road, Lithonia, GA 30058

Application of Aishah Bajunaid and Nadia Nabavi to rezone property from R-85 (Residential Medium Lot-85) zoning district to RSM (Small Lot Residential Mix) zoning district to allow a senior housing development.

N8-2026-0145 SLUP-26-1247934 Commission District 05 Super District 07
16 187 02 008
2111 Poplar Falls Road, Lithonia, GA 30058

Application of Aishah Bajunaid and Nadia Nabavi for a Special Land Use Permit (SLUP) to allow a senior housing development in the RSM (Small Lot Residential Mix) zoning district.

N9-2026-0146 SLUP-26-1247921 Commission District 05 Super District 07
16 164 02 007; 16 164 02 005
1313 & 1303 Lithonia-Industrial Blvd, Lithonia, GA 30058

Application of SAWA Partners, LLC c/o Teweldemedhin Gebremeskel for a Special Land Use Permit (SLUP) to allow a recycling plant (recycling concrete business) in the M (Industrial) zoning district.

N10-2026-0147 Z-26-1247922 Commission District 05 Super District 07
16 093 03 008
6136 Shadow Rock Lane, Lithonia, GA 30058

Application of Gregory Scott to rezone property from R-100 (Residential Medium Lot-100) to RSM (Residential Small Mix) zoning district to the development of a triplex.

N11-2026-0148 SLUP-26-1247926

15 125 05 015

4031 Rainbow Drive, Decatur, GA 30034

Commission District 03 Super District 07

Application of Greater Stanton Grove MBC c/o Yvonne Reeves for a Special Land Use Permit (SLUP) to allow a place of worship in the R-100 (Residential Medium Lot-100) zoning district.

N12-2026-0149 SLUP-26-1247930

15 109 06 031

1890 Wee Kirk Road, Atlanta, GA 30316

Commission District 03 Super District 06

Application of WIN Transitional Home c/o Cartesha Cox and Tamera Weaver for a Special Land Use Permit renewal to allow a Childcare Institution (CCI) in the R-75 (Residential Medium Lot-75) zoning district for up to six clients.

N13-2026-0150 LP-26-1247932

15 046 01 001; 15 046 01 006; 15 046 01 005

1680, 1690 & 1700 Henrico Road, Conley, GA 30288

Commission District 03 Super District 06

Application of Eisenhower Services, Inc. c/o Tracy Swearington, Sr. to amend the character area from LIND (Light Industrial) to the SUB (Suburban) character area to allow a single-family residential development.

N14-2026-0151 Z-26-1247931

15 046 01 001; 15 046 01 006; 15 046 01 005

1680, 1690 & 1700 Henrico Road, Conley, GA 30288











Commission District 03 Super District 06

Application of Eisenhower Services, Inc. c/o Tracy Swearington, Sr. to rezone property from Tier 4a of the Bouldercrest Overlay District within the Soapstone Historic District with an underlying M (Industrial) zoning district to Tier 5 of the Bouldercrest Overlay District within the Soapstone Historic District with an underlying R-100 (Residential Medium Lot-100) zoning district to allow for a single-family, residential development.

DeKalb County Planning Commission

March 2026 Cases

Applications 03/2026

-  1313 Lithonia Industrial Boulevard, Lithonia 30058
-  1437 Indian Creek Drive Stn Mtn 30083
-  1636 Shadow Rock Lane, Lithonia 30058
-  1680 Henrico Road, Conley 30288
-  1890 Wee Kirk Road, Atlanta 30316
-  2111 Poplar Falls Road, Lithonia 30058
-  2674 Gresham Rd, Atlanta 30316
-  3003 Chamblee-Tucker Rd
-  3820 N. Decatur Rd, Decatur 30032
-  4031 Rainbow Drive, Decatur 30034

