



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, April 8, 2025

Planning Department Staff Analysis



Juliana Njoku

Interim Director

N7. Case No: A-26-1247999

Parcel ID(s): 15 126 05 006

Commission District 03 Super District 07

Applicant: Wainwright Jeffers
2421 Snapfinger Rd.
Decatur, GA 30034

Owner: Wainwright Jeffers
2421 Snapfinger Rd.
Decatur, GA 30034

Project Name: 2421 Snapfinger Road – ADU Size Variance

Location: 2421 Snapfinger Road, Decatur, GA 30034

Requests: Variance request from Section 27-4.2.3 of the DeKalb County Zoning Ordinance to increase the maximum permitted accessory dwelling unit size from 900 square feet to approximately 961 square feet to facilitate a second-floor in-law suite within a single-family residence in the MR-1 zoning district.

Staff Recommendation: Denial

Recommended Conditions if Approved:

- 1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.

STAFF FINDINGS:

The subject property is located at 2421 Snapfinger Road and the application materials identify the site as approximately 2.25 acres, zoned MR-1, with a Town Center land use designation and located within the I-20 Overlay District Tier 3.

The record reflects a partially constructed single-family residence on the site. According to the pre-application materials, a demolition permit was issued in 2019 and a new house permit was issued in 2020, but that permit has since expired. The materials state that foundation and structural framing were completed under the prior permit and that the project then stalled for several years.

The applicant proposes using the second floor of the house as an in-law suite for retired parents. The submitted materials indicate the second-floor plan includes a kitchen, bedroom, bathroom, and closet space. The proposed ADU area is approximately 961 square feet, exceeding the 900 square foot maximum by roughly 61 square feet. The materials also state that no separate exterior entrance is proposed.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

Based on submitted materials, it appears an extraordinary or exceptional physical condition of the land that necessitates the requested variance. In the pre-application materials, the applicant identifies the house's prior framing layout and the size of the lot as the basis for the request. A previously framed building layout, standing alone, is not the type of natural or site-specific physical hardship contemplated by this criteria. Likewise, the presence of a large lot does not deprive the property owner of rights enjoyed by other property owners in the zoning district, rather than to an extraordinary physical condition of the property itself.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The request is limited in scale. The application seeks relief from the 900 square foot maximum to approximately 961 square feet. The file also indicates that the proposed ADU is contained within the second floor of the existing framed house and does not involve a new exterior entrance. Therefore, it may appear narrower than building an addition or a separate detached dwelling unit.

However, the record does not fully establish that 961 square feet is the minimum necessary to afford relief as opposed to the amount necessary to preserve the applicant's preferred layout within previously framed space. The file indicates the second floor could be restructured if the variance is denied, but that doing so would require reframing cost and redesign. Those facts suggest the requested relief is driven more by construction history, cost, and interior design preference than by a site condition that compels this exact amount of variance.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The submitted file does not indicate material detriment to the public welfare or injury to surrounding property. The request is for interior second-floor space within a single-family residence on a large parcel, and the materials state that no separate exterior entrance is proposed. The file also places the property within the Wesley Chapel Activity Center and depicts surrounding commercial zoning and planned residential development of greater intensity in the broader area. Based on the record submitted, staff does not find substantial evidence that the requested increase in ADU size would materially impact nearby property or improvements in the zoning district.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

The record does not establish an undue and unnecessary hardship within the meaning of the ordinance. The applicant states that, absent the variance, the second floor would have to be restructured and reframed to remove or reduce the in-law suite kitchen arrangement and bring the ADU area into compliance. The file also references delay, lender pressure, and increased construction cost. While staff acknowledges those practical difficulties, they do not amount to unnecessary hardship arising from the strict application of the ordinance to the land itself. The property can continue to be used for a single-family residence without the requested variance, and the file does not show that literal application of the ordinance would deprive the owner of reasonable use of the property.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The application materials identify the property as having a Town Center land use designation within the Wesley Chapel Activity Center, and the applicant argues that the proposal supports housing options in that area. The request also remains accessory to a single-family house rather than introducing a separate detached unit.

However, the requested relief is from a ADU supplemental regulations which caps the size of accessory dwelling units. That standard reflects a policy judgment regarding the scale of accessory residential use relative to the principal dwelling. Because the record does not establish a qualifying site hardship for exceeding that limit, staff cannot conclude that granting relief would fully uphold the spirit and purpose of the ordinance.

FINAL STAFF ANALYSIS:

The application seeks a modest increase in the maximum permitted ADU size, and the file does not indicate that the proposal would create a material impact on surrounding property. The request is limited to interior second-floor space within a residence on a relatively large parcel, and no separate exterior entrance is identified in the submitted materials. Those facts lend some support to Criteria 2 and 3.

However, the variance criteria require more than a limited or low-impact request. The central deficiency in the record is that the hardship presented is not tied to an extraordinary physical condition of the land. The application materials state that there are no physical conditions concerning the land beyond the previously framed layout, and the hardship asserted is based mainly on expired permit history, reframing cost, and the applicant's desired in-law suite configuration. Those factors do not establish the type of site-driven hardship required for variance relief. Because the record does not sufficiently support Criteria 1 and 4, staff finds the request is not justified under the ordinance.

Staff Recommendation: Denial

Recommended Conditions if Approved:

1. The following information shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and conditions of approval.

ZONING BOARD OF APPEALS (ZBA) APPLICATION

to Amend the Official Zoning Map of DeKalb County, Georgia

Subject Property Address: 2421 Snapfinger Road

City: Decatur State: GA Zip: 30034

Parcel ID Number(s): 15 126 05 006 Acreage: 2.25

District: MR-1 Land Lot: 6 Block: Parcel:

Commission District(s): 3 Super District: 7

Type of Hearing Requested (check one):

- [x] VARIANCE (from Development Standards causing undue hardship upon owners of property.)
[] SPECIAL EXCEPTIONS (to Reduce or Waive off-street parking or loading space requirements.)
[] OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4.

FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.*

I hereby authorize the staff of the Planning and Sustainable Department to inspect the property that is the subject of this application.

[x] Owner [] Agent

Signature Date 2/9/2026

ZONING BOARD OF APPEALS (ZBA) APPLICATION FEE: \$300.00

DeKalb County does not require payment by wire transfer. Be aware of scammers and fraudulent emails.

Email plansustain@dekalbcountyga.gov with any questions

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 2/10/2026 Applicant _____
Signature: _____

DATE: _____ Applicant _____
Signature: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 2/10/2026

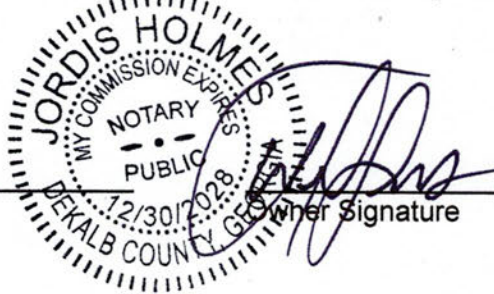
Applicant/Agent Signature: *Wainwright Jeffers*

TO WHOM IT MAY CONCERN:

(I)/ (WE): Wainwright Jeffers
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Jordis Holme
Notary Public



Wainwright Jeffers
Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature



Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Juliana Njoku

**PRE-APPLICATION FORM
ZONING BOARD OF APPEALS**

Applicant

Applicant Name: Wainwright Jeffers Phone: [REDACTED] Email: [REDACTED]

Meeting Information

Date/Time: _____ Planner Name: Lucas Carter
Planner Email: LJCarter@DeKalbCountyGA.gov

Subject Property

Property Address: 2421 Snapfinger Road Decatur, GA 30034

Comm. District(s): 3/7 Tax Parcel ID: 15 126 05 006

Zoning: MR-1 Land Use: TC (Town Center) Overlay: I-20 OVERLAY DISTRICT TIER 3

Existing Use: _____ Supplemental Regs: _____

Proposed Project

Code sections and Amounts seeking a variance from:

- Proposed second-floor in-law suite is being classified as an ADU. ADU exceeds the 900 SF maximum: Zoning calc: ~961.9 SF
- Plans label second floor as 1,406 SF total
- Contains second kitchen, full bath, and bedrooms, which drives the ADU classification.
- No separate exterior entrance, but zoning still flags it as an ADU.

Case context and intended project:

- Demolition permit issued in 2019, never fully closed out.
- New house permit issued in 2020 (AP #3052533), now expired.
- Foundation and structural framing are already complete under the old permit.
- Project stalled ~4 years due to funding; lender now pushing for CO by April/May.
- In law suite for parents; transitioning into retirement; half year here/half year there
- Include photographs of what's been built/land

Ordinance Criteria for Variance Hardships

Derived from the ordinance and translated into Layman's Terms

(Chapter 27 Section 7.5.2)

1. Physical Conditions of the site – *What did mother nature do?*

Address the specific issues of the *physical condition* of the property that make it a special case. This could be its narrowness, shallowness, unique shape, or other physical features such as floodplains, trees, or a steep slope. These conditions should be the result of natural order, not created by you or a prior owner.

- House physically laid out in current arrangement in 2020, partially, therefore, leaving a specified amount of space for ADU.
- Otherwise, no physical conditions concerning the land.
- Big lot! 2.25 acres, compared to "normal" residential

2. Minimum Variance Necessary – *Are you asking for just the right amount?*

Demonstrate that your request is only for the *minimum necessary* to make your property usable and does not provide any special advantages that aren't available to other property owners in your zoning district.

- "Locked" at 961 SF due to size of what was previously constructed from prior expired permits.

3. Public Welfare – *Does this harm or benefit your neighbors?*

Discuss the *potential impact* of your proposed changes on your neighborhood and community. Show that the variance you're seeking won't harm public welfare, neighboring properties, or any improvements in the same zoning district.

- Variance takes place entirely within existing house.
- Anticipated increases in density are negated by surrounding commercial and high density zoning, project was originally confirmed for heavier development
- Letters of support from neighbors

4. Ordinance Hardship – *Does the ordinance prevent your project?*

Detail how a *strict interpretation of the zoning laws* would cause undue hardship for you. This could be in terms of impracticality or inability to use your property effectively. Think of this as, "*if denied, what would happen?*"

- Yes, without the variance the second floor would have to be restructured and essentially rebuilt in order to support more citizens.

5. Alignment with the Spirit of the Law

Demonstrate how your variance request aligns with the overall purpose of the zoning laws and the DeKalb County Comprehensive Plan. Show that your proposal does not undermine these broader goals and policies, but rather seeks a reasonable adaptation to them. Ask your assigned planner for text regarding the parcel's assigned land use.

- Land is zoned MR-1 (High density residential) and may be suitable for higher-density housing and is surrounded C-1 (Local Commercial) zoning which suggests a proper transitional use.
- Supports Comp plan goal of increasing housing supply to meet county goals
- Supports Wesley Chapel LCI (livable centers initiative) as part of DeKalb County Comprehensive Plan 2035

YOUR VARIANCE TIMELINE

Application Deadline: 02/09/26

Sign Posting Deadline: 03/09/26

ZBA Meeting: 04/08/26

APPLICATION SUBMITTAL INSTRUCTIONS

- 1. Compile all completed materials into a single PDF file, preferably in the following order.**
 - a. ZBA Public Hearing Application
 - b. Owner Authorization
 - c. Property Access Form
 - d. Application Authorization (If Applicable)
 - e. Letter of Intent
 - f. Site Plan
 - g. Other relevant materials (Photographs, Letters of Support, Citation, etc.)
- 2. Head over to <https://epermits.dekalbcountyga.gov/> to create/update your account.**
 - a. Head to the above link and create/update your account
 - b. Start a “ZBA-Variance” application and follow instructions to fill in the prompted fields and submit your PDF file.
 - c. If done correctly, you should see your application number (1247XXX). This number is your case! You will need this for the next step.
 - d. You will be notified to pay the \$300 ZBA application fee.
- 3. Email LJCarter@DeKalbCountyGA.gov your application number (1247XXX) and application package/contents**
 - a. This alerts staff that you’ve submitted your application and acts as a failsafe should there be technical errors. Failure to do so may result in a deferral.

COVER SHEET FOR: WAINWRIGHT JEFFERS

2421 SNAPPINGER ROAD
LAND LOT 126 - 15th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: MR-1
PIN: 15 126 05 006

97,227 SQ FT
2.23 ACRES

SHEET INDEX

- PAGE 1 - COVER SHEET
- PAGE 2 - DEMOLITION PLAN
- PAGE 3 - ESPC AND TREE PROTECTION PLAN
- PAGE 4 - WATER QUALITY PLAN
- PAGE 5 - WATER QUALITY DETAILS
- PAGE 6 - EROSION NOTES & DETAILS
- PAGE 7 - EROSION NOTES & DETAILS
- PAGE 8 - HEX PAVEMENT DETAIL

DEMOLITION NOTES:

1. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
2. ALL TREES TO REMAIN AND HAVE PROPERTY PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
3. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR OTHER RIGHT-OF-WAY.
4. ADDITIONAL EROSION CONTROL SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S).
5. CALL FOR FINAL INSPECTION AT (404)-371-4913
6. CONTRACTOR TO FIELD VERIFY UTILITY TIE-IN TO EXISTING FACILITIES AND COORDINATE REMOVAL WITH EACH UTILITY.
7. ALL UTILITIES MUST BE CUT OFF & CAPPED AT THE STREET BEFORE DEMOLITION ACTIVITIES.

REVISION NOTES 04-06-20:

1. PROPOSED IMPERVIOUS UNDER 5,000 SQ FT AND WATER QUALITY RECALCULATED. PAGE 3 AND 4
2. DECK REMOVED AND NOT SHOWN.
3. PROPOSED IMPERVIOUS AREA CALCULATED. PAGE 3 AND 4.
4. PROPOSED PEROVIOUS PAVERS SHOWN. PAGE 3, 4, AND 8.
5. DUMPSTER AREA, PORTABLE TOILET AREA, AND STAGING AREA SHOWN. PAGE 3.

SITE CONTACT INFORMATION

COMPANY	CONTACT	DESCRIPTION	PHONE
FRONTLINE SURVEYING & MAPPING	THOMAS PEAY	DESIGN PROFESSIONAL	678-355-9905
DEKALB COUNTY	AKIN AKINSOLA	ENGINEERING REVIEW	404-371-2191
DEKALB COUNTY	CHARLES GILL	PUBLIC WORKS	404-294-2123
DEKALB COUNTY	R.W. TONNING	ARBORIST	404-371-2685
DEKALB COUNTY	DAVID CULLEN	SENIOR PLANNER	404-371-2155

EROSION CONTROL NOTES

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED IF NECESSARY.

ADDITION EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

ALL SILT FENCES MUST MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCES FOR THE DEPARTMENT OF TRANSPORTATION, QUALIFIED PRODUCTS LIST #36.

SILT FENCES SHALL NOT BE PLACED IN STREAM BUFFER OR FLOODPLAINS, UNLESS UTILIZED FOR THE CONSTRUCTION OF AN EXEMPT ACTIVITY (I.E. ROADWAY DRAINAGE STRUCTURES, SEWER/WATER CROSSINGS, OR DRAINAGE STRUCTURES) PER THE APPROVED PLANS. FOR SUCH DISTURBANCES WITHIN THE BUFFER, THE AREA SHALL BE IMMEDIATELY STABILIZED USING EROSION CONTROL MATTING AND/OR BLANKETS ONCE THE ACTIVITY IS COMPLETE.

SEDIMENT STORAGE VOLUME (67CY/ACR) MUST BE INSTALLED PRIOR TO ANY OTHER LAND DISTURBANCE ACTIVITY AND IN PLACE UNTIL FINAL STABILIZATION OCCURS.

FOR EACH SITE ON WHICH LAND DISTURBING ACTIVITY OCCURS, EACH ENTITY OR PERSON ACTING AS EITHER A PRIMARY, SECONDARY, OR TERTIARY PERMITEE, AS DEFINED IN THE STATE GENERAL PERMIT, SHALL HAVE AS A MINIMUM ONE PERSON WHO IS IN RESPONSIBLE CHARGE OF EROSION AND SEDIMENTATION CONTROL ACTIVITIES ON BEHALF OF SAID ENTITY OR PERSON AND MEETS THE APPLICABLE (LEVEL 1A) EDUCATION OR TRAINING CERTIFICATION REQUIREMENTS (O.C.G.A. 12-7-19(A)(2)).

ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. IN SUCH INSTANCES WHERE THE ESTABLISHMENT OF VEGETATION IS INOPPORTUNE DUE TO SEASON OR DROUGHT, DISTURBED AREAS SHALL TEMPORARILY STABILIZED USING 2"-4" OF MULCH (09t). ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW.

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE AND ALL STREAM BUFFERS SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.

WASTE DISPOSAL

Local waste collection areas away from streets, gutters, watercourses and storm drains. Waste collection areas, such as dumpsters, are often best located near construction site entrances to minimize traffic on disturbed soils. The plan should include secondary containment around liquid waste collection areas to further minimize the likelihood of contaminated discharges.

The contractor shall provide appropriate refuse/fresh collection receptacles on the site and arrange for periodic collection and disposal.

Concrete washdown of tools, concrete mixer chutes, hoppers and rear of vehicles to be done in excavate pit deep enough to contain washdown water. WASHOUT DRUM IS PROHIBITED. Ensure washdown water goes into and stays in pit. Contractor shall coordinate with superintendent to fill in pit and smooth out ground.

No hazardous materials are slated for use on this project. However, if circumstances arise where hazardous materials are to be used, the owner must be notified and proper handling and storage protocols documented and implemented.

Sanitary waste will be collected in portable urinals provided and maintained by a site licensed sanitary waste management contractor or as required by local regulations.

Temporary fueling tanks shall have a GA EPC approved secondary containment liner to prevent/minimize site contamination and be located away from state waters, natural drains, and the storm water drainage inlets. Equipment maintenance areas will also be located away from drainage features. Discharge of oils, fuels and lubricants is prohibited.

These should be collected in suitable containers and recycled or disposed of as appropriate.

No waste material shall be discharged to waters of the State, except as authorized by Section 404 permit.

No waste will be disposed of into storm drain inlets.

Signage will be posted as needed to achieve the above standards.

All wastes to be disposed of in compliance with Local, State and Federal regulations.

TREE NOTES

1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.

2. ALL TREE SAVE FENCING TO BE INSTALLED PRIOR TO BE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.

3. ALL TREE SAVE FENCE TO BE REPAIRED OR REPLACED AS NEEDED.

4. NO PARKING, STORAGE, OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

TIME OF YEAR - AS NEEDED FOR COUNTY MID-MARCH

*REPLANTING MUST MEET MINIMUM STANDARD FOR NURSERY STOCK (ANSI Z60.1, 1990).

TREES MUST BE FREE OF INJURY, PESTS, DISEASE, NUTRITIONAL DISORDERS OR ROOT DEFECTS.

AND MUST BE IN GOOD VIGOR TO ASSURE A REASONABLE EXPECTATION OF SURVIVAL.

STANDARDS FOR TRANSPLANTING SHALL BE IN KEEPING WITH THOSE ESTABLISHED IN THE INTERNATIONAL SOCIETY OF ARBORICULTURAL PUBLICATION TREE AND SHRUB PLANTING MANUAL OR A SIMILAR PUBLICATION.

SIZE - 2 INCH

WILL BE BALL IN BURLAP

WILL HAVE SUPPORT LINES

COORDINATE WITH MUNICIPAL ARBORIST TO DETERMINE THE SIZE AND TYPE OF THE REPLACEMENT TREES.

ZONING/SETBACKS:
MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
TABLE 2.4
LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
FRONT: 0 FT
SIDE: 3 FT
REAR: 20 FT
MIN LOT WIDTH AT SETBACK: 60 FT
MIN PUBLIC ROAD FRONTAGE: 45 FT
MAX BLDG HEIGHT: 35 FT
MIN LOT SIZE: 20,000 SF
MAX COVERAGE: 60%

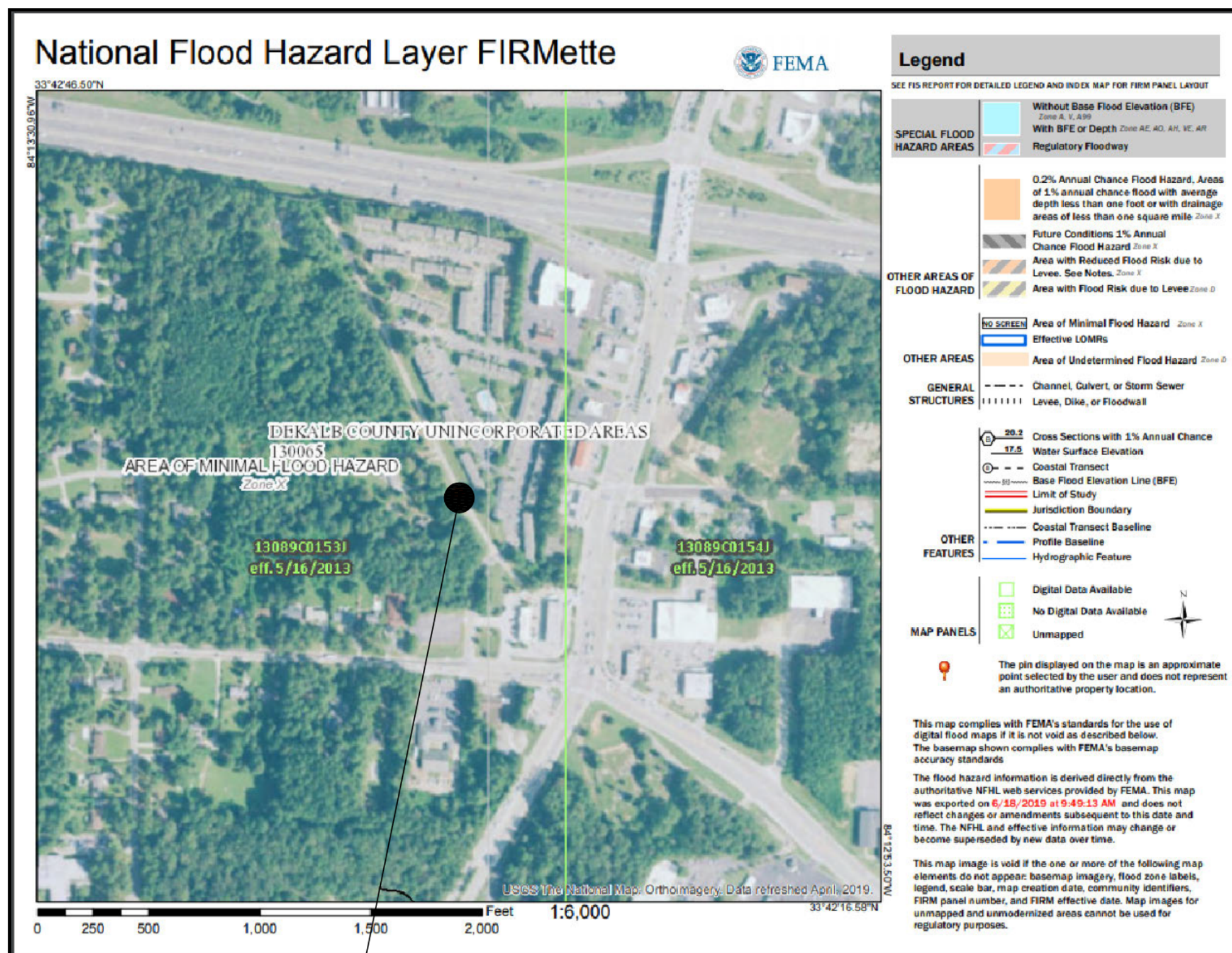
ZONING CONDITIONS:
CZ-00080

SURVEY NOTES:

1. HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
2. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)
3. ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURTS OFFICE OF DEKALB COUNTY, GEORGIA. SUBJECT AND ADJACENT PROPERTY OWNERS DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
5. STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
6. LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
7. DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES.
8. THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
9. THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C0153J; EFFECTIVE DATE: 05-16-2013. ZONE: X
10. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
11. DEED/PLAT DISCLAIMER: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEOCENTRIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
12. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
13. RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
14. ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
15. THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
16. BOUNDARY FIELD WORK PERFORMED 05-07-2019 BY FRONTLINE SURVEYING & MAPPING, INC.
17. EQUIPMENT USED: TOPCON ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER UTILIZING CHAIN GPS/GPS NETWORK.
18. ANGULAR ERROR: 2 SECONDS PER ANGLE.
19. RAW FIELD PRECISION: 1:16,738
20. ADJUSTED BY LEAST SQUARES.
21. PLAT CLOSURE: 1:515,670

EROSION NOTES:

1. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO AND CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
2. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
4. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
5. LOCATED AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
6. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION
7. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
8. ALL TREE PROTECTION FENCING AND SILT FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
9. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
10. A FINAL AS-BUILT LOT SURVEY A FINAL AS-BUILT WATER QUALITY CERTIFICATE IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
11. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
12. WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
13. ALL COLLECTED WATER SHALL BE DIRECTED TO WATER QUALITY BMP(S).
14. NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE CRITICAL ROOT ZONE.
15. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00AM-7:00PM
SATURDAY 8:00AM-5:00PM



FLOOD MAP
NOT TO SCALE

NOTE: THIS SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN AS PER FEMA FLOOD INSURANCE MAP 13089C0153J. DATED MAY 16, 2013.

DESCRIPTION OF CONSTRUCTION ACTIVITY:

THIS PROJECT IS FOR THE DEMOLITION OF A ONE STORY HOUSE WITH CRAWLSPACE. A TWO STORY HOUSE ON A SLAB WILL BE BUILT ON THE LOT AFTER DEMOLITION. THERE SHALL BE MINIMAL GRADING. THE CONSTRUCTION WILL BEGIN APRIL 2020 AND FINAL STABILIZATION WILL TAKE APPROXIMATELY NINETY (90) DAYS.

RECEIVING WATERS:

AN UNNAMED TRIBUTARY OF COBBS CREEK IS THE PROJECT'S INITIAL RECEIVING WATER. THERE ARE NO SENSITIVE AREAS ON SITE. THE ADJACENT PROPERTY OWNERS AND CREEK SHALL BE PROTECTED BY A CLEAR DEMARCATION OF THE LIMITS OF DISTURBANCE, PROPER SOIL STABILIZATION (Du, Ds1, Ds2, Ds3, etc.), TREE PROTECTION FENCING, AND DOUBLE ROW SILT FENCE, THE SILT FENCE IS TO BE CLEANED OUT BY CONTRACTOR ONCE IT HAS REACHED 1/3 CAPACITY. CONTRACTOR TO INSPECT EROSION CONTROL MEASURES DAILY AND AFTER RAIN EVENTS. UPON VISUAL INSPECTION OF FAILURE, OTHER METHODS MAY BE NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE AND REACHING THE CREEK, THE DESIGN PROFESSIONAL SHOULD BE CONTACTED IMMEDIATELY.

GENERAL SOIL AND HYDROLOGY SITE NOTES:

SOILS:	MAP SYMBOL	MAPPING UNIT	SLOPE	ERODIBILITY	PERMEABILITY	EROSION K
	MdB	Madison Sandy Loam	2-6%	-	0.6-2.0	0.24
	McC	Madison Sandy Loam	6-10%	-	0.6-2.0	0.24

USDA ONLINE SOILS MAP SHOWS SOIL TYPE AS ABOVE IN CHART

VEGETATION: Lot is currently grassed, lightly wooded. There is no marketable timber to be cleared.

RUNOFF COEFFICIENTS: Pre-Construction: 68 CN. Post-Construction: 71.6 CN

HYDROLOGY STUDY: N/A.

WATER & SEWER PROVIDED BY DEKALB COUNTY WATER & SEWER DEPARTMENT

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
THOMAS E. PEAY, III
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 000066688
ISSUED: 08/18/2018 EXPIRES: 08/18/2021

IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
UTILITIES PROTECTION CENTER
IT'S THE LAW!

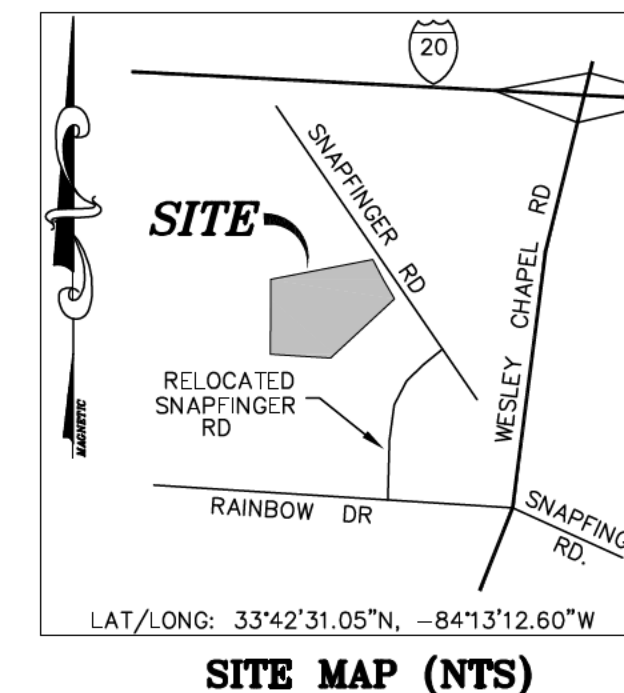
CURRENT OWNER/DEVELOPER

WAINWRIGHT JEFFERS
3996 INDIAN MANOR DR
STONE MOUNTAIN, GA 30083
24 HOUR CONTACT
WAINWRIGHT JEFFERS
404-285-9696
wjeffers@wainwrightgc.com

CONSTRUCTION SCHEDULE

ACTIVITY	APR 2020	MAY 2020	JUN 2020	JUL 2020
INSTALL CONST. ENTRANCE/EXIT & CONCRETE WASH-OUT	█			
INSTALL PERIMETER & SEDIMENT STORAGE BMP'S	█			
CLEARING & GRUBBING	█			
TEMPORARY VEGETATION	█			
BRING TO FINAL GRADE	█			
MAINTAIN EROSION CONTROL	█	█	█	█
CONSTRUCTION OF BLDG DRIVE, AND SIDEWALKS		█	█	█
FINAL LANDSCAPING AND PERMANENT VEGETATION			█	█
CLEAN UP/REMOVAL OF TEMP. BMP'S				█

NOTE: ALL BMPs SHALL BE REMOVED UPON FINAL STABILIZATION.



THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 15,778 FEET, AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN ELECTRONICALLY FILED WITH THE CLERK OF SUPERIOR COURT, DEKALB COUNTY, GEORGIA. THE INFORMATION USED IN THE PREPARATION OF THIS PLAT: NO U.S. MONUMENT WAS FOUND WITHIN 600 FEET OF THIS PROPERTY. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS REPERIFICATION BY THE SURVEYOR. NAMING SERVICE REMAINS THE PROPERTY OF FRONTLINE SURVEYING & MAPPING, INC. AND NO PART THEREOF MAY BE USED, COPIED OR REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2019 FRONTLINE SURVEYING AND MAPPING, INC. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.

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Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805
www.frontlinesurveying.com

DATE: 09/24/19
SCALE: 1" = 20'
SECTION: DEKALB COUNTY, GEORGIA
REVISION: UNIT: BLOCK: 15th DISTRICT

COVER SHEET FOR:
WAINWRIGHT JEFFERS
LAND LOT 126
SUBDIVISION: UNIT: BLOCK: 15th DISTRICT

I HAVE THIS DATE EXAMINED THE "TIA OFFICIAL FLOOD HAZARD MAP" AND FOUND THIS BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (S US 1507) IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
MAP ID: 13089C01531 EFFECTIVE DATE: 05-16-13

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. LSF#00631
JOB # 68268
REF: 47297

LEGEND:

- IPS IRON PIN SET
- IPF IRON PIN FOUND
- OT OPEN TOP PIN
- CT CRIMP TOP PIN
- RB REINFORCING BAR (REBAR)
- CL CENTERLINE
- R/W RIGHT-OF-WAY
- CONC CONCRETE
- PP POWER POLE
- LP LIGHT POLE
- GV GAS VALVE
- GM GAS METER
- SS SANITARY SEWER
- X FENCE
- PROP PROPOSED
- CMF CONC. MONUMENT FOUND
- Z OVERHEAD UTILITY LINE(S)
- SSMH SANITARY SEWER MAN HOLE
- MHT MAN HOLE TELEPHONE
- DWBZ DRAINAGE BASIN
- DI DROP INLET
- SWCB SINGLE WING CATCH BASIN
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- WV WATER VALVE
- WM WATER METER
- CO C/O SANITARY SEWER CLEANOUT
- LL LAND LOT LINE
- HW HEAD WALL
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- SSE SANITARY SEWER EASEMENT
- FH FIRE HYDRANT
- DE DRAINAGE EASEMENT
- PE ELECTRIC POWER BOX
- 18"POP TREE CRITICAL ROOT STRUCTURE
- 7"JUMP DISTURBED/REMOVED TREES
- (P1) (P2) (P3) REPLACEMENT/PLANTED TREES
- (TBR) - TO BE REMOVED
- PROPOSED PERVIOUS PAVER

EXISTING IMPERVIOUS AREA:
 MAXIMUM LOT COVERAGE: 35%

HOUSE FOOTPRINT: 1,143 SF
 CONC PADS: 448 SF
 WALKWAY: 270 SF
 DRIVEWAY: 2,064 SF
 BASKETBALL COURT: 2,439 SF
 WALLS: 81 SF
 TOTAL: 6,445 SF

TOTAL LOT AREA: 97,227 SF

IMPERVIOUS AREA:
 TOTAL IMPERVIOUS AREA: 6,445 SF
 TOTAL IMPERVIOUS % OF LOT: 6.6%

- TREE LEGEND:**
- 1 OAK
 - 2 POPLAR
 - 3 PINE
 - 4 CEDAR
 - 5 BIRCH
 - 6 SOUR GUM
 - 7 PECAN
 - 8 ASH
 - 9 MAPLE
 - 10 SWEETGUM
 - 11 WALNUT
 - 12 HICKORY
 - 13 PLUM
 - 14 CHERRY

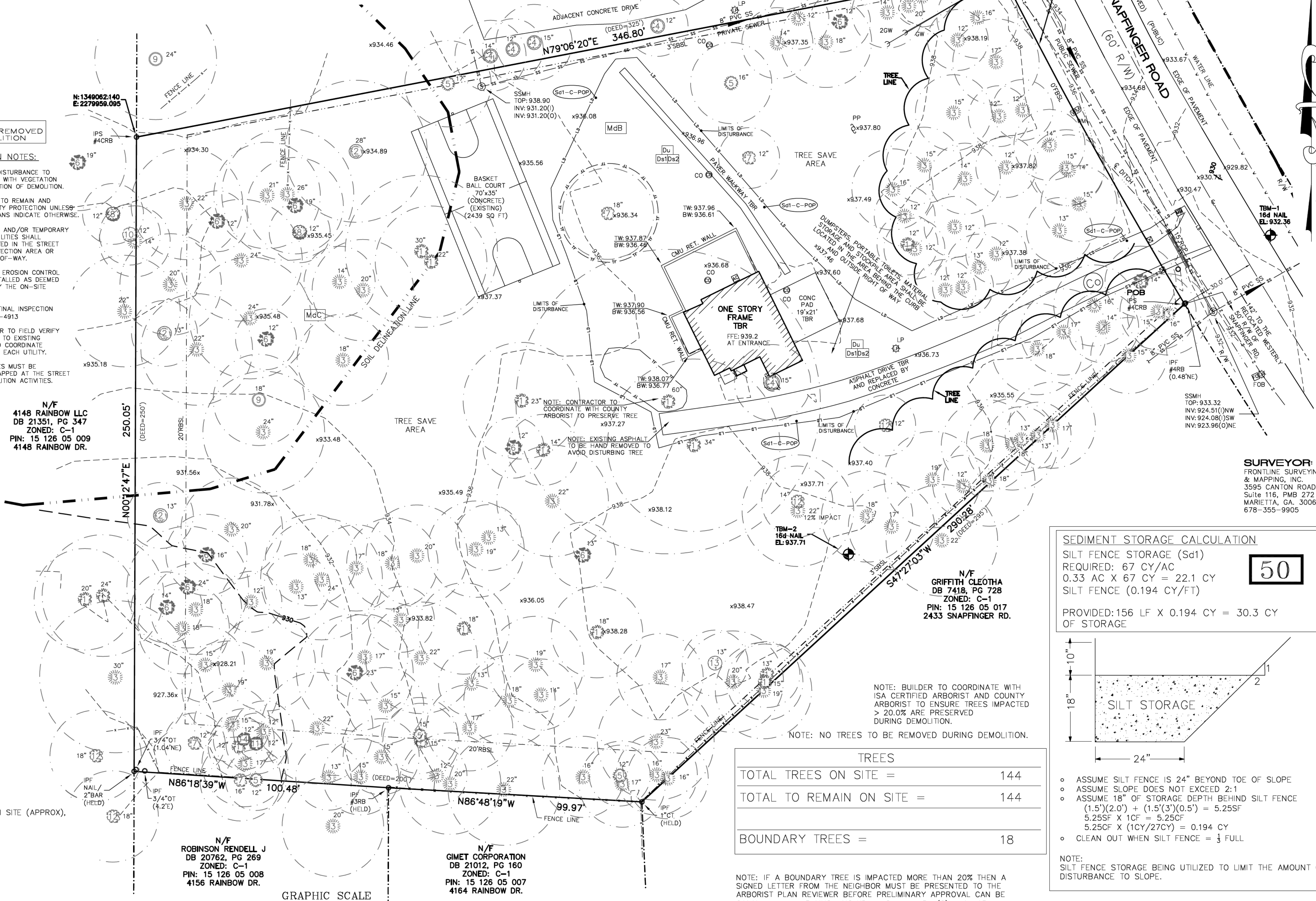
DEMOLITION PLAN FOR:
WAINWRIGHT JEFFERS
 2421 SNAPPINGER ROAD
 LAND LOT 126 - 15th DISTRICT
 DEKALB COUNTY, GEORGIA
 EXISTING ZONING: MR-1
 PIN: 15 126 05 006
 97,227 SQ FT
 2.23 ACRES
 TOTAL DISTURBED AREA - 0.93 AC

ZONING/SETBACKS:
 MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
 TABLE 2.4
 LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
 FRONT: 0 FT
 SIDE: 3 FT
 REAR: 20 FT
 MIN LOT WIDTH AT SETBACK: 60 FT
 MIN PUBLIC ROAD FRONTAGE: 45 FT
 MAX BLDG HEIGHT: 35 FT
 MIN LOT SIZE: 20,000 SF
 MAX COVERAGE: 60%

ZONING CONDITIONS:
 CZ-00080

NOTE:
 NO TREES TO BE REMOVED DURING DEMOLITION

N/F
 CHAPMAN LYNNETT R
 DB 9267, PG 773
 ZONED: MR-1
 PIN: 15 126 05 005
 2399 SNAPPINGER RD.



NOTE:
 TBR - TO BE REMOVED DURING DEMOLITION

EROSION AND SEDIMENT CONTROL LEGEND
 (FOR DETAILS SEE MANUAL FOR EROSION AND SEDIMENT CONTROL - GEORGIA, FIFTH EDITION)

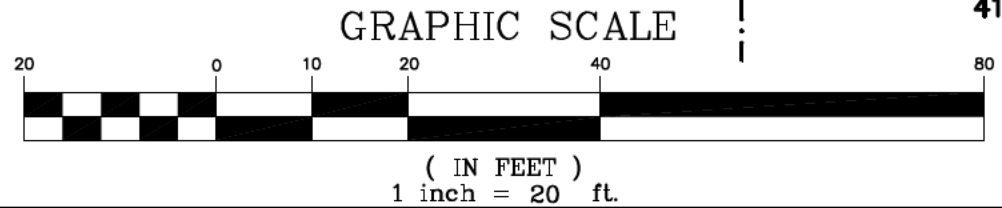
- STRUCTURAL PRACTICES**
- (Co) CONSTRUCTION EXIT
 - (Sd1-S-Alt) SEDIMENT BARRIER-TYPE SENSITIVE ALTERNATIVE (Sd1-C-POP)
 - (SF-SF-SF) FABRIC HEIGHT: 28", WOOD POST AT 4' O.C. MAX
 - (TF-TF-TF) TREE PROTECTION FENCING
 - (LD-LD-LD) LIMITS OF DISTURBANCE
 - (St) RIPRAP OUTLET PROTECTION
 - (Sd2-P) INLET SEDIMENT TRAP (PIGS IN A BLANKET)
 - (Sd1-F) INLET SEDIMENT TRAP (WITH FENCING)
 - (Sd4-C) TEMPORARY SEDIMENT TRAP
 - (Tr) TREE PROTECTION FENCING
 - (SS) EROSION CONTROL MATTING BLANKETS
 - (CWA) CONCRETE WASH AREA
 - (Re) RETAINING WALL
 - (Cd-Hb) CHECKDAM HAYBALE
 - (D) DIVERSION BERM
- VEGETATIVE MEASURES**
- (Dv) DUST CONTROL ON DISTURBED AREAS
 - (Dd1) DISTURBED AREA STABILIZATION (WITH MULCHING)
 - (Dd2) DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
 - (Dd3) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
 - (Dd4) DISTURBED AREA STABILIZATION (PERMANENT WITH SOD)
- CONTOURS / DRAINAGE**
- (-P-980) PROPOSED CONTOUR
 - (-980-) EXISTING CONTOUR
 - (x-980 or 980-x) EXISTING SPOT ELEVATION
 - (x-P980 or P980-x) PROPOSED SPOT ELEVATION
 - (x-980 TW) PROPOSED TOP WALL ELEVATION
 - (978 BW) PROPOSED BOTTOM WALL ELEVATION
 - (A) DRAINAGE FLOW ARROWS

- DEMOLITION NOTES:**
1. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 2. ALL TREES TO REMAIN AND HAVE PROPERTY PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
 3. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR OTHER RIGHT-OF-WAY.
 4. ADDITIONAL EROSION CONTROL SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S).
 5. CALL FOR FINAL INSPECTION AT (404)-371-4913
 6. CONTRACTOR TO FIELD VERIFY UTILITY TIE-IN TO EXISTING FACILITIES AND COORDINATE REMOVAL WITH EACH UTILITY.
 7. ALL UTILITIES MUST BE CUT OFF & CAPPED AT THE STREET BEFORE DEMOLITION ACTIVITIES.

N/F
 4148 RAINBOW LLC
 DB 21351, PG 347
 ZONED: C-1
 PIN: 15 126 05 009
 4148 RAINBOW DR.

N/F
 ROBINSON RENDELL J
 DB 20762, PG 269
 ZONED: C-1
 PIN: 15 126 05 008
 4156 RAINBOW DR.

N/F
 GIMET CORPORATION
 DB 21012, PG 160
 ZONED: C-1
 PIN: 15 126 05 007
 4164 RAINBOW DR.



NOTE: HEAVY CONSTRUCTION EQUIPMENT TO BE CONTAINED WITHIN THE LIMITS OF DISTURBANCE.
 SMALL STRUCTURES SUCH AS FENCES ETC. SHALL BE REMOVED BY MANUAL LABOR TO PRESERVE TREES.
 NOTE:
 DEMOLITION PERMIT NOT ISSUED UNTIL TREE POSTING IS APPROVED

Sd2-P CURB INLET PROTECTION TO BE INSTALLED AT DOWNSTREAM CURB INLETS.

NOTE:
 2500 CUBIC YARDS OF DEBRIS TO BE REMOVED FROM SITE (APPROX).
 CONSTRUCTION DEBRIS / CONCRETE / WOODY PLANT MATERIALS / TRASH
 NOTE:
 DUMPSTER DIMENSIONS: 17.5' X 8'W X 6.5'H
 VOLUME CAPACITY: 300 CU YARDS

NOTE:
 STAGING AREA 1: 350 SF
 NOTE:
 CONTRACTOR TO COORDINATE REMOVAL OF UTILITIES WITH RESPECTIVE UTILITY COMPANIES AND MUNICIPALITIES.

TREES	
TOTAL TREES ON SITE =	144
TOTAL TO REMAIN ON SITE =	144
BOUNDARY TREES =	18

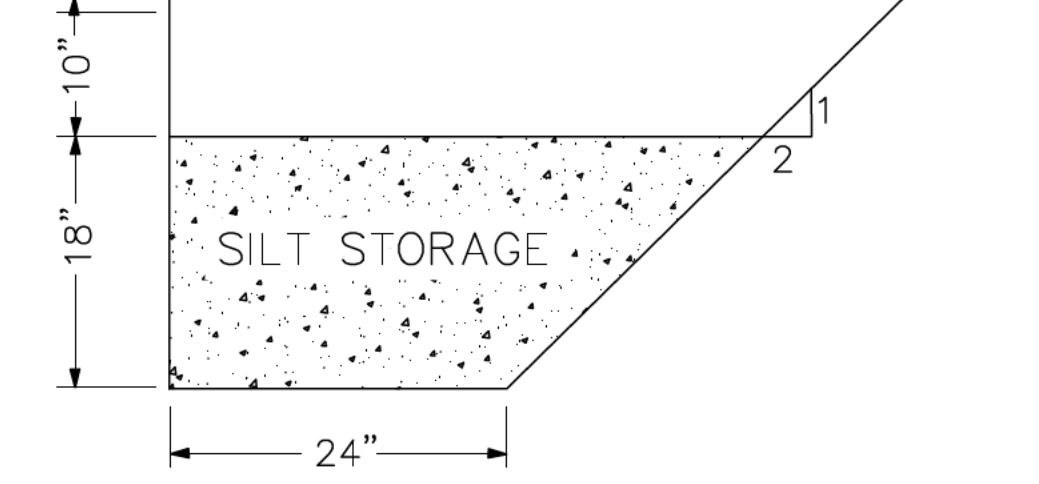
NOTE: IF A BOUNDARY TREE IS IMPACTED MORE THAN 20% THEN A SIGNED LETTER FROM THE NEIGHBOR MUST BE PRESENTED TO THE ARBORIST PLAN REVIEWER BEFORE PRELIMINARY APPROVAL CAN BE GIVEN. THE LETTER MUST INCLUDE: LIST THE TREE(S) THAT ARE IMPACTED, STATE IF THEY ARE LOST OR DESTROYED AND THAT FULL PERMISSION IS GRANTED FOR THE TREE(S) REMOVAL OR IN THE CASE OF A PRESCRIPTION THAT THE PRIVATE ARBORIST HAS PERMISSION TO ENTER THEIR PROPERTY.

SEDIMENT STORAGE CALCULATION

SILT FENCE STORAGE (Sd1)
 REQUIRED: 67 CY/AC
 0.33 AC X 67 CY = 22.1 CY

PROVIDED: 156 LF X 0.194 CY = 30.3 CY OF STORAGE

50



- o ASSUME SILT FENCE IS 24" BEYOND TOE OF SLOPE
- o ASSUME SLOPE DOES NOT EXCEED 2:1
- o ASSUME 18" OF STORAGE DEPTH BEHIND SILT FENCE
 (1.5')(2.0') + (1.5')(3')(0.5') = 5.25SF
 5.25SF X 1CF = 5.25CF
 5.25CF X (1CY/27CY) = 0.194 CY
- o CLEAN OUT WHEN SILT FENCE = 3/4 FULL

NOTE:
 SILT FENCE STORAGE BEING UTILIZED TO LIMIT THE AMOUNT OF DISTURBANCE TO SLOPE.

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 15,778 FEET, AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN FILED IN THE PUBLIC RECORDS OF DEKALB COUNTY, GEORGIA. THE INFORMATION USED IN THE PREPARATION OF THIS PLAN:
 NO U.G.S. MONUMENT WAS FOUND WITHIN 500 FEET OF THIS PROPERTY. THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED HEREON. THIS PLAN DOES NOT EXTEND TO ANY UNNAMED PERSONS, OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR. SERVICE REMAINS THE PROPERTY OF FRONTLINE SURVEYING & MAPPING, INC. AND NO PART THEREOF MAY BE USED, COPIED OR REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2019 FRONTLINE SURVEYING AND MAPPING, INC. ALL MATTERS PERTAINING TO TITLE ARE CAPTIONED.

3595 Canton Road
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 Marietta, GA 30066
 Ph. (678) 355-9905
 Fax (678) 355-9805

FRONTLINE SURVEYING & MAPPING, INC.
 www.frontlinesurveying.com

DATE	09/24/19
SCALE	1" = 20'
SECTION	DEKALB COUNTY, GEORGIA
REVISION	

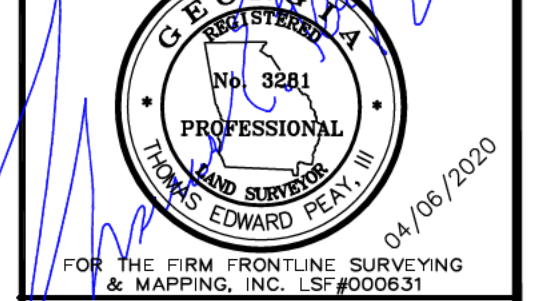
DEMOLITION PLAN FOR
WAINWRIGHT JEFFERS
 LAND LOT 126
 15th DISTRICT

DATE: 09/24/19
 SCALE: 1" = 20'

SECTION: DEKALB COUNTY, GEORGIA
 REVISION:

UNIT: BLOCK

PHASE: I HAVE THIS DATE EXAMINED THE "FIA OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (● (S 160') IN AN AREA HAVING SPECIAL FLOOD HAZARDS. MAP ID: 1308820151 EFFECTIVE DATE: 05-16-13.



LEGEND:

IPS	IRON PIN SET
OT	OPEN TOP PIN
CT	CRIMP TOP PIN
RB	REINFORCING BAR (REBAR)
CL	CAPPED REBAR
W	CENTERLINE
LP	RIGHT-OF-WAY
CONC	CONCRETE
PP	POWER POLE
LP	LIGHT POLE
GV	GAS VALVE
GM	GAS METER
SS	SANITARY SEWER
X	FENCE
PROP	PROPOSED
CMF	CONC. MOUNTMENT FOUND
Z	OVERHEAD UTILITY LINE(S)
SSMH	SANITARY SEWER MAN HOLE
MHT	MAN HOLE TELEPHONE
DWB	CATCH BASIN
DI	DROP INLET
SWCB	SINGLE WING CATCH BASIN
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
WV	WATER VALVE
WM	WATER METER
CO	SANITARY SEWER CLEANOUT
C/O	LAND LOT LINE
HW	HEAD WALL
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
SSE	SANITARY SEWER EASEMENT
FH	FIRE HYDRANT
DE	DRAINAGE EASEMENT
EP	ELECTRIC POWER BOX
18"POP	TREE CRITICAL ROOT STRUCTURE
7"JUMP	DISTURBED/REMOVED TREES
P1 P2 P3	REPLACEMENT/PLANTED TREES
(TBR)	TO BE REMOVED
	PROPOSED PERVIOUS PAVER

IMPERVIOUS AREA:
 MAXIMUM LOT COVERAGE: 35%
 HOUSE FOOTPRINT (PROPOSED): 3,538 SF
 CONC DRIVE (PROPOSED): 1,163 SF
 PORCH (PROPOSED): 267.4 SF
 BASKETBALL COURT (EXIST): 2,439 SF
 TOTAL LOT AREA: 97,227 SF

IMPERVIOUS AREA:
 PROPOSED IMPERVIOUS AREA: 4968.4 SF
 TOTAL IMPERVIOUS AREA: 7,407.4 SF
 TOTAL IMPERVIOUS % OF LOT: 7.6%

TREE LEGEND:

1	OAK	8	ASH
2	POPLAR	9	MAPLE
3	PINE	10	SWEETGUM
4	CEDAR	11	WALNUT
5	BIRCH	12	HICKORY
6	SOUR GUM	13	PLUM
7	PECAN	14	CHERRY

ESPC AND TREE PROTECTION PLAN FOR:
WAINWRIGHT JEFFERS
 2421 SNAPPINGER ROAD
 LAND LOT 126 - 15th DISTRICT
 DEKALB COUNTY, GEORGIA
 EXISTING ZONING: MR-1
 PIN: 15 126 05 006
 97,227 SQ FT
 2.23 ACRES
 TOTAL DISTURBED AREA - 0.61 AC

ZONING/SETBACKS:
 MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
 TABLE 2.4 LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
 FRONT: 0 FT
 SIDE: 3 FT
 REAR: 20 FT
 MIN LOT WIDTH AT SETBACK: 60 FT
 MIN PUBLIC ROAD FRONTAGE: 45 FT
 MAX BLDG HEIGHT: 35 FT
 MIN LOT SIZE: 20,000 SF
 MAX COVERAGE: 60%

ZONING CONDITIONS:
 CZ-00080

EROSION AND SEDIMENT CONTROL LEGEND
 (FOR DETAILS SEE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, FIFTH EDITION)

STRUCTURAL PRACTICES

Co	CONSTRUCTION EXIT
Sd1-S-Alt	SEDIMENT BARRIER-TYPE SENSITIVE ALTERNATIVE (Sd1-C-POP)
SF-SF-SF	FABRIC HEIGHT: 28", WOOD POST AT 4" O.C. MAX
TF-TF-TF	TREE PROTECTION FENCING
LD-LD-LD	LIMITS OF DISTURBANCE
St	RIPRAP OUTLET PROTECTION
Sd1-P	INLET SEDIMENT TRAP (PIGS IN A BLANKET)
Sd1-F	INLET SEDIMENT TRAP (WITH FENCING)
Sd4-C	TEMPORARY SEDIMENT TRAP
Tr	TREE PROTECTION FENCING
SS	EROSION CONTROL MATTING BLANKETS
CWA	CONCRETE WASH AREA
Re	RETAINING WALL
Cd-Hb	CHECKDAM HAYBALE
Di	DIVERSION BERM

VEGETATIVE MEASURES

Dv	DUST CONTROL ON DISTURBED AREAS
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING)
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION (PERMANENT WITH SOD)

CONTOURS / DRAINAGE

P-980	PROPOSED CONTOUR
-980	EXISTING CONTOUR
x-980 or 980-x	EXISTING SPOT ELEVATION
x-P980 or P980-x	PROPOSED SPOT ELEVATION
x-980 TW	PROPOSED TOP WALL ELEVATION
978 BW	PROPOSED BOTTOM WALL ELEVATION
→	DRAINAGE FLOW ARROWS

HATCHING

	PROPOSED CONCRETE
	PROPOSED PERVIOUS PAVERS

SEDIMENT STORAGE CALCULATION

SILT FENCE STORAGE (Sd1)
 REQUIRED: 67 CY/AC
 0.33 AC X 67 CY = 22.1 CY
 SILT FENCE (0.194 CY/FT)
 PROVIDED: 156 LF X 0.194 CY = 30.3 CY OF STORAGE

SEDIMENT STORAGE

TREES

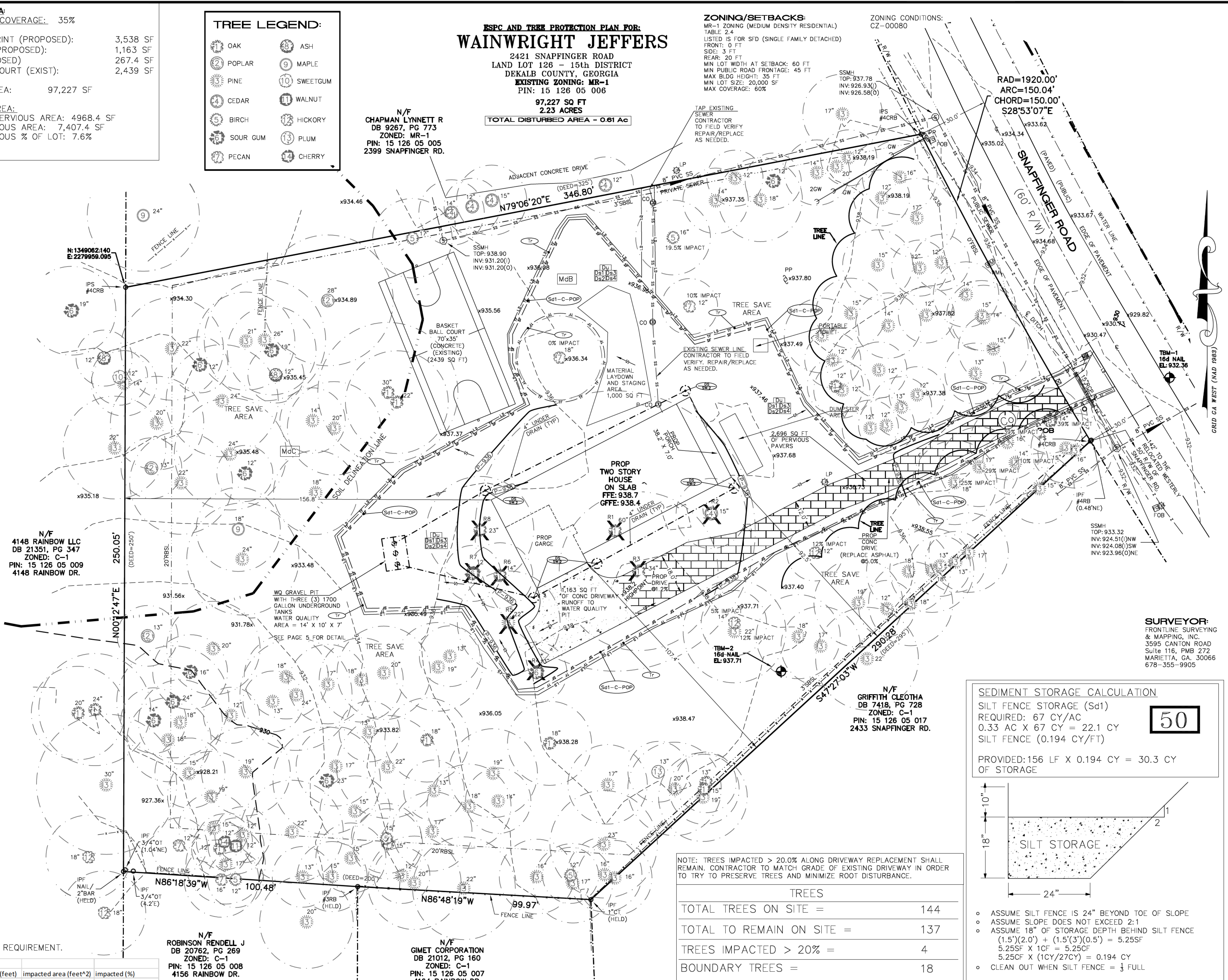
TOTAL TREES ON SITE =	144
TOTAL TO REMAIN ON SITE =	137
TREES IMPACTED > 20% =	4
BOUNDARY TREES =	18

NOTE: NO BOUNDARY TREES IMPACTED.

NOTE: IF A BOUNDARY TREE IS IMPACTED MORE THAN 20% THEN A SIGNED LETTER FROM THE NEIGHBOR MUST BE PRESENTED TO THE ARBORIST PLAN REVIEWER BEFORE PRELIMINARY APPROVAL CAN BE GIVEN. THE LETTER MUST INCLUDE: LIST THE TREE(S) THAT ARE IMPACTED, STATE IF THEY ARE LOST OR DESTROYED AND THAT FULL PERMISSION IS GRANTED FOR THE TREE(S) REMOVAL OR IN THE CASE OF A PRESCRIPTION THAT THE PRIVATE ARBORIST HAS PERMISSION TO ENTER THEIR PROPERTY.

NOTE: SITE EXCEEDS MINIMUM 120 UNITS/AC REQUIREMENT.

removed	tag	tree type	tree size (in)	tree crz (feet*2)	tree crz area (feet)	impacted area (feet*2)	impacted (%)
	R1	oak	60	60	11309.40	11309.4	100.0
	R2	cedar	15	15	706.84	706.84	100.0
	R3	oak	34	34	3631.57	3631.57	100.0
	R4	sour gum	13	13	530.91	530.91	100.0
	R5	pine	22	22	1520.49	1520.49	100.0
	R6	oak	14	14	615.73	615.73	100.0
	R7	sour gum	12	12	452.38	452.38	100.0
	R8	oak	23	23	1661.85	1661.85	100.0
		TOTAL DBH		193 INCHES			

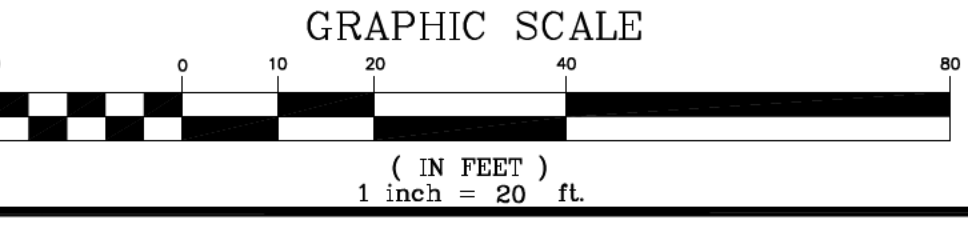


N/F ROBINSON RENDELL J
 DB 20762, PG 269
 ZONED: C-1
 PIN: 15 126 05 008
 4156 RAINBOW DR.

N/F GIMET CORPORATION
 DB 21012, PG 160
 ZONED: C-1
 PIN: 15 126 05 007
 4164 RAINBOW DR.

N/F CHAPMAN LYNNETT R
 DB 9267, PG 773
 ZONED: MR-1
 PIN: 15 126 05 005
 2399 SNAPPINGER RD.

N/F GRIFFITH CLEOETHA
 DB 7418, PG 728
 ZONED: C-1
 PIN: 15 126 05 017
 2433 SNAPPINGER RD.



3595 Canton Road
 Suite 116, PMB 272
 Marietta, GA 30066
 Ph. (678) 355-9805
 Fax (678) 355-9805

FRONTLINE SURVEYING & MAPPING, INC.
 www.frontlinesurveying.com

DATE: 09/24/19
 SCALE: 1" = 20'
 SECTION: DEKALB COUNTY, GEORGIA
 REVISION: (BY: DATE:)

2421 SNAPPINGER ROAD
WAINWRIGHT JEFFERS
 LAND LOT 126
 15th DISTRICT

PROFESSIONAL SURVEYOR
 JAMES EDWARD TRACY, III
 PIN: 3281
 LICENSE NO. 1308800151
 EFFECTIVE DATE: 05-16-13

WATER QUALITY BASIN A CALCULATIONS:

HOUSE FOOTPRINT: 3,538 SF
PORTION OF DRIVEWAY: 1,163 SF
PORCH: 267.4 SF
TOTAL: 4968.4 SF

NOTE: BASKETBALL COURT IS EXISTING AND THE PAVER MAJOR PORTION DRIVEWAY WILL REPLACE THE EXISTING ASPHALT DRIVEWAY; THEREFORE, THESE IMPERVIOUS SURFACES WERE EXCLUDED FROM THE WATER QUALITY CALCULATIONS.

BASKETBALL COURT RUNOFF DRAINED TO THE WEST. THE EXISTING ASPHALT DRIVEWAY DRAINED TO THE STREET. THE MAJORITY OF THE NEW PAVER DRIVEWAY WILL INFILTRATE.

IMPERVIOUS AREA:
MAXIMUM LOT COVERAGE: 35%

HOUSE FOOTPRINT (PROPOSED): 3,538 SF
CONC DRIVE (PROPOSED): 1,163 SF
PORCH (PROPOSED): 267.4 SF
BASKETBALL COURT (EXIST): 2,439 SF

TOTAL LOT AREA: 97,227 SF

IMPERVIOUS AREA:
PROPOSED IMPERVIOUS AREA: 4968.4 SF
TOTAL IMPERVIOUS AREA: 7,407.4 SF
TOTAL IMPERVIOUS % OF LOT: 7.6%

TREE LEGEND:

- 1 OAK
- 2 POPLAR
- 3 PINE
- 4 CEDAR
- 5 BIRCH
- 6 SOUR GUM
- 7 PECAN
- 8 ASH
- 9 MAPLE
- 10 SWEETGUM
- 11 WALNUT
- 12 HICKORY
- 13 PLUM
- 14 CHERRY

**WATER QUALITY PLAN FOR:
WAINWRIGHT JEFFERS**

2421 SNAPPINGER ROAD
LAND LOT 126 - 15th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: MR-1
PIN: 15 126 05 006

97,227 SQ FT
2.23 ACRES
TOTAL DISTURBED AREA - 0.61 AC

ZONING/SETBACKS:
MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
TABLE 2.4
LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
FRONT: 0 FT
SIDE: 5 FT
REAR: 20 FT
MIN LOT WIDTH AT SETBACK: 60 FT
MIN PUBLIC ROAD FRONTAGE: 45 FT
MAX BLDG HEIGHT: 35 FT
MIN LOT SIZE: 20,000 SF
MAX COVERAGE: 60%

ZONING CONDITIONS:
CZ-00080

WATER QUALITY CALCULATIONS (RAINFLO 5100-IG PRO)

WATER QUALITY AREA A

Basins: HOUSE, PORCH, PORTION OF DRIVEWAY
TOTAL IMPERVIOUS FOR WQ DESIGN: 4968.4 SQ FT
RAINFALL TO BE TREATED: 1.2 INCH
WQ₁ = WATER QUALITY VOLUME (CUBIC FEET)
WQ₁ = (1.2 * A) / 12 = 496.8 CUBIC FEET (REQUIRED)
AREA OF GRAVEL PIT:
LENGTH OF GRAVEL PIT = 14 FT
WIDTH OF GRAVEL PIT = 10 FT
DEPTH OF GRAVEL PIT = 7 FT
VOLUME IN GRAVEL W/ 40% VOIDS = [(VOLUME OF WATER QUALITY AREA) - (VOLUME DISPLACED BY 3 TANKS)] X 0.40 = 119.3 FT³
[(14 X 10 X 7) - (227.2 X 3)] X 0.40 = 119.3 FT³
NUMBER OF 1700 GALLON (227.2 FT³) UNDERGROUND TANKS = 3
VOLUME OF 3 TANKS = 5100 GALLONS OR 681.8 FT³
VOLUME PROVIDED = VOLUME OF GRAVEL W/ 40% VOIDS + VOLUME OF 3 TANKS = 119.3 FT³ + 681.8 FT³ = 801.1 FT³ PROVIDED > 496.8 FT³ REQUIRED.

WATER QUALITY MAINTENANCE:

MAINTENANCE OF THE STORMWATER QUALITY SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:

GENERAL:

INSPECT GUTTERS AND DOWNSPOUTS AND REMOVE ACCUMULATED LEAFS AND DEBRIS.

INSPECT TANKS AND FILTERS FOLLOWING A LARGE RAINFALL EVENT TO INSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING PROBLEMS.

THE SITE SHALL BE INSPECTED FOR HAZARDOUS MATERIALS AT ALL TIMES WHICH MAY ESCAPE THE FLO-WELL SYSTEM AND ILLEGALLY DISCHARGE TO ADJOINING PROPERTIES.

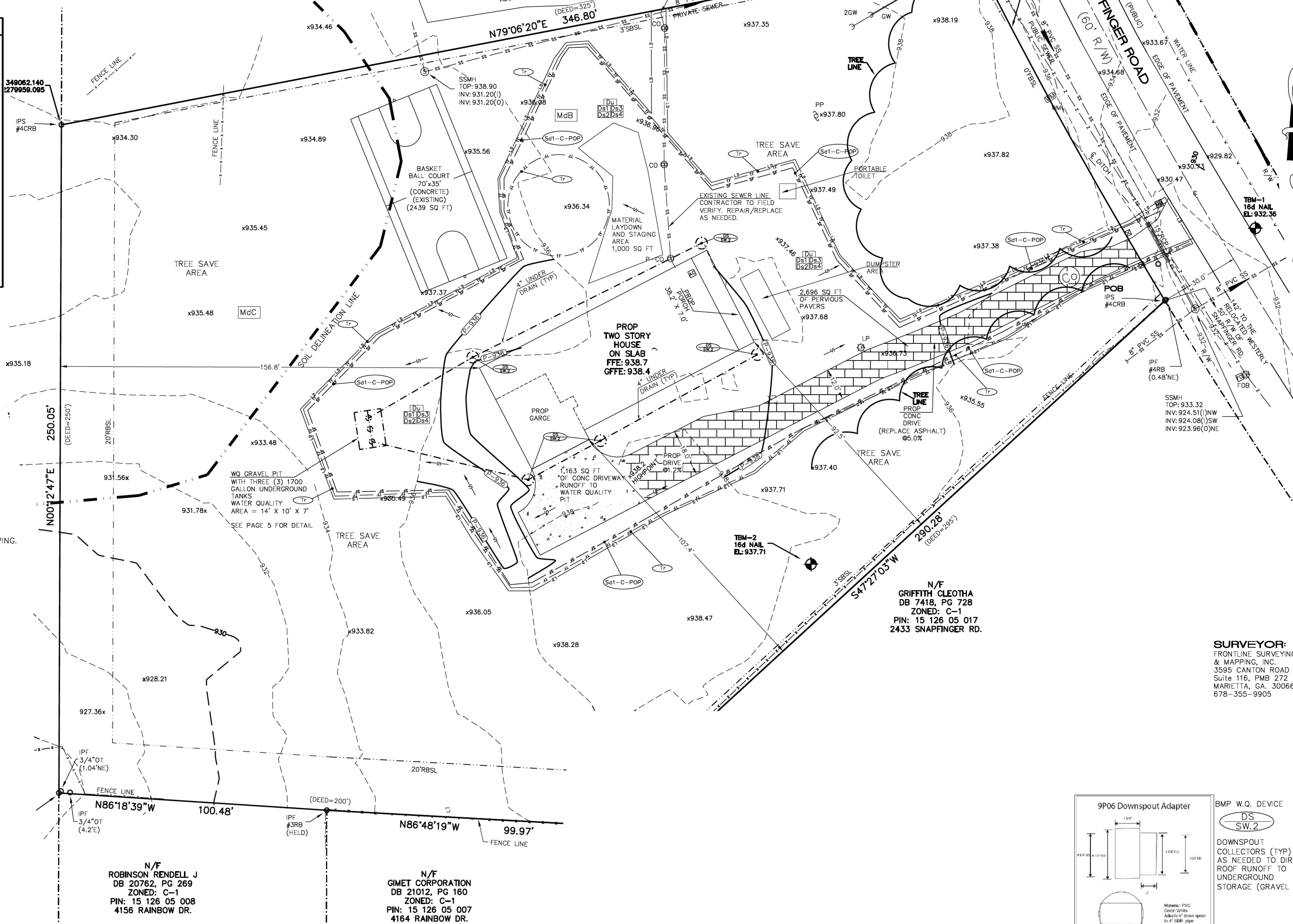
ANY DEBRIS ACCUMULATED IN EXCESS OF 3 INCHES MEASURED FROM THE COLLECTOR OF THE TANK SHALL CONSTITUTE REMOVAL TO PRESERVE THE INTEGRITY OF THE INTENDED DESIGN.

ALL DOWNSPOUTS WILL BE EQUIPPED WITH A SELF CLEANING LEAF FILTER.

WATER QUALITY NOTES:

- AS-BUILT WATER QUALITY CERTIFICATION OR LOT AS-BUILT SURVEY (INCLUDING WATER QUALITY DEVICES) IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY DEVICES TO BE INSTALLED AT TIME OF FINAL LANDSCAPING.
- GUTTER DRAINS, OBSERVATION WELLS, AND EMERGENCY BYPASSES SHALL BE CAPPED AND TURNED UP DURING CONSTRUCTION TO PREVENT INFILTRATION AND SEDIMENTATION IN PIPES.
- WATER QUALITY AREAS TO BE PROTECTED BY SILT FENCE TO PREVENT INFILTRATION AND SEDIMENT BUILD UP DUE TO CONSTRUCTION ACTIVITIES I.E. CONSTRUCTION VEHICLES, SEDIMENT RUNOFF, SILTATION ETC.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY DEVICES.
- DISTRIBUTE RUNOFF WITHIN A LINEAR GRAVEL DEVICE USING A SLOTTED/PERFORATED FLEX PIPE, FOR DOWNSPOUT CONNECTIONS TO THE DEVICE USE SOLID WALLED PVC (SCHEDULE 20 MINIMUM).
- PROVIDE A CLEANOUT AND AN EMERGENCY BYPASS FOR EXCESS FLOWS INSTALLED ON THE PIPING SYSTEM PRIOR TO PIPING REACHING THE INFILTRATION DEVICE.
- INFILTRATION DEVICES SHOULD BE PLACED ON A 0% GRADE.
- INSTALL A NON WOVEN FILTER FABRIC BETWEEN THE SOIL AND THE DEVICE AND GRAVEL.
- ALL ADDITION ROOF DOWN-SPOUTS AND AREA DRAINS SHALL TIED TO THE PROPOSED FLO-WELL PITS
- SURFACE INLET REQUIRED ON EACH FLO-WELL
- DOWN DRAINS SHALL HAVE POSITIVE SLOPE
- ALL GUTTERS TO HAVE GUTTER GUARD SYSTEM
- THE GROUND SURFACE ABOVE THE WATER QUALITY FACILITY SHALL BE GRADED SO THAT SURFACE WATER WILL DRAIN DURING OVERFLOW CONDITIONS. OFF SITE WATER SHOULD BE DIRECTED AWAY FROM FACILITY INLETS.
- OVERFLOW FROM WATER QUALITY BMPs SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

WATER QUALITY INSTALLATION NOTE:
PLEASE CONSULT RAINHARVEST SYSTEMS FOR SPECIFIC INSTALLATION INSTRUCTIONS FOR THE RAINFLO 5100-IG PRO. 770-889-2533.

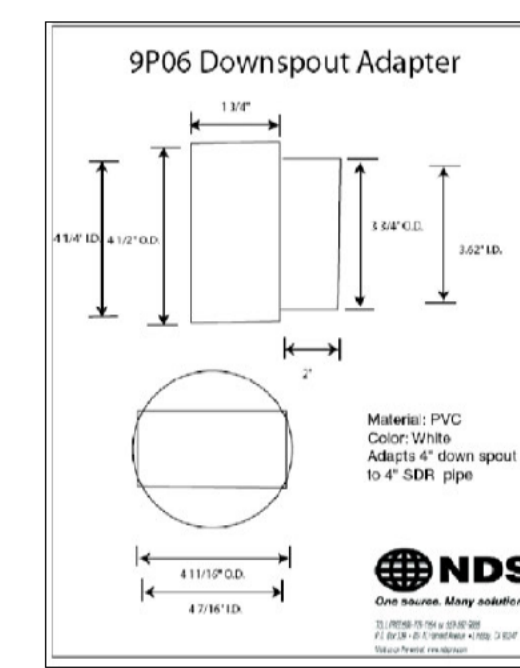
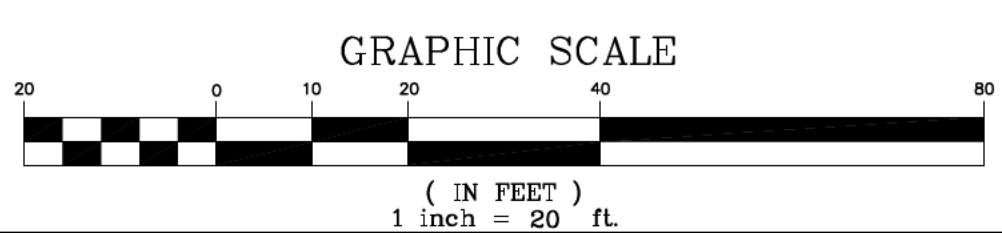


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N/F CHAPMAN LYNNETT R
DB 9267, PG 773
ZONED: MR-1
PIN: 15 126 05 005
2399 SNAPPINGER RD.



BMP W.Q. DEVICE
DS SW.2
DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STORAGE (GRAVEL PIT)

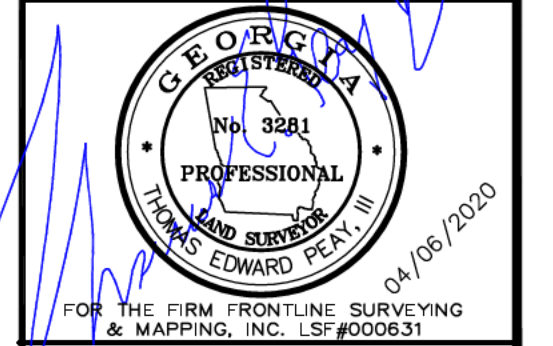
SURVEYOR:
FRONTLINE SURVEYING & MAPPING, INC.
3595 CANTON ROAD
SUITE 116, PMB 272
MARIETTA, GA. 30066
678-355-9905

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 15,278 FEET, AN ANGULAR ERROR OF 2. SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN ELECTRONICALLY FILED IN THE PUBLIC RECORDS OF DEKALB COUNTY, GEORGIA. THE INFORMATION USED IN THE PREPARATION OF THIS PLAN:
NO U.S. MONUMENT WAS FOUND WITHIN 800 FEET OF THIS PROPERTY. THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS, PERSONS OR ENTITY NAMED HEREON. THIS PLAN DOES NOT EXTEND TO ANY UNNAMED PERSONS, PERSONS, OR ENTITY WITHOUT EXPRESS REPERIFICATION BY THE SURVEYOR. NO SERVICE SHALL BE PROVIDED BY THIS SURVEYOR. FRONTLINE SURVEYING & MAPPING, INC. AND NO PART THEREOF MAY BE USED, COPIED OR REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2019 FRONTLINE SURVEYING AND MAPPING, INC. ALL MATTERS PERTAINING TO TITLE ARE CAPTIONED.

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FRONTLINE SURVEYING & MAPPING, INC.
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DATE	09/24/19
SCALE	1" = 20'
SECTION	DEKALB COUNTY, GEORGIA
REVISION	
BY:	
DATE:	

WATER QUALITY PLAN FOR:	2421 SNAPPINGER ROAD
WAINWRIGHT JEFFERS	
LAND LOT	126
DISTRICT	15th
BLOCK	
UNIT	
PHASE	
I HAVE THIS DATE EXAMINED THE "TIA OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (S 1607) IN AN AREA HAVING SPECIAL FLOOD HAZARDS.	
MAP ID:	1308BC01531
EFFECTIVE DATE:	05-16-13



FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. LSF#000631
JOB # 68268



February 10, 2026

Subject: Variance Request for Accessory Dwelling Unit (ADU) allowance – Section 27–4.2.3 of the Zoning Ordinance (Chapter 27, Article 4)

Dear Members of the Zoning Board of Appeals,

My name is Wainwright Jeffers, and I'm writing to formally request a variance from Section 27–4.2.3 of the Zoning Ordinance. I am the owner/contractor and my request is to allow the ADU requirement from 900SF to 961SF for my property at 2421 Snapfinger Road.

The purpose of the variance is to allow an in-law suite to be constructed on the 2nd floor of my home within the current footprint for my parents who recently retired and plan to live with me in this new family home.

1. Physical Conditions of the Site:

The house sits on 2.25 acres and the structural framing were previously completed under an expired permit. We wanted to add a kitchen upstairs, making it a in-law suite. It does not have a separate entrance, and fits within the existing footprint of the 2nd floor.

2. Minimum Variance Necessary:

My request is to allow the overage because the square footage of the 2nd floor is locked based on the previously framed structure. Without the variance the in-law suite will not be able to have a kitchen. My parents would have to be up and down the stairs for laundry and use of the kitchen.

3. Public Welfare:

The proposed addition will have a positive impact on the neighborhood and community by allowing more housing in the Wesley Chapel Livable Centers Initiative as part of the DeKalb County Comprehensive Plan 2035 per policy guidelines.

4. Ordinance Hardship:

A strict interpretation of the zoning laws, in this case, would cause undue hardship for me and my family. It would not allow me to use the existing space to support a comfortable living space on my 2nd floor, the variance is essential to prevent tens of thousands of in reframing cost and usability of the space within the current footprint.

5. Alignment with the Spirit of the Law:

I believe the zoning variance clearly aligns with Wesley Chapel Livable Centers Initiative study, looking to transform specifically the Wesley Chapel/Snapfinger road area into vibrant, mixed-use communities. The requested variance would be consistent with the spirit and purpose of the DeKalb County Comprehensive Plan.

Thanks,

A handwritten signature in black ink that reads 'Wainwright Jeffers'.

Wainwright Jeffers

Owner/Contractor



CURRENT



CURRENT



RENDERING



RENDERING



RENDERING

RENDERINGS

2349 SNAPPINGER (MR-1)

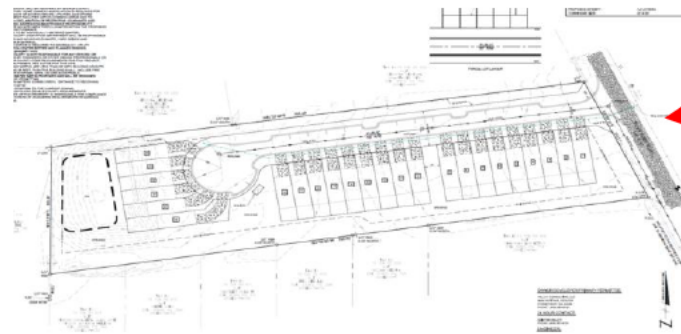
- 17 Acre
- 167 Townhomes
- 13 Single Family

SITE SUMMARY
17.236 ACRES
168 UNITS - TOWNHOMES
DENSITY: 9.75 UNITS/AC.
167 - 22 x 60 UNITS
SINGLE FAMILY DETACHED LOTS
13 LOTS - 60' x 100'



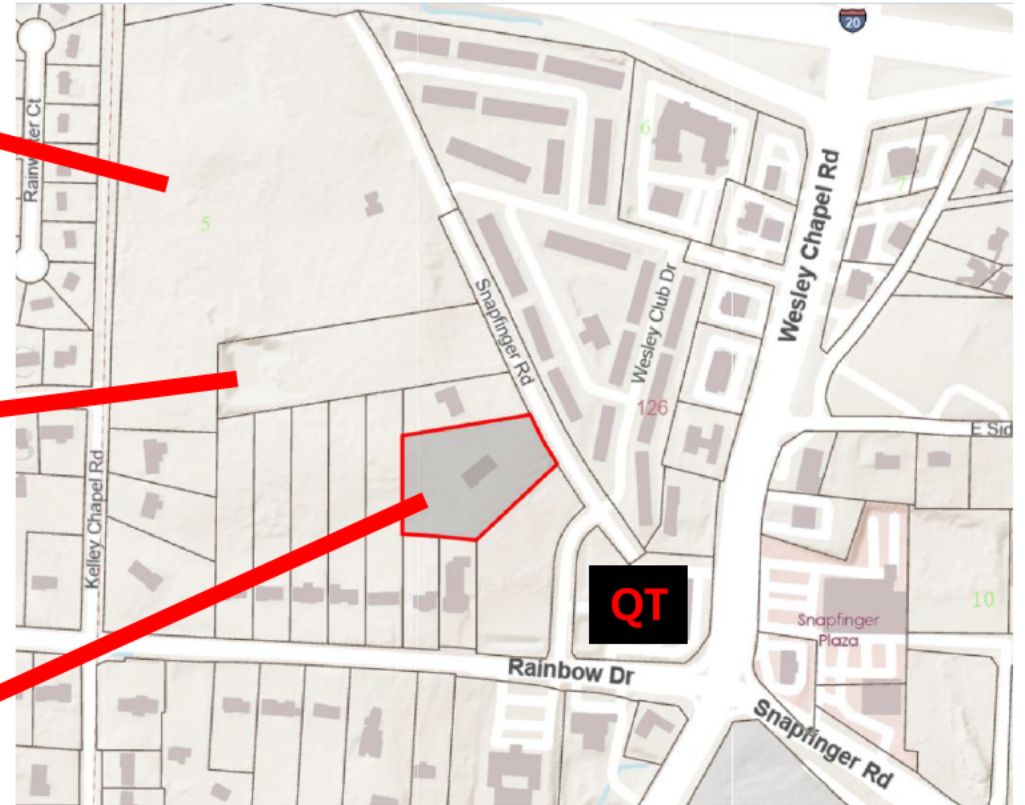
2381 SNAPPINGER (R-100)

- 3.31 Acre
- 24 Townhomes



2421 SNAPPINGER (MR-1)

- 2.25 Acre
- 1 Single Family w/ADU



NEARBY PLANNED DEVELOPMENTS

All located in the Wesley Chapel Activity Center



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Thanks,

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Wainwright Jeffers

Owner/Contractor

ITEM No. 14.

BOARD OF COMMISSIONERS

ZONING - AGENDA / MINUTES

MEETING DATE: July 25, 2000

PRELIMINARY	<input type="checkbox"/>
ACTION	<input type="checkbox"/>
PUB. HRG.	<input checked="" type="checkbox"/>

RESOLUTION	<input type="checkbox"/>
ORDINANCE	<input checked="" type="checkbox"/>
PROCLAMATION	<input type="checkbox"/>

SUBJECT: Rezoning - Samuel & Lynette Chapman

COMMISSION DISTRICTS: 5 & 7

DEPARTMENT: PLANNING

INFORMATION CONTACT: RAY WHITE
 ROBERT MAXEY
PHONE NUMBER (404) 371-2155

ATTACHMENT **Pages:** 19

PURPOSE:

Z-00080

Application of Samuel and Lynnett Chapman to rezone property located on the southwest side of Snapfinger Road, 477 feet north of its intersection with Rainbow Drive, from R-100 to C-1. The property has frontage of 275 feet on Snapfinger Road and contains 3.16 acres.

SUBJECT PROPERTY Parcel-ID #: 15-126-5-5 & 6

RECOMMENDATION(S):

PLANNING DEPARTMENT

Approval of RM-100. This rezoning is an attempt to create further deterioration along a residential dead end street. An adjacent parcel C-1 has not been developed and no justification has been provided as to why additional land should be zoned commercial with limited access. Vacant commercial buildings also front onto Wesley Chapel Road. A rezoning to the RM-100 zoning category is considered more appropriate than the requested C-1. The RM-100 zoning district would allow the use as a transitional housing facility but only with the approval of a special land use permit granted by the Board of Commissioners after public hearings. Staff recommendation is for approval of RM-100 with the following conditions:

1. Applicant must obtain a special land use permit in accordance with Code Sections 27-330 C.8 and division 2 for a transitional housing facility.
2. The use is limited to a transitional housing facility for not more than 15 learning disabled or emotionally disabled children.
3. Access and road improvements as required by Public Works Department.

PLANNING COMMISSION:

Approval of RM-100.

FOR USE BY COMMISSION OFFICE/CLERK ONLY

ACTION:

MOTION was made by Commissioner Brown, seconded by Commissioner Davis, and passed 6-0-0-0, to approve RM-100 with conditions on the rezoning application of Samuel and Lynnett Chapman.

ADOPTED: JUL 25 2000
(DATE)

CERTIFIED: JUL 25 2000
(DATE)



PRESIDING OFFICER
DEKALB COUNTY BOARD OF COMMISSIONERS



CLERK,
DEKALB COUNTY BOARD
OF COMMISSIONERS

MINUTES:

Samuel Chapman, 2399 Snapfinger Rd., Decatur, GA 30034; and Herb Lewis, 2317 Snapfinger Rd., Decatur, GA 30034, spoke in support of the application.

Troy Sanders, 2349 Snapfinger Rd., Decatur, GA 30034, spoke in opposition to the application.

Attachments

	FOR	AGAINST	ABSTAIN	ABSENT
DISTRICT 1 - ELAINE BOYER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DISTRICT 2 - GALE WALDORF	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DISTRICT 3 - JACQUELINE SCOTT	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DISTRICT 4 - KEN DAVIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DISTRICT 5 - WILLIAM C. BROWN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DISTRICT 6 - JUDY YATES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



CURRENT



CURRENT



RENDERING



RENDERING

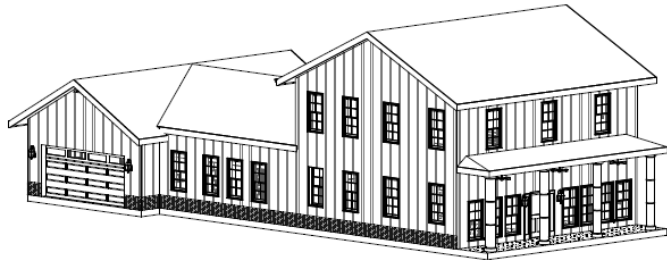


RENDERING

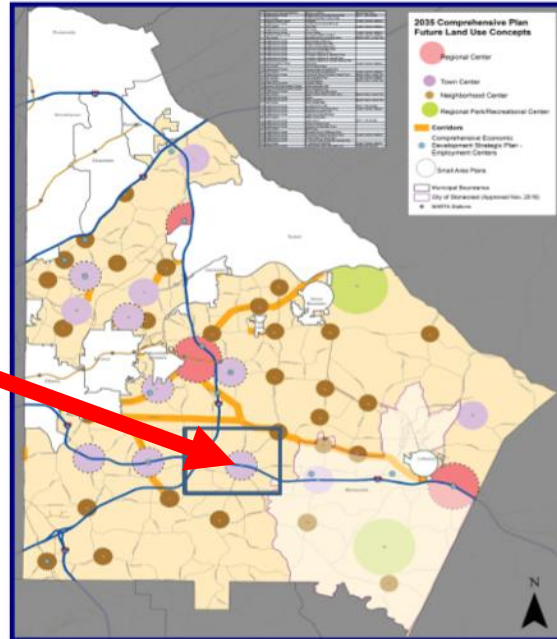
RENDERINGS

Wesley Chapel Activity Center

Location: Northern portion of the county.
 Commission Districts 3
 Super District 7
 Small Area Plan (SAP): Wesley Chapel LCI Plan
 Implementation Tool: I-20 Overlay District



Home located in the Wesley Chapel Activity Center

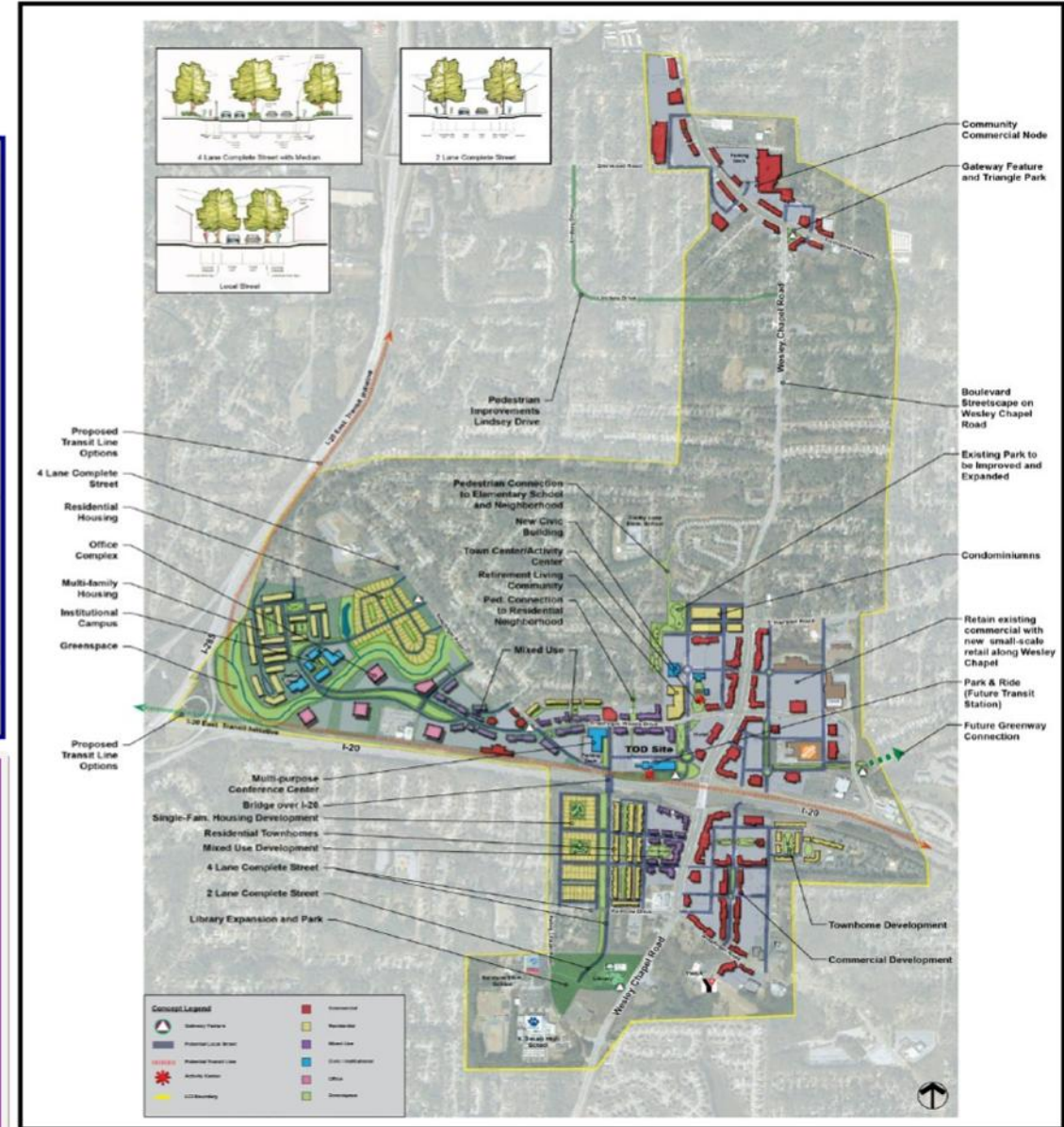


The Wesley Chapel Activity Center derives from the Wesley Chapel Livable Centers Initiative (LCI) Study. The core of the study is the nexus of Interstate 20 and Wesley Chapel Road. Some of the goals of the plan:

- Encourage diversity of mixed income neighborhoods, employment, and recreational choices
- Provide access to a wide range of travel modes, including transit, walking and biking.
- Develop an outreach process that promotes involvement of all stakeholders.

Land Use recommendations from the study are being used as policy guidelines in the comprehensive plan.

Refer to the Wesley Chapel LCI Plan for more details.



2349 SNAPPINGER (MR-1)

- 17 Acre
- 167 Townhomes
- 13 Single Family

SITE SUMMARY

17.236 ACRES
168 UNITS-TOWNHOMES
DENSITY: 9.75 UNITS/AC.

167 - 22 x 60 UNITS

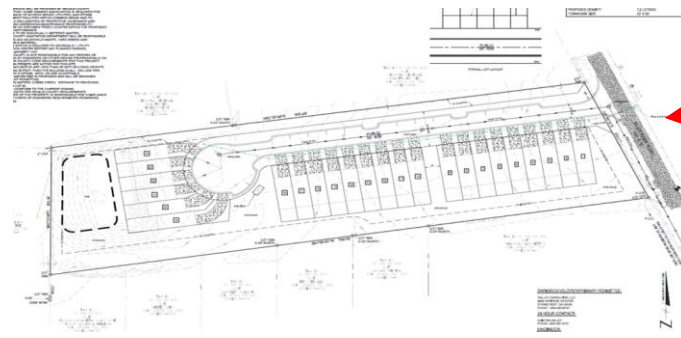
SINGLE FAMILY DETACHED LOTS

13 LOTS - 60' x 100'



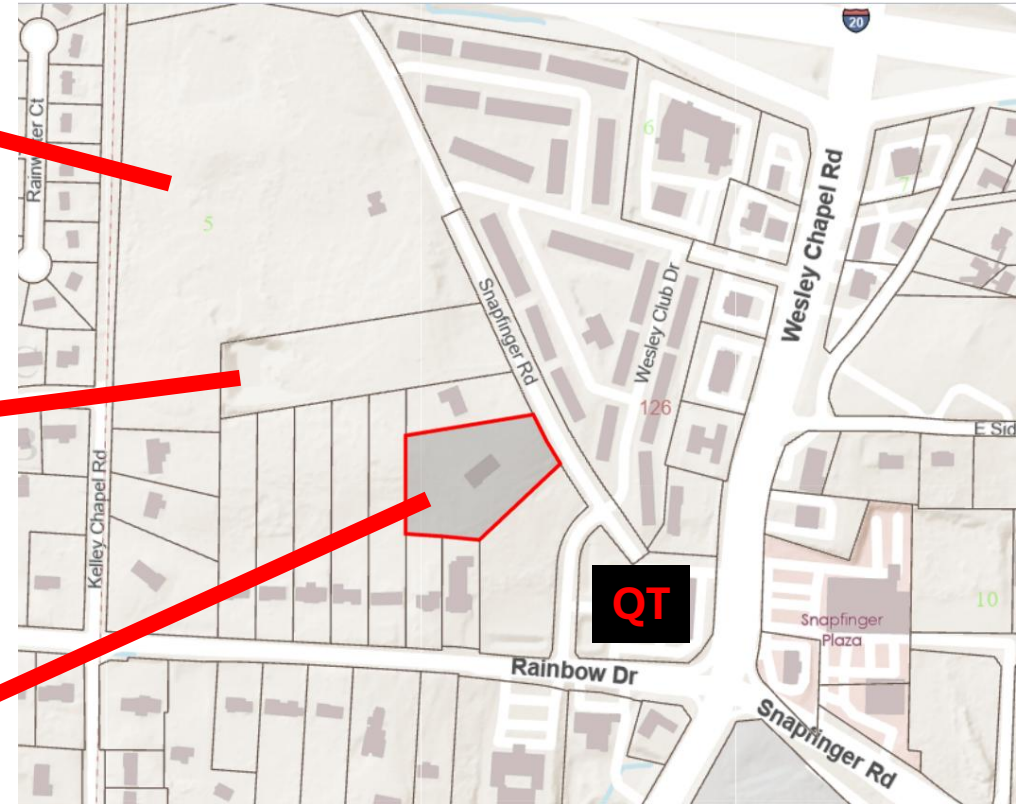
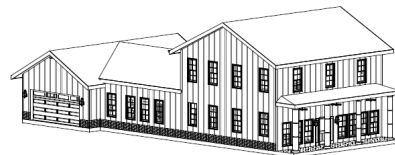
2381 SNAPPINGER (R-100)

- 3.31 Acre
- 24 Townhomes



2421 SNAPPINGER (MR-1)

- 2.25 Acre
- 1 Single Family w/ADU



NEARBY PLANNED DEVELOPMENTS

All located in the Wesley Chapel Activity Center

COVER SHEET FOR:
WAINWRIGHT JEFFERS

2421 SNAPPINGER ROAD
LAND LOT 126 - 15th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: MR-1
PIN: 15 126 05 006

97,227 SQ FT
2.23 ACRES

SHEET INDEX

- PAGE 1 - COVER SHEET
- PAGE 2 - DEMOLITION PLAN
- PAGE 3 - ESPC AND TREE PROTECTION PLAN
- PAGE 4 - WATER QUALITY PLAN
- PAGE 5 - WATER QUALITY DETAILS
- PAGE 6 - EROSION NOTES & DETAILS
- PAGE 7 - EROSION NOTES & DETAILS

DEMOLITION NOTES:

- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- ALL TREES TO REMAIN AND HAVE PROPERTY PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR OTHER RIGHT-OF-WAY.
- ADDITIONAL EROSION CONTROL SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S).
- CALL FOR FINAL INSPECTION AT (404)-371-4913
- CONTRACTOR TO FIELD VERIFY UTILITY TIE-IN TO EXISTING FACILITIES AND COORDINATE REMOVAL WITH EACH UTILITY.
- ALL UTILITIES MUST BE CUT OFF & CAPPED AT THE STREET BEFORE DEMOLITION ACTIVITIES.

SITE CONTACT INFORMATION			
COMPANY	CONTACT	DESCRIPTION	PHONE
FRONTLINE SURVEYING & MAPPING	THOMAS PEAY	DESIGN PROFESSIONAL	678-355-9905
DEKALB COUNTY	AKIN AKINSOLA	ENGINEERING REVIEW	404-371-2191
DEKALB COUNTY	CHARLES GILL	PUBLIC WORKS	404-294-2123
DEKALB COUNTY	R.W. TONNING	ARBORIST	404-371-2685
DEKALB COUNTY	DAVID CULLEN	SENIOR PLANNER	404-371-2155

EROSION CONTROL NOTES

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED IF NECESSARY. ADDITION EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

ALL SILT FENCES MUST MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCES FOR THE DEPARTMENT OF TRANSPORTATION, QUALIFIED PRODUCTS LIST #36. SILT FENCES SHALL NOT BE PLACED IN STREAM BUFFER OR FLOODPLAINS, UNLESS UTILIZED FOR THE CONSTRUCTION OF AN EXEMPT ACTIVITY (I.E. ROADWAY DRAINAGE STRUCTURES, SEWER/WATER CROSSINGS, OR DRAINAGE STRUCTURES) PER THE APPROVED PLANS. FOR SUCH DISTURBANCES WITHIN THE BUFFER, THE AREA SHALL BE IMMEDIATELY STABILIZED USING EROSION CONTROL MATTING AND/OR BLANKETS ONCE THE ACTIVITY IS COMPLETE. SEDIMENT STORAGE VOLUME (67CY/ACRE) MUST BE INSTALLED PRIOR TO ANY OTHER LAND DISTURBANCE ACTIVITY AND IN PLACE UNTIL FINAL STABILIZATION OCCURS. FOR EACH SITE ON WHICH LAND DISTURBING ACTIVITY OCCURS, EACH ENTITY OR PERSON ACTING AS EITHER A PRIMARY, SECONDARY, OR TERTIARY PERMITEE, AS DEFINED IN THE STATE GENERAL PERMIT, SHALL HAVE AS A MINIMUM ONE PERSON WHO IS IN RESPONSIBLE CHARGE OF EROSION AND SEDIMENTATION CONTROL ACTIVITIES ON BEHALF OF SAID ENTITY OR PERSON AND MEETS THE APPLICABLE (LEVEL 1A) EDUCATION OR TRAINING CERTIFICATION REQUIREMENTS (O.C.G.A. 12-7-19(A)(2)). ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. IN SUCH INSTANCES WHERE THE ESTABLISHMENT OF VEGETATION IS INOPPORTUNE DUE TO SEASON OR DROUGHT, DISTURBED AREAS SHALL TEMPORARILY STABILIZED USING 2"-4" OF MULCH (0s1). ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE AND ALL STREAM BUFFERS SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.

WASTE DISPOSAL

Local waste collection areas away from streets, gutters, watercourses and storm drains. Waste collection areas, such as dumpsters, are often best located near construction site entrances to minimize traffic on disturbed soils. The plan should include secondary containment around liquid waste collection areas to further minimize the likelihood of contaminated discharges. The contractor shall provide appropriate refuse/flush collection receptacles on the site and arrange for periodic collection and disposal. Concrete washdown of tools, concrete mixer chutes, hoppers and rear of vehicles to be done in excavate pit deep enough to contain washdown water. WASHOUT DRUM IS PROHIBITED. Ensure washdown water goes into and stays in pit. Contractor shall coordinate with superintendent to fill in pit and smooth out ground.

No hazardous materials are slated for use on this project. However, if circumstances arise where hazardous materials are to be used, the owner must be notified and proper handling and storage protocols documented and implemented.

Sanitary waste will be collected in portable urinals provided and maintained by a state licensed sanitary waste management contractor or as required by local regulations.

Temporary fueling tanks shall have a GA EPC approved secondary containment liner to prevent/minimize site contamination and be located away from state waters, natural drains, and the storm water drainage inlets. Equipment maintenance areas will also be located away from drainage features. Discharge of oils, fuels and lubricants is prohibited. These should be collected in suitable containers and recycled or disposed of as appropriate.

No waste material shall be discharged to waters of the State, except as authorized by Section 404 permit. No waste will be disposed of into storm drain inlets. Signage will be posted as needed to achieve the above standards. All wastes to be disposed of in compliance with Local, State and Federal regulations.

TREE NOTES

1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION. 2. ALL TREE SAVE FENCING TO BE INSTALLED PRIOR TO BE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING. 3. ALL TREE SAVE FENCE TO BE REPAIRED OR REPLACED AS NEEDED. 4. NO PARKING, STORAGE, OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

TIME OF YEAR - AS NEEDED FOR COUNTY MID-MARCH

*REPLANTING MUST MEET MINIMUM STANDARD FOR NURSERY STOCK (ANSI Z60.1, 1980).

TREES MUST BE FREE OF INJURY, PESTS, DISEASE, NUTRITIONAL DISORDERS OR ROOT DEFECTS. AND MUST BE IN GOOD VIGOR TO ASSURE A REASONABLE EXPECTATION OF SURVIVAL. STANDARDS FOR TRANSPLANTING SHALL BE IN KEEPING WITH THOSE ESTABLISHED IN THE INTERNATIONAL SOCIETY OF ARBORICULTURAL PUBLICATION TREE AND SHRUB PLANTING MANUAL OR A SIMILAR PUBLICATION.

SIZE - 2 INCH

WILL BE BALL IN BURLAP

WILL HAVE SUPPORT LINES

COORDINATE WITH MUNICIPAL ARBORIST TO DETERMINE THE SIZE AND TYPE OF THE REPLACEMENT TREES.

ZONING/SETBACKS:
MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
TABLE 2.4
LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
FRONT: 0 FT
SIDE: 3 FT
REAR: 20 FT
MIN LOT WIDTH AT SETBACK: 60 FT
MIN PUBLIC ROAD FRONTAGE: 45 FT
MAX BLDG HEIGHT: 35 FT
MIN LOT SIZE: 20,000 SF
MAX COVERAGE: 60%

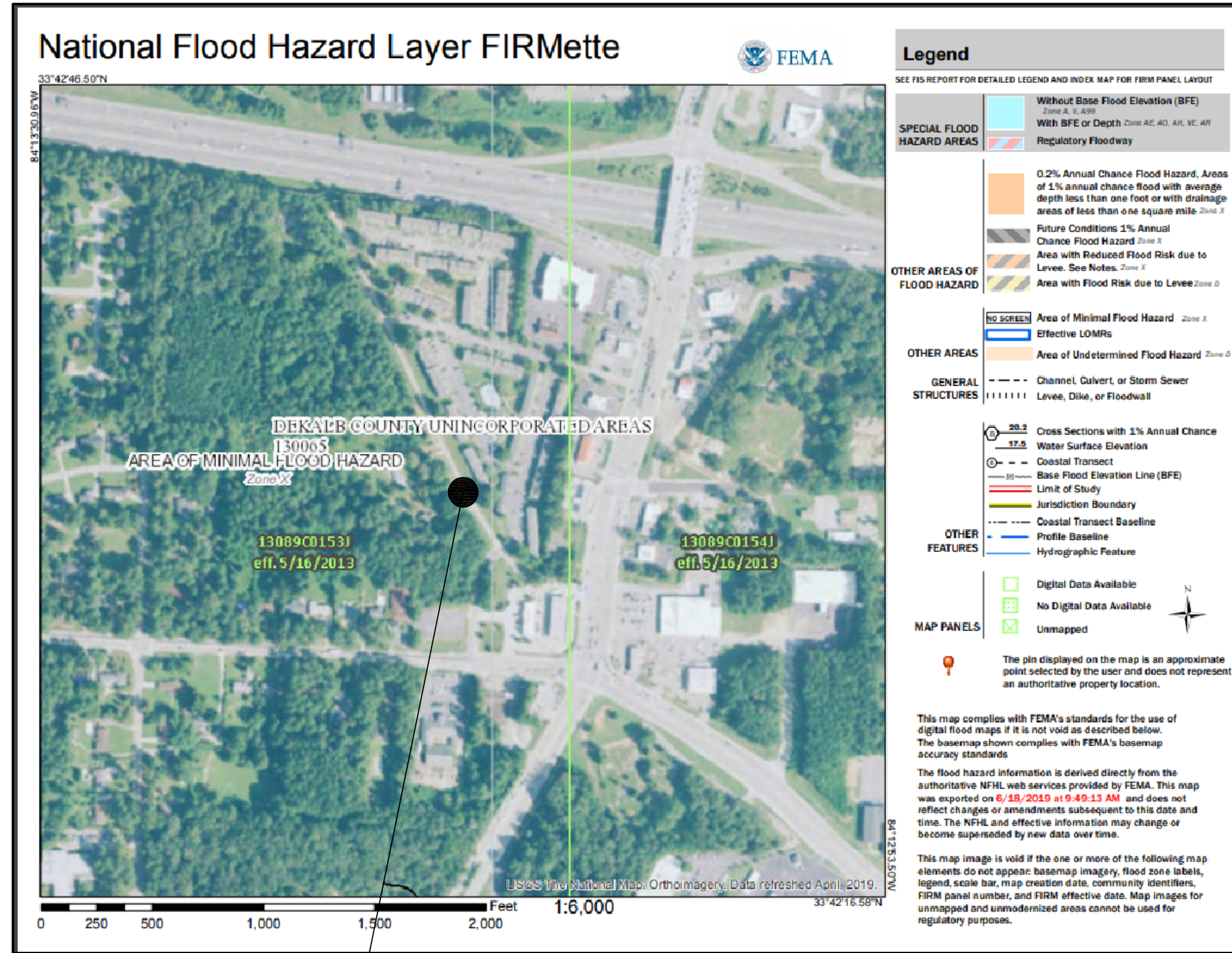
ZONING CONDITIONS:
CZ-00080

SURVEY NOTES:

- HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV83)
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF DEKALB COUNTY, GEORGIA. SUBJECT AND ADJACENT PROPERTY OWNERS DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON. LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES.
- THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C01531; EFFECTIVE DATE: 05-16-2013. ZONE: X
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- DEED/PLAT DISCLAIMER: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEOCENTRIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
- THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- BOUNDARY FIELD WORK PERFORMED 05-07-2019 BY FRONTLINE SURVEYING & MAPPING, INC.
- EQUIPMENT USED: TOPCON ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER UTILIZING CHAINING GPS/GPS NETWORK.
- ANGULAR ERROR: 2 SECONDS PER ANGLE.
- RAW FIELD PRECISION: 1:16,738
- ADJUSTED BY LEAST SQUARES.
- PLAT CLOSURE: 1:515,670

EROSION NOTES:

- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO AND CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATED AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING AND SILT FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT LOT SURVEY A FINAL AS-BUILT WATER QUALITY CERTIFICATE IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO WATER QUALITY BMP(S).
- NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE CRITICAL ROOT ZONE.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00AM-7:00PM
SATURDAY 8:00AM-5:00PM



FLOOD MAP
NOT TO SCALE

NOTE: THIS SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN AS PER FEMA FLOOD INSURANCE MAP 13089C0153J. DATED MAY 16, 2013.

DESCRIPTION OF CONSTRUCTION ACTIVITY:

THIS PROJECT IS FOR THE DEMOLITION OF A ONE STORY HOUSE WITH CRAWLSPACE. A TWO STORY HOUSE ON A SLAB WILL BE BUILT ON THE LOT AFTER DEMOLITION. THERE SHALL BE MINIMAL GRADING. THE CONSTRUCTION WILL BEGIN JANUARY 2020 AND FINAL STABILIZATION WILL TAKE APPROXIMATELY NINETY (90) DAYS.

RECEIVING WATERS:

AN UNNAMED TRIBUTARY OF COBBS CREEK IS THE PROJECT'S INITIAL RECEIVING WATER. THERE ARE NO SENSITIVE AREAS ON SITE. THE ADJACENT PROPERTY OWNERS AND CREEK SHALL BE PROTECTED BY A CLEAR DEMARCATION OF THE LIMITS OF DISTURBANCE, PROPER SOIL STABILIZATION (Du, Ds1, Ds2, Ds3, etc.), TREE PROTECTION FENCING, AND DOUBLE ROW SILT FENCE, THE SILT FENCE IS TO BE CLEANED OUT BY CONTRACTOR ONCE IT HAS REACHED 1/3 CAPACITY. CONTRACTOR TO INSPECT EROSION CONTROL MEASURES DAILY AND AFTER RAIN EVENTS. UPON VISUAL INSPECTION OF FAILURE, OTHER METHODS MAY BE NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE AND REACHING THE CREEK, THE DESIGN PROFESSIONAL SHOULD BE CONTACTED IMMEDIATELY.

GENERAL SOIL AND HYDROLOGY SITE NOTES:

SOILS:	MAP SYMBOL	MAPPING UNIT	SLOPE	ERODIBILITY	PERMEABILITY	EROSION K
MdB		Madison Sandy Loam	2-6%	-	0.6-2.0	0.24
McC		Madison Sandy Loam	6-10%	-	0.6-2.0	0.24

USDA ONLINE SOILS MAP SHOWS SOIL TYPE AS ABOVE IN CHART

VEGETATION: Lot is currently grassed, lightly wooded. There is no marketable timber to be cleared.

RUNOFF COEFFICIENTS: Pre-Construction: 68 CN. Post-Construction: 71.6 CN

HYDROLOGY STUDY: N/A.

WATER & SEWER PROVIDED BY DEKALB COUNTY WATER & SEWER DEPARTMENT

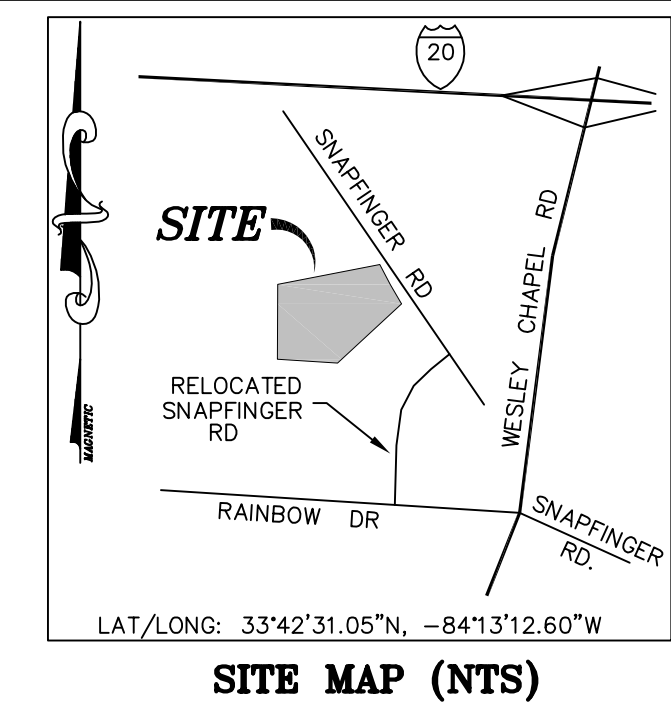
GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

THOMAS E. PEAY, III
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER: 000006688
ISSUED: 08/18/2018 EXPIRES: 08/18/2021

IF YOU DIG GEORGIA... CALL US FIRST!
1-800-282-7411

UTILITIES PROTECTION CENTER
IT'S THE LAW!



CURRENT OWNER/DEVELOPER

WAINWRIGHT JEFFERS
3996 INDIAN MANOR DR
STONE MOUNTAIN, GA 30083

24 HOUR CONTACT
WAINWRIGHT JEFFERS
404-285-9696
wjeffers@wainwrightgc.com

CONSTRUCTION SCHEDULE

ACTIVITY	JAN 2020	FEB 2020	MAR 2020	APR 2020
INSTALL CONST. ENTRANCE/EXIT & CONCRETE WASHOUT				
INSTALL PERIMETER & SEDIMENT STORAGE BMP'S				
CLEARING & GRUBBING				
TEMPORARY VEGETATION				
BRING TO FINAL GRADE				
MAINTAIN EROSION CONTROL				
CONSTRUCTION OF BLDG DRIVE, AND SIDEWALKS				
FINAL LANDSCAPING AND PERMANENT VEGETATION				
CLEAN UP/REMOVAL OF TEMP. BMP'S				

NOTE: ALL BMPs SHALL BE REMOVED UPON FINAL STABILIZATION.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 15,728 FEET, AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN ELECTRONICALLY FILED WITH THE CLERK OF SUPERIOR COURT OF DEKALB COUNTY, GEORGIA. THE INFORMATION TOTAL STATION AND 4 100' CHAIN WERE USED TO OBTAIN THE INFORMATION USED IN THE PREPARATION OF THIS PLAT.

NO U.S. MONUMENT WAS FOUND WITHIN 600 FEET OF THIS PROPERTY. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS REPERIFICATION BY THE SURVEYOR. NAMING SERVICE REMAINS THE PROPERTY OF FRONTLINE SURVEYING & MAPPING, INC. AND NO PART THEREOF MAY BE USED, COPIED OR REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2019 FRONTLINE SURVEYING AND MAPPING, INC. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.

3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805

FRONTLINE SURVEYING & MAPPING, INC.
www.frontlinesurveying.com

COVER SHEET FOR: **WAINWRIGHT JEFFERS**

DATE: 09/24/19
SCALE: 1" = 20'

SECTION: DEKALB COUNTY, GEORGIA
DISTRICT: 15th DISTRICT
BLOCK: 126
UNIT: 126

REVISION: _____

PHASE: _____

I HAVE THIS DATE EXAMINED THE "TIA OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (S/N 107) IN AN AREA HAVING SPECIAL FLOOD HAZARDS. MAP ID: 13089C01531 EFFECTIVE DATE: 05-16-13

FOR THE FRONTLINE SURVEYING & MAPPING, INC. LSP#00631

DATE: 09/29/20
BY: _____
TITLE: _____

JOB # **68268**

LEGEND:

- IPS IRON PIN SET
- IPF IRON PIN FOUND
- OT OPEN TOP PIN
- CT CRIMP TOP PIN
- RB REINFORCING BAR (REBAR)
- CL CENTERLINE
- R/W RIGHT-OF-WAY
- CONC CONCRETE
- PP POWER POLE
- LP LIGHT POLE
- GV GAS VALVE
- GM GAS METER
- SS SANITARY SEWER
- X FENCE
- PROP PROPOSED
- CMF CONC. MONUMENT FOUND
- OHV OVERHEAD UTILITY LINE(S)
- SSMH SANITARY SEWER MAN HOLE
- MHT MAN HOLE TELEPHONE
- DWBZ DRAINAGE BASIN
- JB JUNCTION BOX
- DI DROP INLET
- SWCB SINGLE WING CATCH BASIN
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- WV WATER VALVE
- WM WATER METER
- CO C/O SANITARY SEWER CLEANOUT
- LL LAND LOT LINE
- HW HEAD WALL
- CMF CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- RSE SANITARY SEWER EASEMENT
- FH FIRE HYDRANT
- DE DRAINAGE EASEMENT
- EP ELECTRIC POWER BOX
- TR TREE CRITICAL
- RS ROOT STRUCTURE
- 7"JUMP DISTURBED/REMOVED TREES
- (P1) (P2) (P3) REPLACEMENT/PLANTED TREES
- (TBR) - TO BE REMOVED
- PROPOSED PERVIOUS PAVER

EXISTING IMPERVIOUS AREA:
 MAXIMUM LOT COVERAGE: 35%

HOUSE FOOTPRINT: 1,143 SF
 CONC PADS: 448 SF
 WALKWAY: 270 SF
 DRIVEWAY: 2,064 SF
 BASKETBALL COURT: 2,439 SF
 WALLS: 81 SF
 TOTAL: 6,445 SF

TOTAL LOT AREA: 97,227 SF

IMPERVIOUS AREA:
 TOTAL IMPERVIOUS AREA: 6,445 SF
 TOTAL IMPERVIOUS % OF LOT: 6.6%

- TREE LEGEND:**
- 1 OAK
 - 2 POPLAR
 - 3 PINE
 - 4 CEDAR
 - 5 BIRCH
 - 6 SOUR GUM
 - 7 PECAN
 - 8 ASH
 - 9 MAPLE
 - 10 SWEETGUM
 - 11 WALNUT
 - 12 HICKORY
 - 13 PLUM
 - 14 CHERRY

DEMOLITION PLAN FOR:
WAINWRIGHT JEFFERS
 2421 SNAPPINGER ROAD
 LAND LOT 126 - 15th DISTRICT
 DEKALB COUNTY, GEORGIA
 EXISTING ZONING: MR-1
 PIN: 15 126 05 006
 97,227 SQ FT
 2.23 ACRES
 TOTAL DISTURBED AREA = 0.93 AC

ZONING/SETBACKS:
 MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
 TABLE 2.4 LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
 FRONT: 0 FT
 SIDE: 3 FT
 REAR: 20 FT
 MIN LOT WIDTH AT SETBACK: 60 FT
 MIN PUBLIC ROAD FRONTAGE: 45 FT
 MAX BLDG HEIGHT: 35 FT
 MIN LOT SIZE: 20,000 SF
 MAX COVERAGE: 60%

ZONING CONDITIONS:
 CZ-00080

NOTE:
 NO TREES TO BE REMOVED DURING DEMOLITION

NOTE:
 TBR - TO BE REMOVED DURING DEMOLITION

EROSION AND SEDIMENT CONTROL LEGEND
 (FOR DETAILS SEE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, FIFTH EDITION)

STRUCTURAL PRACTICES

- (Co) CONSTRUCTION EXIT
- (Sd1-S-Alt) SEDIMENT BARRIER-TYPE SENSITIVE ALTERNATIVE (Sd1-C-POP)
- SF-SF-SF FABRIC HEIGHT: 28", WOOD POST AT 4' O.C. MAX
- TF-TF-TF TREE PROTECTION FENCING
- LD-LD-LD LIMITS OF DISTURBANCE
- (St) RIPRAP OUTLET PROTECTION
- (Sd2-P) INLET SEDIMENT TRAP (PIGS IN A BLANKET)
- (Sd1-F) INLET SEDIMENT TRAP (WITH FENCING)
- (Sd4-C) TEMPORARY SEDIMENT TRAP
- (Tr) TREE PROTECTION FENCING
- (SS) EROSION CONTROL MATTING BLANKETS
- CWA CONCRETE WASH AREA
- (Re) RETAINING WALL
- (Cd-Hb) CHECKDAM HAYBALE
- (B) DIVERSION BERM

- DEMOLITION NOTES:**
1. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 2. ALL TREES TO REMAIN AND HAVE PROPERTY PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
 3. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR OTHER RIGHT-OF-WAY.
 4. ADDITIONAL EROSION CONTROL SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S).
 5. CALL FOR FINAL INSPECTION AT (404)-371-4913
 6. CONTRACTOR TO FIELD VERIFY UTILITY TIE-IN TO EXISTING FACILITIES AND COORDINATE REMOVAL WITH EACH UTILITY.
 7. ALL UTILITIES MUST BE CUT OFF & CAPPED AT THE STREET BEFORE DEMOLITION ACTIVITIES.

VEGETATIVE MEASURES

- (Du) DUST CONTROL ON DISTURBED AREAS
- (Dd1) DISTURBED AREA STABILIZATION (WITH MULCHING)
- (Dd2) DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- (Dd3) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- (Dd4) DISTURBED AREA STABILIZATION (PERMANENT WITH SOD)

CONTOURS / DRAINAGE

- P-980 PROPOSED CONTOUR
- 980 EXISTING CONTOUR
- x-980 or 980-x EXISTING SPOT ELEVATION
- x-P980 or P980-x PROPOSED SPOT ELEVATION
- x-980 TW PROPOSED TOP WALL ELEVATION
- 978 BW PROPOSED BOTTOM WALL ELEVATION
- D- DRAINAGE FLOW ARROWS

NOTE: HEAVY CONSTRUCTION EQUIPMENT TO BE CONTAINED WITHIN THE LIMITS OF DISTURBANCE.
 SMALL STRUCTURES SUCH AS FENCES ETC. SHALL BE REMOVED BY MANUAL LABOR TO PRESERVE TREES.
 NOTE:
 DEMOLITION PERMIT NOT ISSUED UNTIL TREE POSTING IS APPROVED

Sd2-P CURB INLET PROTECTION TO BE INSTALLED AT DOWNSTREAM CURB INLETS.

NOTE:
 2,500 CUBIC YARDS OF DEBRIS TO BE REMOVED FROM SITE (APPROX).
 CONSTRUCTION DEBRIS / CONCRETE / WOODY PLANT MATERIALS / TRASH

NOTE:
 DUMPSTER DIMENSIONS: 17.5' X 8'W X 6.5'H
 VOLUME CAPACITY: 300 CU YARDS

NOTE:
 STAGING AREA 1: 350 SF

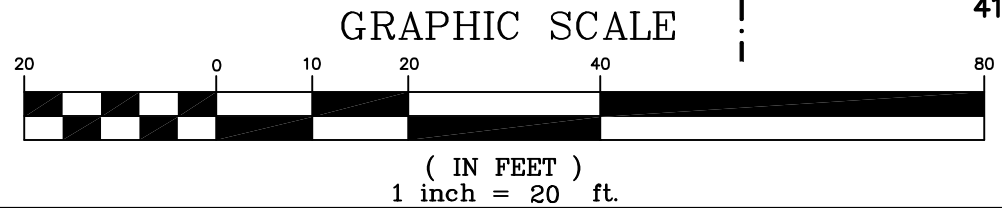
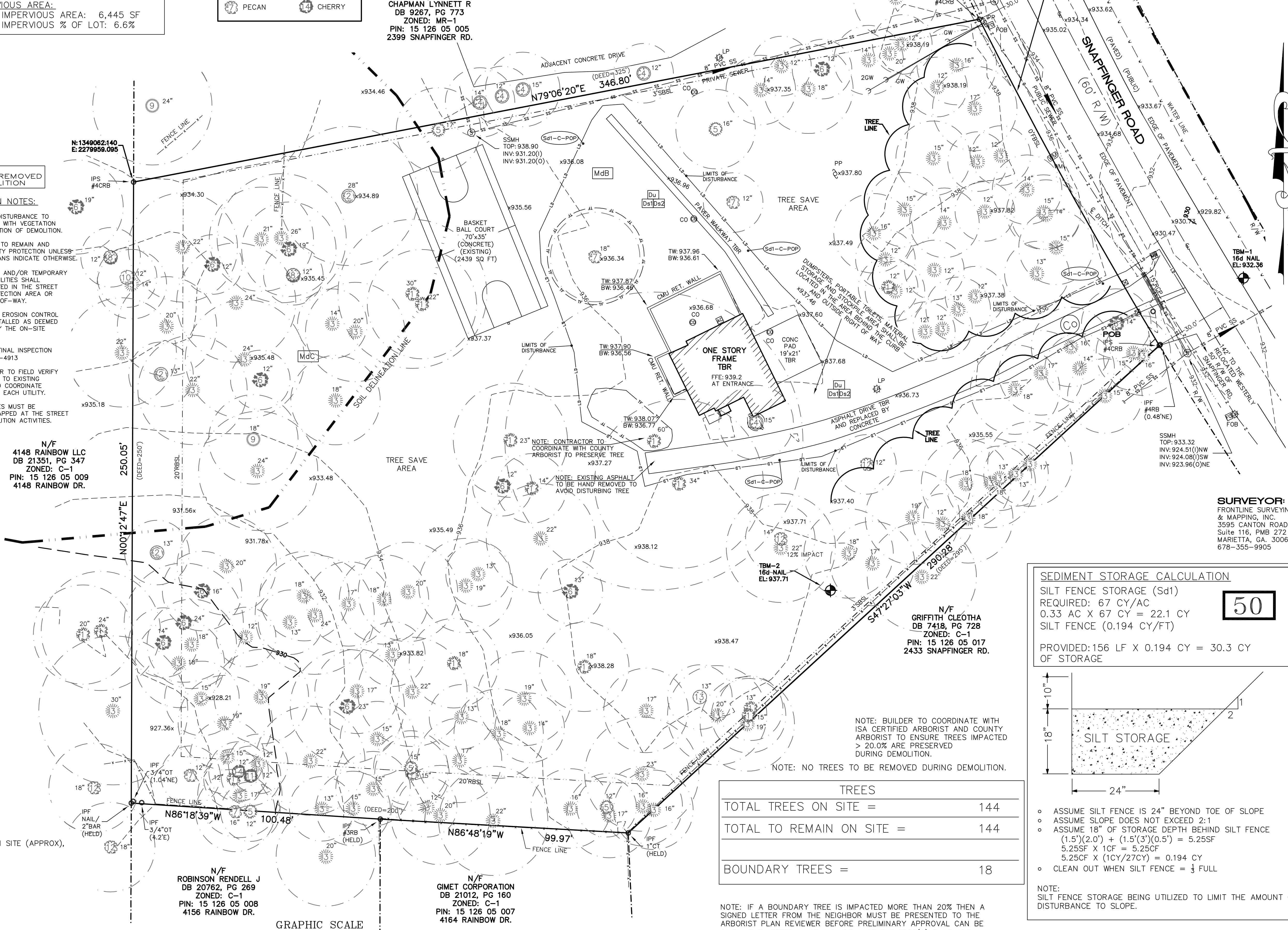
NOTE:
 CONTRACTOR TO COORDINATE REMOVAL OF UTILITIES WITH RESPECTIVE UTILITY COMPANIES AND MUNICIPALITIES.

N/F
 ROBINSON RENDELL J
 DB 20762, PG 269
 ZONED: C-1
 PIN: 15 126 05 008
 4156 RAINBOW DR.

N/F
 GIMET CORPORATION
 DB 21012, PG 160
 ZONED: C-1
 PIN: 15 126 05 007
 4164 RAINBOW DR.

N/F
 GRIFFITH CLEOETHA
 DB 7418, PG 728
 ZONED: C-1
 PIN: 15 126 05 017
 2433 SNAPPINGER RD.

N/F
 4148 RAINBOW LLC
 DB 21351, PG 347
 ZONED: C-1
 PIN: 15 126 05 009
 4148 RAINBOW DR.

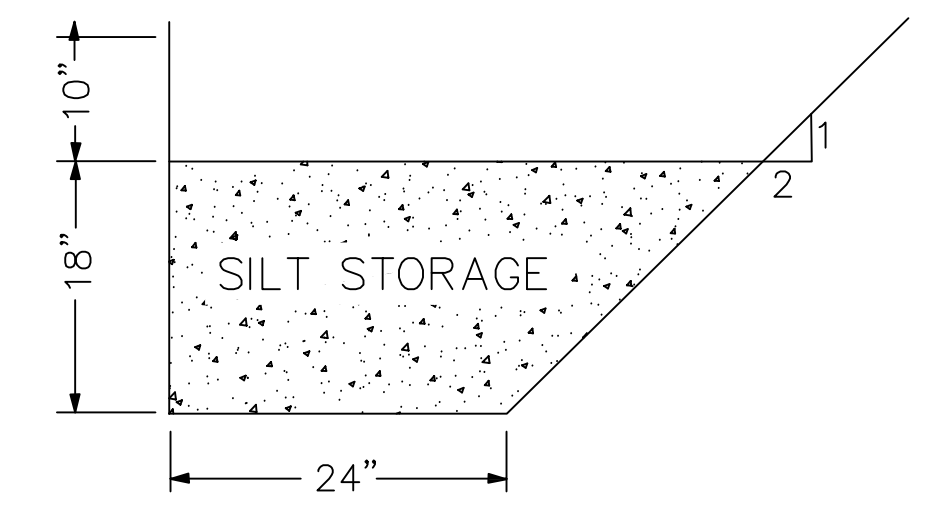


TREES	
TOTAL TREES ON SITE =	144
TOTAL TO REMAIN ON SITE =	144
BOUNDARY TREES =	18

SEDIMENT STORAGE CALCULATION

SILT FENCE STORAGE (Sd1)
 REQUIRED: 67 CY/AC
 0.33 AC X 67 CY = 22.1 CY

PROVIDED: 156 LF X 0.194 CY = 30.3 CY OF STORAGE



- o ASSUME SILT FENCE IS 24" BEYOND TOE OF SLOPE
- o ASSUME SLOPE DOES NOT EXCEED 2:1
- o ASSUME 18" OF STORAGE DEPTH BEHIND SILT FENCE
 $(1.5')(2.0') + (1.5')(3')(0.5') = 5.25SF$
 $5.25SF \times 1CF = 5.25CF$
 $5.25CF \times (1CY/27CY) = 0.194 CY$
- o CLEAN OUT WHEN SILT FENCE = 1/3 FULL

NOTE:
 SILT FENCE STORAGE BEING UTILIZED TO LIMIT THE AMOUNT OF DISTURBANCE TO SLOPE.

NOTE: IF A BOUNDARY TREE IS IMPACTED MORE THAN 20% THEN A SIGNED LETTER FROM THE NEIGHBOR MUST BE PRESENTED TO THE ARBORIST PLAN REVIEWER BEFORE PRELIMINARY APPROVAL CAN BE GIVEN. THE LETTER MUST INCLUDE: LIST THE TREE(S) THAT ARE IMPACTED, STATE IF THEY ARE LOST OR DESTROYED AND THAT FULL PERMISSION IS GRANTED FOR THE TREES REMOVAL OR IN THE CASE OF A PRESCRIPTION THAT THE PRIVATE ARBORIST HAS PERMISSION TO ENTER THEIR PROPERTY.

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000 FEET, AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN ELECTRONICALLY FILED IN THE PUBLIC RECORDS OF DEKALB COUNTY, GEORGIA. THE INFORMATION USED IN THE PREPARATION OF THIS PLAN:

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 www.frontlinesurveying.com

DATE: 09/24/19
 SCALE: 1" = 20'
 SECTION: DEKALB COUNTY, GEORGIA
 REVISION: (BY: DATE:)

DEMOLITION PLAN FOR: **WAINWRIGHT JEFFERS**
 LAND LOT 126
 15th DISTRICT

UNIT: BLOCK
 PHASE: FLOOD HAZARD MAP
 I HAVE THIS DATE EXAMINED THE TIA OFFICIAL FLOOD HAZARD MAP AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL IS IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
 MAP ID: 13089201531 EFFECTIVE DATE: 05-16-13

NO. 3281
 PROFESSIONAL SURVEYOR
 EDWARD TAYLOR III
 01/09/20

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. LSF#000631

JOB # **68268**

WATER QUALITY BASIN A CALCULATIONS:

HOUSE FOOTPRINT: 3,538 SF
PORTION OF DRIVEWAY: 1163 SF
DECK AND PORCH: 778.6 SF
TOTAL: 5,479.6 SF

NOTE: BASKETBALL COURT IS EXISTING AND A CONCRETE DRIVEWAY WILL REPLACE THE EXISTING ASPHALT DRIVEWAY; THEREFORE, THESE IMPERVIOUS SURFACES WERE EXCLUDED FROM THE WATER QUALITY CALCULATIONS.

BASKETBALL COURT RUNOFF DRAINED TO THE WEST. THE EXISTING ASPHALT DRIVEWAY DRAINED TO THE STREET. THE MAJORITY OF THE NEW CONCRETE DRIVEWAY WILL DRAIN TO THE STREET.

IMPERVIOUS AREA:
MAXIMUM LOT COVERAGE: 35%

HOUSE FOOTPRINT: 3,538 SF
CONC DRIVE / WALK: 4,290 SF
DECK / PORCH: 778.6 SF
BASKETBALL COURT (EXIST): 2,439 SF

TOTAL LOT AREA: 97,227 SF

IMPERVIOUS AREA:
TOTAL IMPERVIOUS AREA: 11,045.6 SF
TOTAL IMPERVIOUS % OF LOT: 11.4%

TREE LEGEND:

- 1 OAK
- 2 POPLAR
- 3 PINE
- 4 CEDAR
- 5 BIRCH
- 6 SOUR GUM
- 7 PECAN
- 8 ASH
- 9 MAPLE
- 10 SWEETGUM
- 11 WALNUT
- 12 HICKORY
- 13 PLUM
- 14 CHERRY

**WATER QUALITY PLAN FOR:
WAINWRIGHT JEFFERS**

2421 SNAPPINGER ROAD
LAND LOT 126 - 15th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: MR-1
PIN: 15 126 05 006

97,227 SQ FT
2.23 ACRES
TOTAL DISTURBED AREA = 0.61 AC

ZONING/SETBACKS:

MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
TABLE 2.4 LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
FRONT: 0 FT
SIDE: 5 FT
REAR: 20 FT
MIN LOT WIDTH AT SETBACK: 60 FT
MIN PUBLIC ROAD FRONTAGE: 45 FT
MAX BLDG HEIGHT: 35 FT
MIN LOT SIZE: 20,000 SF
MAX COVERAGE: 60%

ZONING CONDITIONS:

CZ-00080
SSMH TOP: 937.78
INV: 926.93(I)
INV: 926.58(O)

WATER QUALITY CALCULATIONS (RAINFLO 5100-IG PRO)

WATER QUALITY AREA A

BASINS: HOUSE, PORCH, PORTION OF DRIVEWAY
TOTAL IMPERVIOUS FOR WQ DESIGN: 5,479.6 SQ FT

RAINFALL TO BE TREATED: 1.2 INCH

WQ₁ = WATER QUALITY VOLUME (CUBIC FEET)

WQ₂ = (1.2 * A) / 12 = 548 CUBIC FEET (REQUIRED)

AREA OF GRAVEL PIT:

LENGTH OF GRAVEL PIT = 14 FT

WIDTH OF GRAVEL PIT = 10 FT

DEPTH OF GRAVEL PIT = 7 FT

VOLUME IN GRAVEL W/ 40% VOIDS = [(VOLUME OF WATER QUALITY AREA) - (VOLUME DISPLACED BY 3 TANKS)] X 0.40 = 119.3 FT³
[(14 X 10 X 7) - (227.2 X 3)] X 0.40 = 119.3 FT³

NUMBER OF 1700 GALLON (227.2 FT³) UNDERGROUND TANKS = 3

VOLUME OF 3 TANKS = 5100 GALLONS OR 681.8 FT³

VOLUME PROVIDED = VOLUME OF GRAVEL W/ 40% VOIDS + VOLUME OF 3 TANKS = 119.3 FT³ + 681.8 FT³ = 801.1 FT³ PROVIDED > 548 FT³ REQUIRED.

WATER QUALITY MAINTENANCE:

MAINTENANCE OF THE STORMWATER QUALITY SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:

GENERAL:

INSPECT GUTTERS AND DOWNSPOUTS AND REMOVE ACCUMULATED LEAFS AND DEBRIS.

INSPECT TANKS AND FILTERS FOLLOWING A LARGE RAINFALL EVENT TO INSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING PROBLEMS.

THE SITE SHALL BE INSPECTED FOR HAZARDOUS MATERIALS AT ALL TIMES WHICH MAY ESCAPE THE FLO-WELL SYSTEM AND ILLEGALLY DISCHARGE TO ADJOINING PROPERTIES.

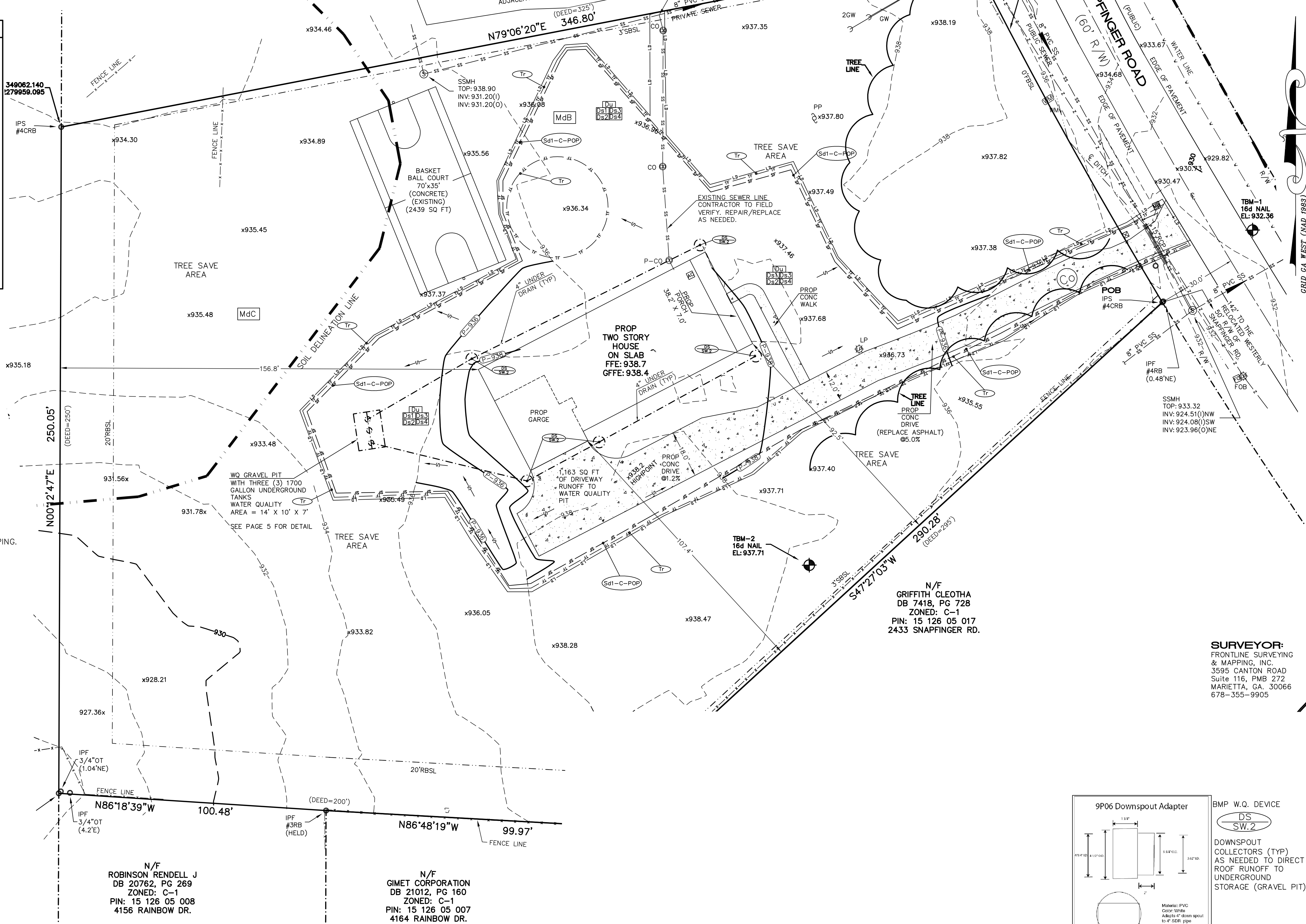
ANY DEBRIS ACCUMULATED IN EXCESS OF 3 INCHES MEASURED FROM THE COLLECTOR OF THE TANK SHALL CONSTITUTE REMOVAL TO PRESERVE THE INTEGRITY OF THE INTENDED DESIGN.

ALL DOWNSPOUTS WILL BE EQUIPPED WITH A SELF CLEANING LEAF FILTER.

WATER QUALITY NOTES:

- AS-BUILT WATER QUALITY CERTIFICATION OR LOT AS-BUILT SURVEY (INCLUDING WATER QUALITY DEVICES) IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY DEVICES TO BE INSTALLED AT TIME OF FINAL LANDSCAPING.
- GUTTER DRAINS, OBSERVATION WELLS, AND EMERGENCY BYPASSES SHALL BE CAPPED AND TURNED UP DURING CONSTRUCTION TO PREVENT INFILTRATION AND SEDIMENTATION IN PIPES.
- WATER QUALITY AREAS TO BE PROTECTED BY SILT FENCE TO PREVENT INFILTRATION AND SEDIMENT BUILD UP DUE TO CONSTRUCTION ACTIVITIES I.E. CONSTRUCTION VEHICLES, SEDIMENT RUNOFF, SILTATION ETC.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY DEVICES.
- DISTRIBUTE RUNOFF WITHIN A LINEAR GRAVEL DEVICE USING A SLOTTED/PERFORATED FLEX PIPE, FOR DOWNSPOUT CONNECTIONS TO THE DEVICE USE SOLID WALLED PVC (SCHEDULE 20 MINIMUM).
- PROVIDE A CLEANOUT AND AN EMERGENCY BYPASS FOR EXCESS FLOWS INSTALLED ON THE PIPING SYSTEM PRIOR TO PIPING REACHING THE INFILTRATION DEVICE.
- INFILTRATION DEVICES SHOULD BE PLACED ON A 0% GRADE.
- INSTALL A NON WOVEN FILTER FABRIC BETWEEN THE SOIL AND THE DEVICE AND GRAVEL.
- ALL ADDITION ROOF DOWN-SPOUTS AND AREA DRAINS SHALL TIED TO THE PROPOSED FLO-WELL PITS.
- SURFACE INLET REQUIRED ON EACH FLO-WELL.
- DOWN DRAINS SHALL HAVE POSITIVE SLOPE.
- ALL GUTTERS TO HAVE GUTTER GUARD SYSTEM.
- THE GROUND SURFACE ABOVE THE WATER QUALITY FACILITY SHALL BE GRADED SO THAT SURFACE WATER WILL DRAIN DURING OVERFLOW CONDITIONS. OFF SITE WATER SHOULD BE DIRECTED AWAY FROM FACILITY INLETS.
- OVERFLOW FROM WATER QUALITY BMP'S SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

WATER QUALITY INSTALLATION NOTE:
PLEASE CONSULT RAINHARVEST SYSTEMS FOR SPECIFIC INSTALLATION INSTRUCTIONS FOR THE RAINFLO 5100-IG PRO. 770-889-2533.

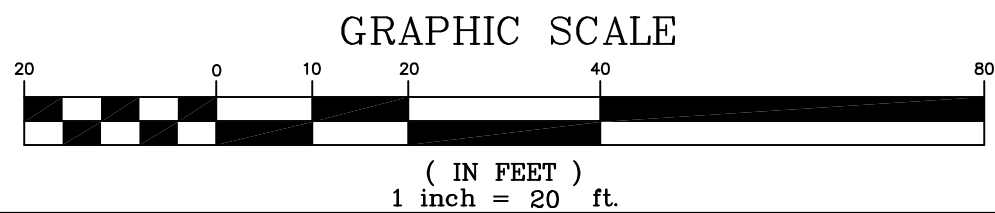
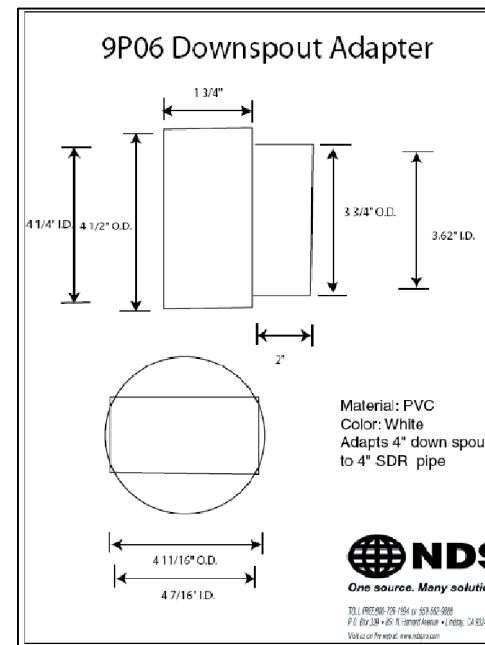


N/F ROBINSON RENDELL J
DB 20762, PG 269
ZONED: C-1
PIN: 15 126 05 008
4156 RAINBOW DR.

N/F GIMET CORPORATION
DB 21012, PG 160
ZONED: C-1
PIN: 15 126 05 007
4164 RAINBOW DR.

N/F GRIFFITH CLEOETHA
DB 7418, PG 728
ZONED: C-1
PIN: 15 126 05 017
2433 SNAPPINGER RD.

SURVEYOR:
FRONTLINE SURVEYING & MAPPING, INC.
3595 CANTON ROAD
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MARIETTA, GA. 30066
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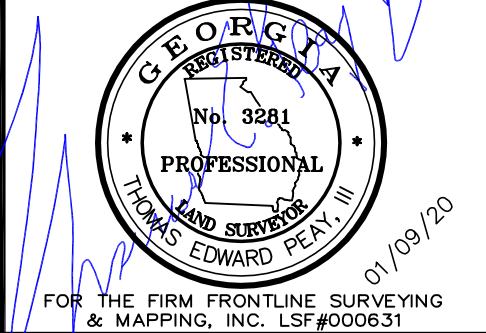


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FRONTLINE SURVEYING & MAPPING, INC.
www.frontlinesurveying.com

DATE	09/24/19
SCALE	1" = 20'
SECTION	DEKALB COUNTY, GEORGIA
REVISION	
BY:	
DATE:	

WATER QUALITY PLAN FOR:	2421 SNAPPINGER ROAD
WAINWRIGHT JEFFERS	
LAND LOT	126
DISTRICT	15th
BLOCK	
UNIT	
PHASE	
I HAVE THIS DATE EXAMINED THE "TIA OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (S 1607) IN AN AREA HAVING SPECIAL FLOOD HAZARDS.	
MAP ID	13089201531
EFFECTIVE DATE:	05-16-13



FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. LSF#000631
JOB # 68268

EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:

WAINWRIGHT JEFFERS

2421 SNAPPINGER ROAD
 LAND LOT 126 - 15th DISTRICT
 DEKALB COUNTY, GEORGIA
 EXISTING ZONING: MR-1
 PIN: 15 126 05 006

97,227 SQ FT
 2.23 ACRES

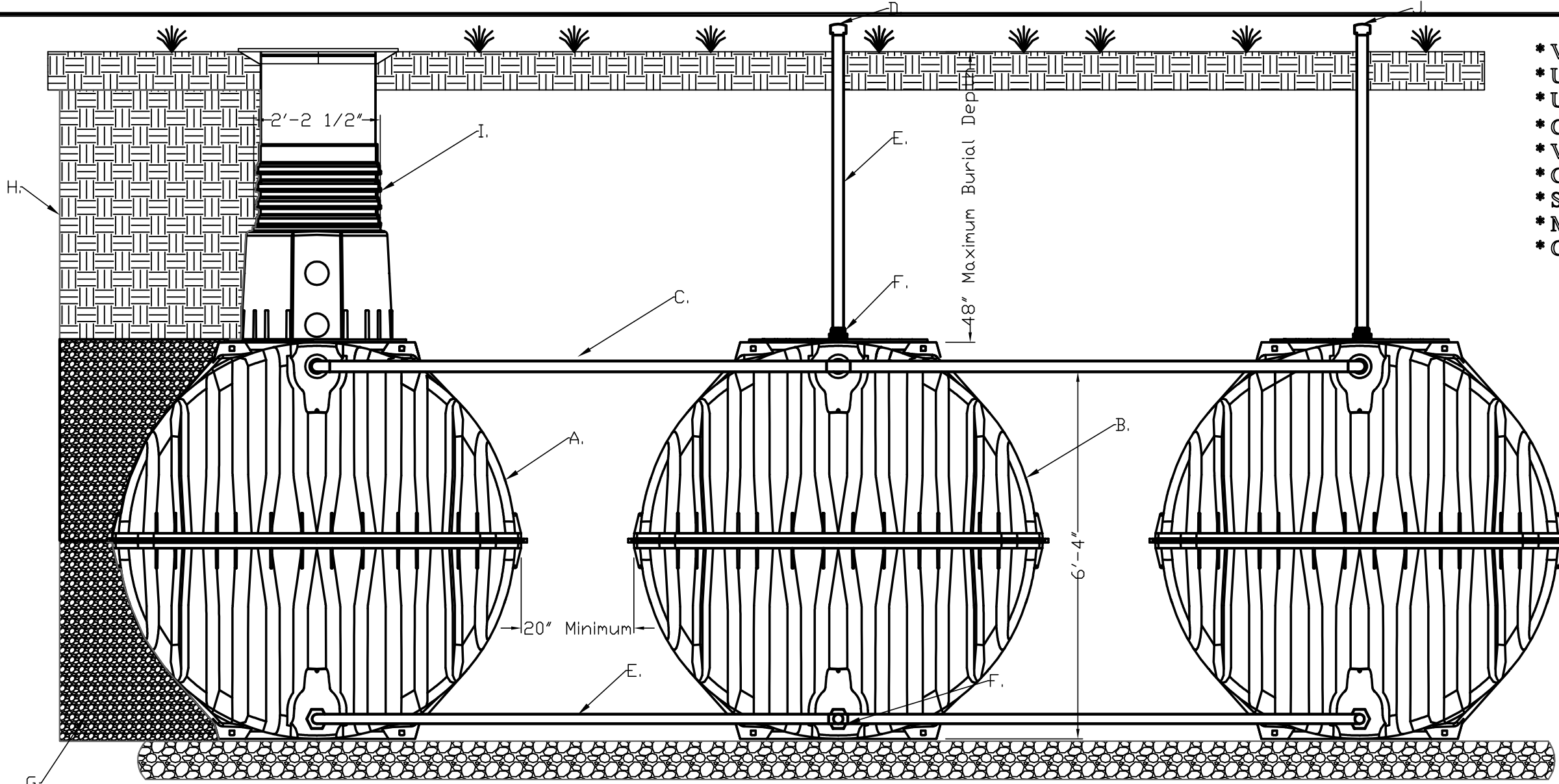
TOTAL DISTURBED AREA = 0.61 AC

ZONING/SETBACKS:
 MR-1 ZONING (MEDIUM DENSITY RESIDENTIAL)
 TABLE 2.4
 LISTED IS FOR SFD (SINGLE FAMILY DETACHED)
 FRONT: 0 FT
 SIDE: 5 FT
 REAR: 20 FT
 MIN LOT WIDTH AT SETBACK: 60 FT
 MIN PUBLIC ROAD FRONTAGE: 45 FT
 MAX BLDG HEIGHT: 35 FT
 MIN LOT SIZE: 20,000 SF
 MAX COVERAGE: 60%

ZONING CONDITIONS:
 CZ-00080

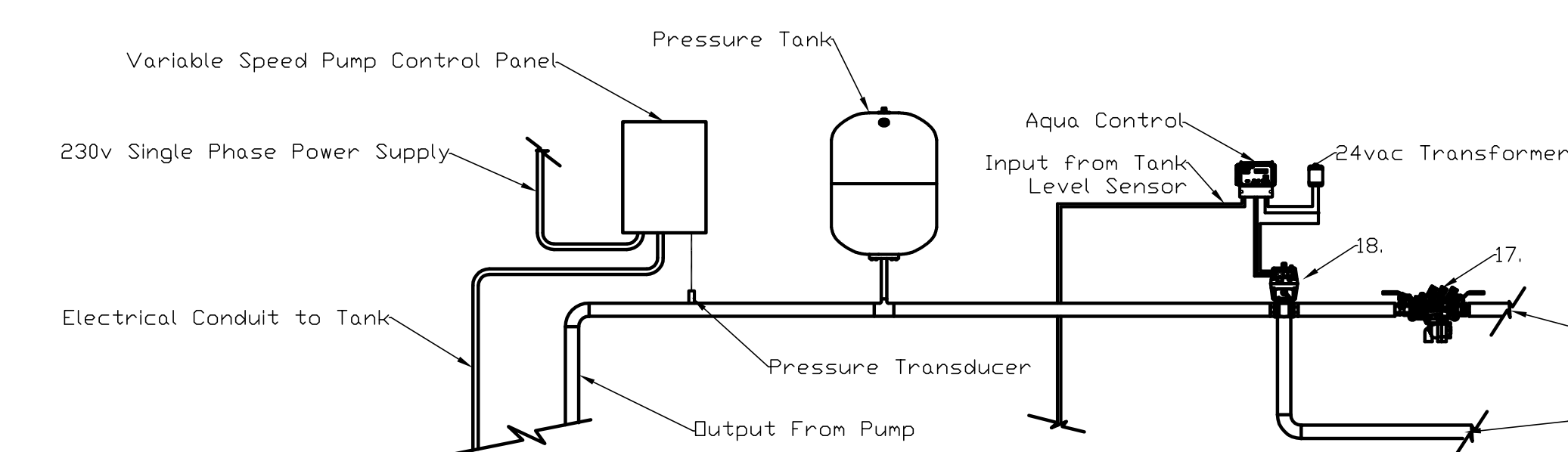
Legend A	
A.	GRAF Carat S 1700 Gallon Underground Tank (1)
B.	GRAF Carat S 1700 Gallon Underground Extension Tank (2)
C.	Optional Upper Tank Connection
D.	2" Screened Tank Vent (2)
E.	2" Lower Balancing Lines
F.	2" Banjo Bulkhead Fitting
G.	Gravel Base (#57) and Backfill (#89 or Pea)
H.	Native Soil Backfill (Above Tank)
I.	12" Riser Extension for Tank Access (Optional)

Legend B	
1.	GRAF Carat S 1700 Gallon Underground Tank.
2.	GRAF Optimax Pro Internal Filter with Opticlean Spray Head.
3.	Tank Dome with Sealing Gasket.
4.	RainFlo FI-2500 Flow Inducer Pump System.
5.	2" Floating Pump Extractor with Suction Hose and Air Filled Ball.
6.	2" Bulkhead Fitting for plumbing thru tank or riser assembly.
7.	Overflow siphon with mosquito and rodent stop.
8.	4" Overflow drain to storm drain or other. Typically PVC S&D or Schedule 40 Pipe.
9.	Control Box and Water Level Sensor for Aqua Control (Rainwater System Controller).
10.	Calming inlet to prevent the disturbance of the fine sediment layer at bottom of tank.
11.	GRAF 4" Pipe Gasket Supplied with Dome Seal Kit.
12.	4" PVC from Roof Gutters and Downspouts.
13.	1-1/2" Pump Discharge Hose.
14.	Power Cable to Pump from Control Panel.
15.	Adjustable Riser and Childproof Lid.
16.	Clean water Outlet On Graf Optimax to Rain Collection Tank.
17.	1" Reduced Pressure Principle Assembly (RPZ).
18.	Brass 3Way Valve with 24v Motorized Actuator and 1-1/2" Connections.
19.	Municipal Water Supply Connection.
20.	Output to Irrigation or Other Use.

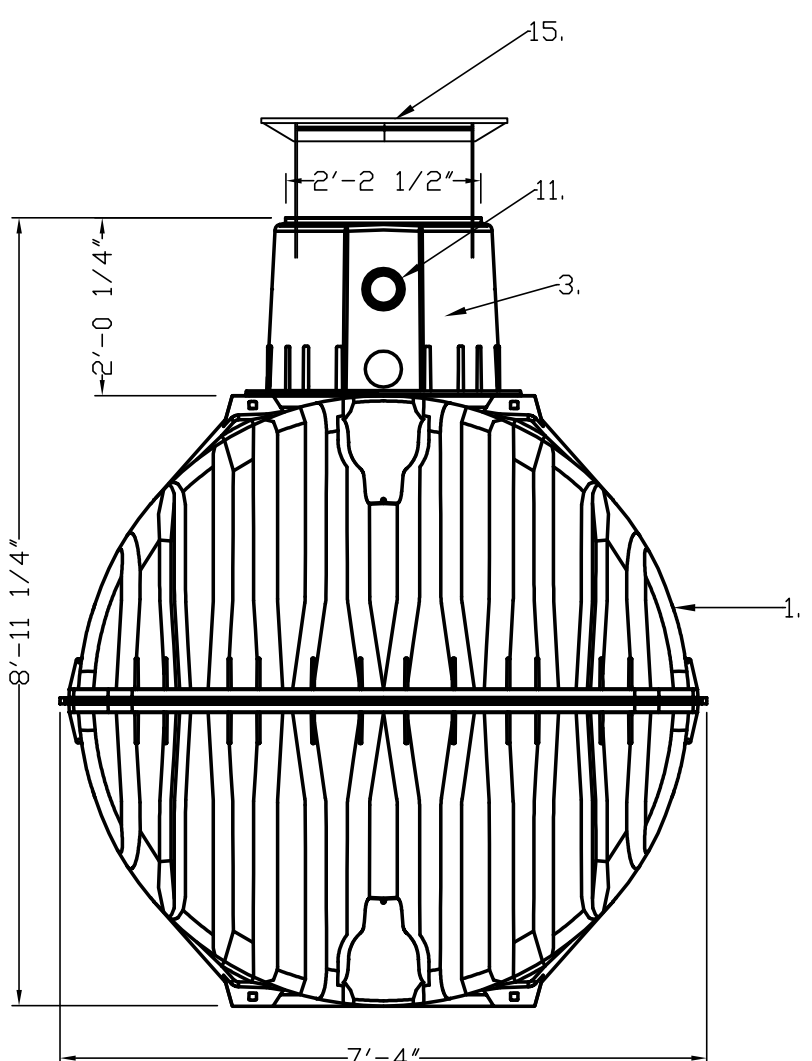


Tank Connection Detail

Pump Control and 3 Way Valve Control Detail

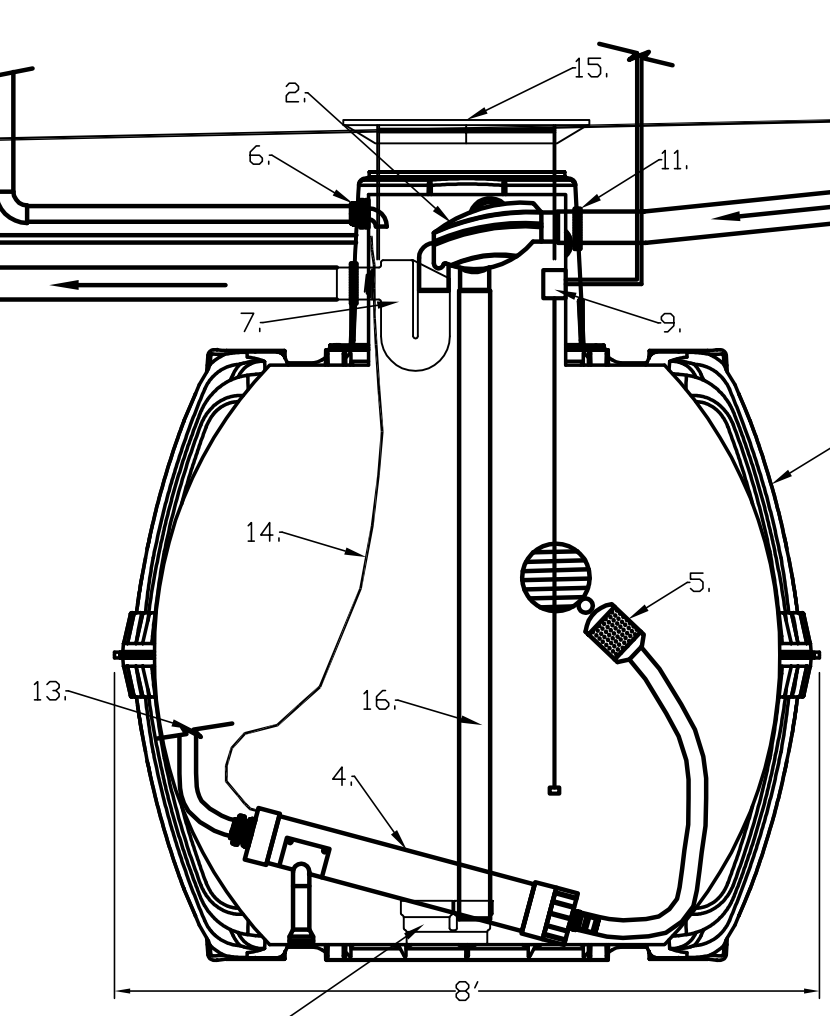


USER'S Responsibility
 Untreated Rainwater is NON-Potable water. Warning do not drink water supplied from RainHarvest Systems rainwater systems and related equipment. We will be happy to offer suggestions on the use of our various products either by way of printed material or through direct contact with RainHarvest Systems team members. However, since we have no control over the use of our products once they are shipped, NO WARRANTY WHETHER OF MERCHANTABILITY, FITNESS FOR PURPOSE, OR OTHERWISE is made beyond the repair, replacement, or refund of purchase price at the sole discretion of RainHarvest Systems. Users shall determine the suitability of the product for the intended application before using, and the users assume all risk and liability whatsoever in connection therewith, regardless of any team members suggestions or statements as to the application or construction. In no event shall any remedy exceed the purchase price of the product. Consult local building codes for the system use.



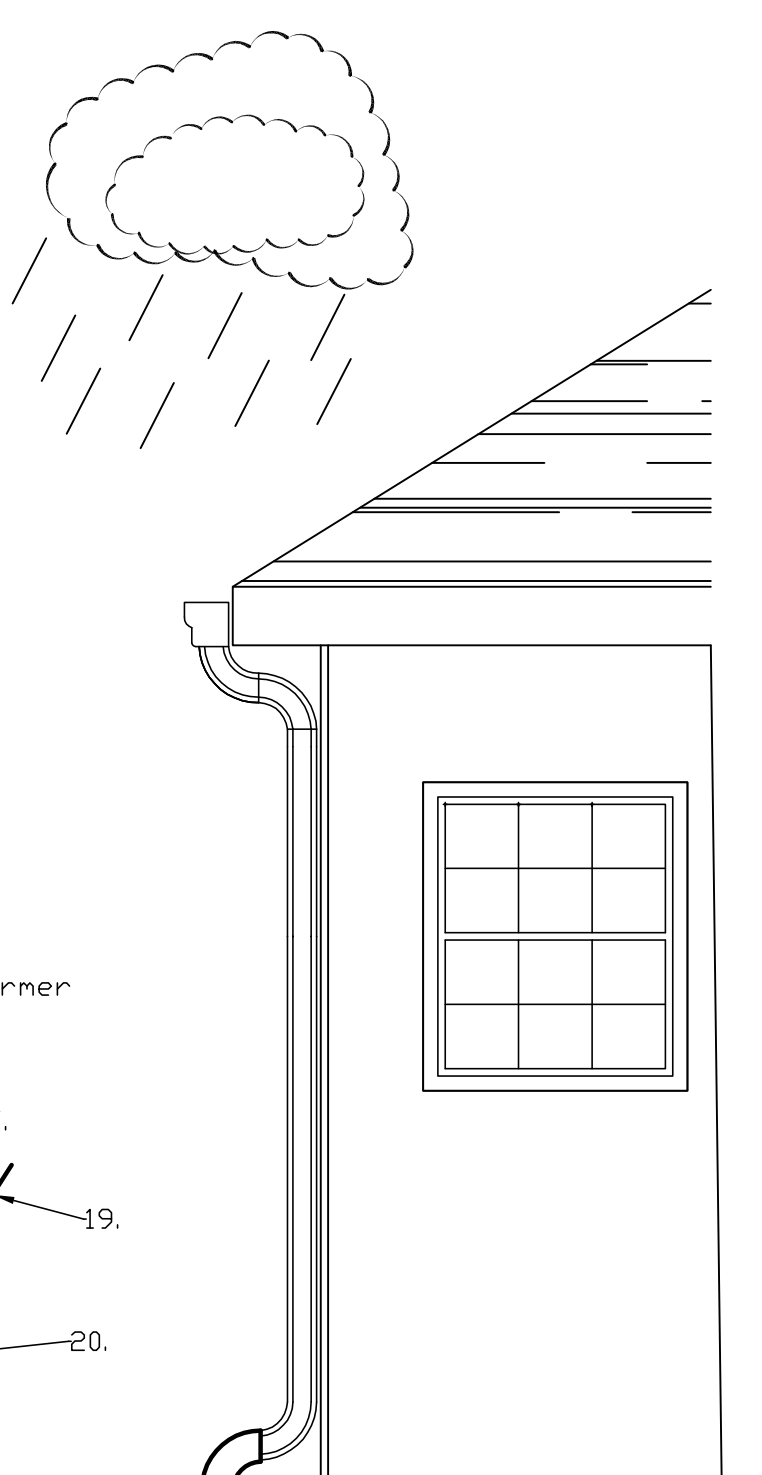
Tank End View

Note:
 Tank height should be set and plumbing pitched to best utilize existing grade.
 A site assessment should be done prior to installation to determine the optimum levels for filter and plumbing so as to provide positive drainage to tank and storm water overflows.



Tank Side View

- GRAF Carat S 1700 Gallon Tank Specifications:**
- Variable burial depth: 30" to 42" (59" Max. with optional dome extension and "Maxi" telescopic riser)
 - Unique in the world! - unique manufacturing process produces the highest stability due to latest techniques
 - Unique fit accuracy of the components thanks to new production process
 - Consistent quality due to TÜV safety testing and production monitoring
 - Vehicle-bearing (with telescopic cast iron manway kit)
 - Groundwater stable up to the middle of the tank due to extremely rigid construction
 - Secure investment with market leading 15-year warranty
 - Made from high quality Duralene; easy to recycle
 - Can be expanded as required



NOTE: This drawing is for illustrative purposes only. Actual systems and designs may vary. Always check with local building codes as they will apply. Electrical work to be performed by licensed professional. Points of use shall be labeled as: *Non Potable water, Do Not Drink!

APP BY:	DRN BY:	DATE:	SCALE:
CMG	CMG	09/24/19	1" = 20'

RainFlo 5100 Pro GRAF Rainwater Collection System

RainHarvest Systems LLC.
 6075 Parkway North Drive Suite D
 Cumming, GA 30040
 Tel: 770-889-2533 Fax: 770-889-2577

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 15,728 FEET, AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN SURVEYED AND PLOTTED IN ACCORDANCE WITH THE REQUIREMENTS OF GEORGIA CODE ANNOTATED CODES, TITLE 82, CHAPTER 10, ARTICLE 10-1-1. THE INFORMATION TOTAL STATION AND 4 100' CHAIN WERE USED TO OBTAIN THE INFORMATION USED IN THE PREPARATION OF THIS PLAT.

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GRID GA WEST (MAD 1985)

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DATE	09/24/19
SCALE	1" = 20'
SECTION	DEKALB COUNTY, GEORGIA
DISTRICT	15th DISTRICT
LOT	126
REVISION	

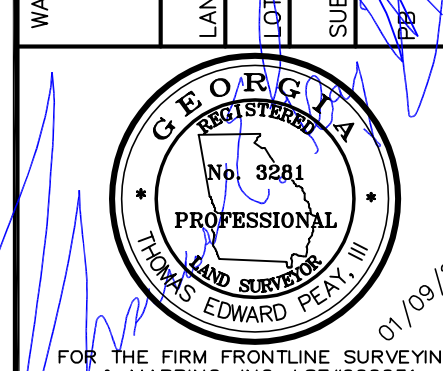
WAINWRIGHT JEFFERS

LAND LOT 126

PHASE

I HAVE THIS DATE EXAMINED THE "TA OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (S NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

MAP ID: 1308201531 EFFECTIVE DATE: 05-16-13



SURVEYOR:
 FRONTLINE SURVEYING & MAPPING, INC.
 3595 CANTON ROAD
 SUITE 116, PMB 272
 MARIETTA, GA. 30066
 678-355-9905

EROSION NOTES & DETAILS FOR: WAINWRIGHT JEFFERS

2421 SNAPPING ROAD
LAND LOT 126 - 15th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: MR-1
PIN: 15 126 05 006

97,227 SQ FT
2.23 ACRES

BEST MANAGEMENT PRACTICES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.
Sd1	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSHWOODS AND POLES, OR A SEDIMENT FENCE. THE BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.

VEGETATIVE MEASURES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		Ds2	ESTABLISHING TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)		Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)		Ds4	ESTABLISHING PERMANENT VEGETATIVE COVER USING SODS ON HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS.

DISTURBED AREA STABILIZATION (WITH SODDING)

Ds4 PERMANENT VEGETATIVE COVER USING SODS ON HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS

SOIL PREPARATION
BRING SOIL SURFACE TO FINAL GRADE.
MIX FERTILIZER INTO SOIL SURFACE.
FERTILIZE BASED ON SOIL TESTS OR TABLE BELOW.
AGRICULTURAL LIME SHOULD BE APPLIED BASED ON TESTS OR AT A RATE OF 1 TO 2 TONS PER ACRE.
PROVIDE SUPPLEMENTAL IRRIGATION FOR A MINIMUM OF 2-3 WEEKS.

FERTILIZER REQUIREMENTS FOR SOIL SURFACE APPLICATION

FERTILIZER TYPE	FERTILIZER RATE (LBS./ACRE)	FERTILIZER RATE (LBS./SQ.FT.)	SEASON
10-10-10	1000	0.025	FALL

INSTALLATION
LAY SOD WITH TIGHT JOINTS IN STRAIGHT LINES AND STAGGER JOINTS. DO NOT OVERLAP JOINTS OR STRETCH SOD.
ANCHOR SOD ON SLOPES STEEPER THAN 3:1.
ROLL/TAMPER SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH SOIL.
IRRIGATE SOD AND SOIL TO A DEPTH OF 4".

MATERIALS
USE MACHINE CUT SOD CONTAINING 3/4" (+/-1/4") OF SOIL, EXCLUDING SHOOTS AND THATCH.
CUT AND INSTALL SOD WITHIN 36 HOURS OF DIGGING.
USE CERTIFIED SOD PER TABLE BELOW.

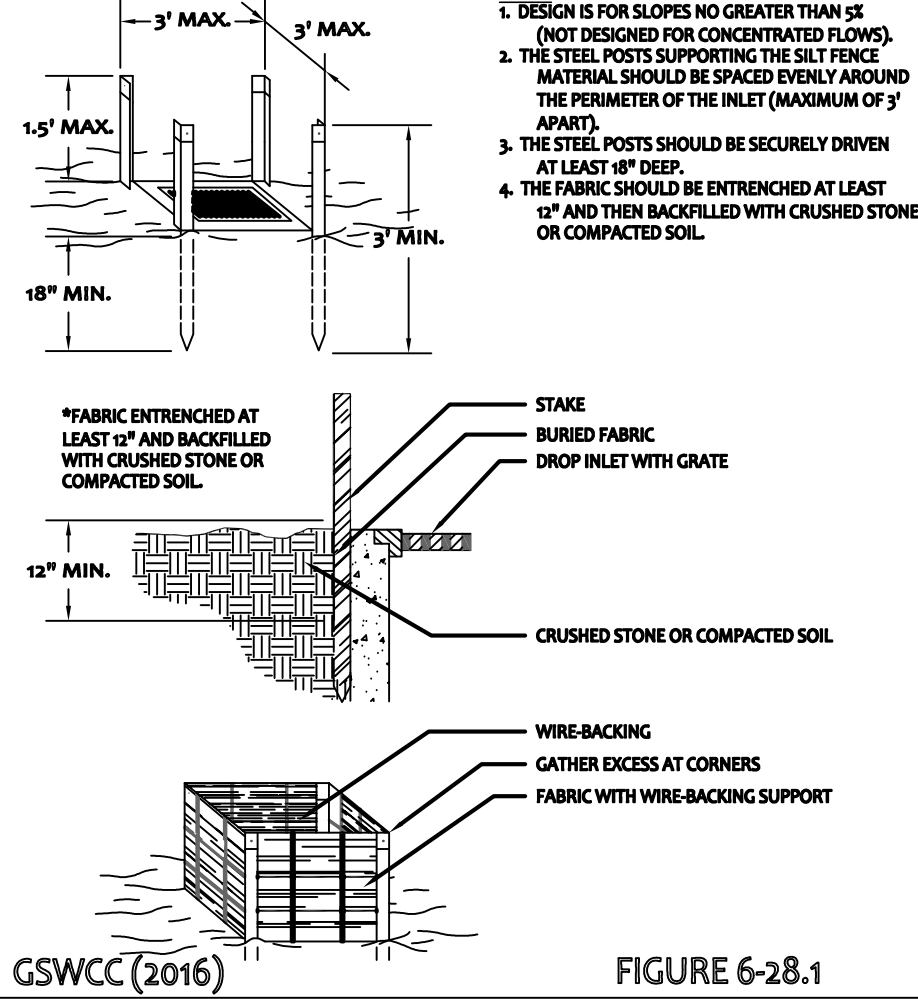
SOD PLANTING REQUIREMENTS				
GRASS	VARIETIES	RESOURCE	AREA	GROWING SEASON
BERMUDAGRASS	COMMON TIFWAY	M-L,P,C		WARM WEATHER
	TIFGREEN	P,C		
	TIFLAWN	P,C		
	PENSACOLA	P,C		WARM WEATHER
CENTIPEDE	COMMON	P,C		WARM WEATHER
	EMERALD	P,C		
ST. AUGUSTINE	COMMON BITTERBLUE	C		WARM WEATHER
	RALEIGH			
ZOYSIA	EMERALD	P,C		WARM WEATHER
	MYER			
TALL FESCUE	KENTUCKY	M-L,P		COOL WEATHER

MAINTENANCE
MOW NEW SOD SPARINGLY.
DO NOT CUT GRASS TO HEIGHT LESS THAN 2"-3".
APPLY 1 TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS INDICATED BY SOIL TEST.
FERTILIZE GRASS PER SOIL TESTS OR ACCORDING TO TABLE BELOW.

FERTILIZER REQUIREMENTS FOR SOD				
TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS./ACRE)	NITROGEN TOP DRESSING RATE (LBS./ACRE)
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	1000	-
WARM SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	1000	50-100
MAINTENANCE	FIRST	6-12-12	400	30
	SECOND	6-12-12	400	30

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

STEEL FRAME AND TYPE C BILT FENCE INSTALLATION



GSWCC (2016) FIGURE 6-28.1

Dust Control on Disturbed Areas



DEFINITION
Controlling surface and air movement of dust on construction sites, roads, and demolition sites.

PURPOSE
To prevent surface and air movement of dust from exposed soil surfaces.

CONDITIONS
This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur without treatment.

METHOD AND MATERIALS
A. Temporary Methods
Mulches. See standard Ds1 - Disturbed Area Stabilization (With Mulching Only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to specification Tsc - Tackifiers. Resins such as Control or Tackfast should be used according to manufacturer's recommendations.

Vegetative Cover. See specification Ds2 - Disturbed Area Stabilization (With Temporary Seeding).
Spray-on Adhesives. These are used on mineral soils not effective on macrols. Keep traffic off these areas. Refer to specification Tsc - Tackifiers.
Tillage. This practice is designed to roughen

B. Permanent Methods
Permanent Vegetation. See specification Ds3 - Disturbed Area Stabilization (With Permanent Vegetation). Existing trees and large shrubs may afford valuable protection if left in place.
Topsoiling. This entails covering the surface with less erodible soil material. See specification Tsc - Topsoiling.
Stones. Cover surface with crushed stone or coarse gravel. See specification Cc - Construction Road Stabilization.

Calcium Chloride. Apply at rate that will keep surface moist. May need reapplication.

Barriers. Solid board fences, snowfences, burlap fences, straw bales, hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 100 feet are most effective in controlling wind erosion.

Irrigation. This is generally done as an emergency measure which should be used before wind erosion starts. Begin blowing on windward side of site. Check-type blowers spaced about 12 inches apart, spring-actuated hammers, and similar pumps are examples of equipment which may produce the desired effect.

Windbreaks. This is an emergency measure which should be used before wind erosion starts. Begin blowing on windward side of site. Check-type blowers spaced about 12 inches apart, spring-actuated hammers, and similar pumps are examples of equipment which may produce the desired effect.

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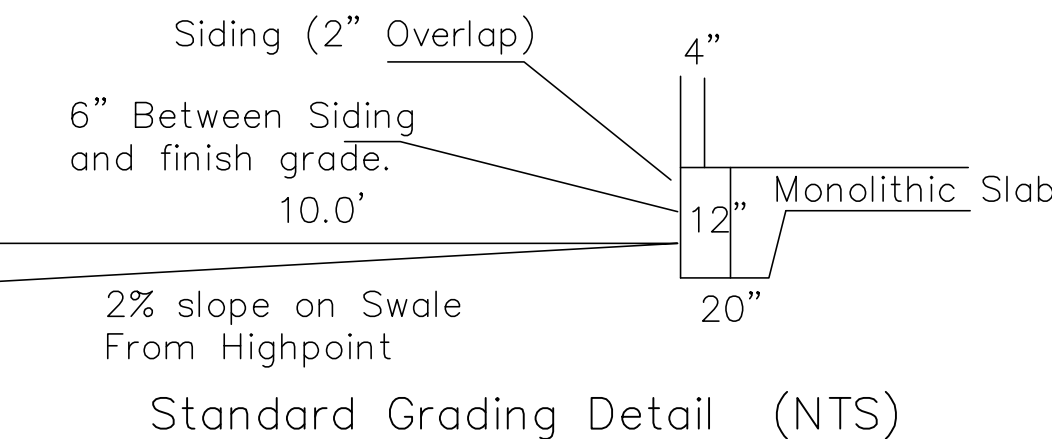
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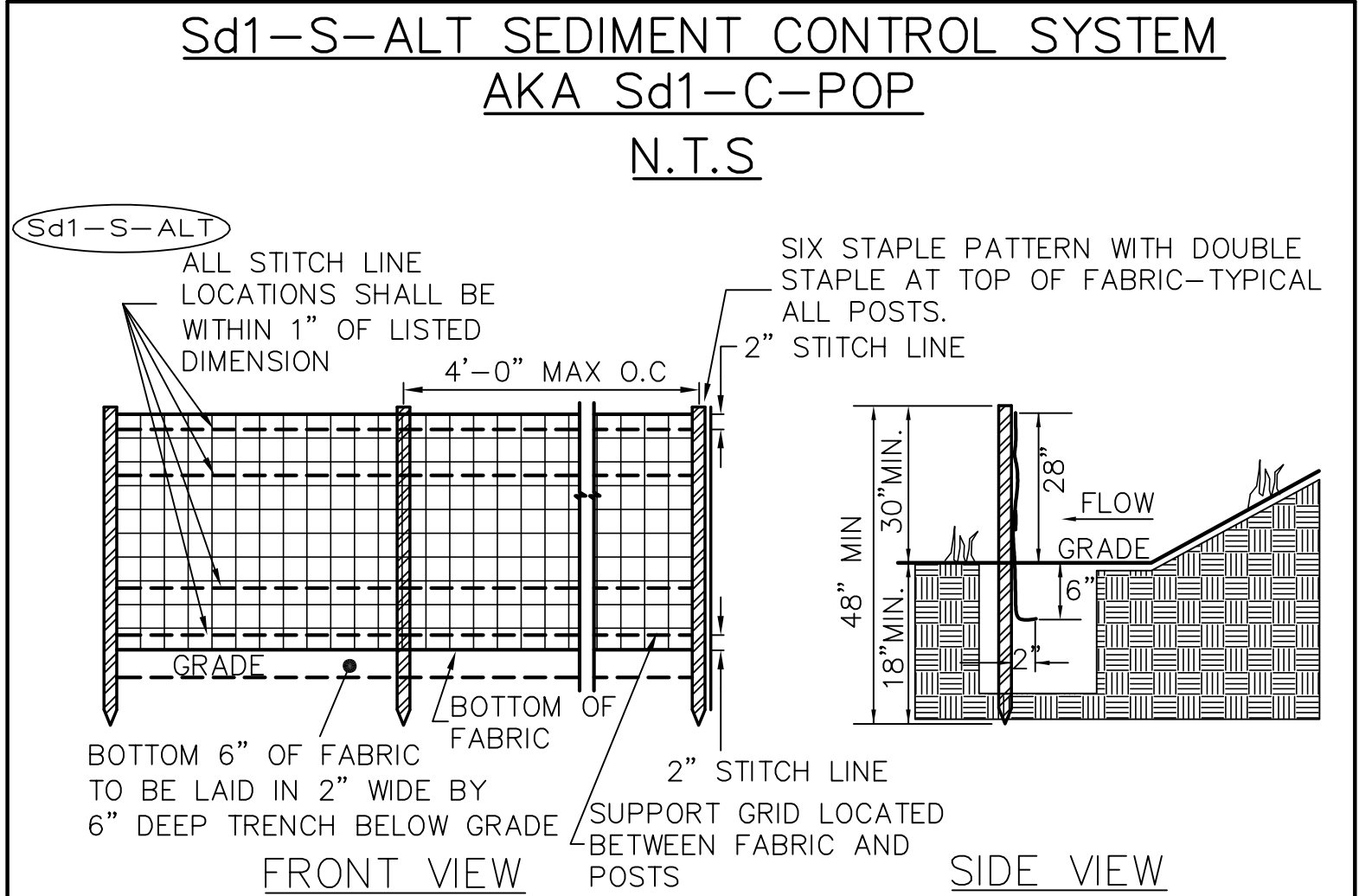
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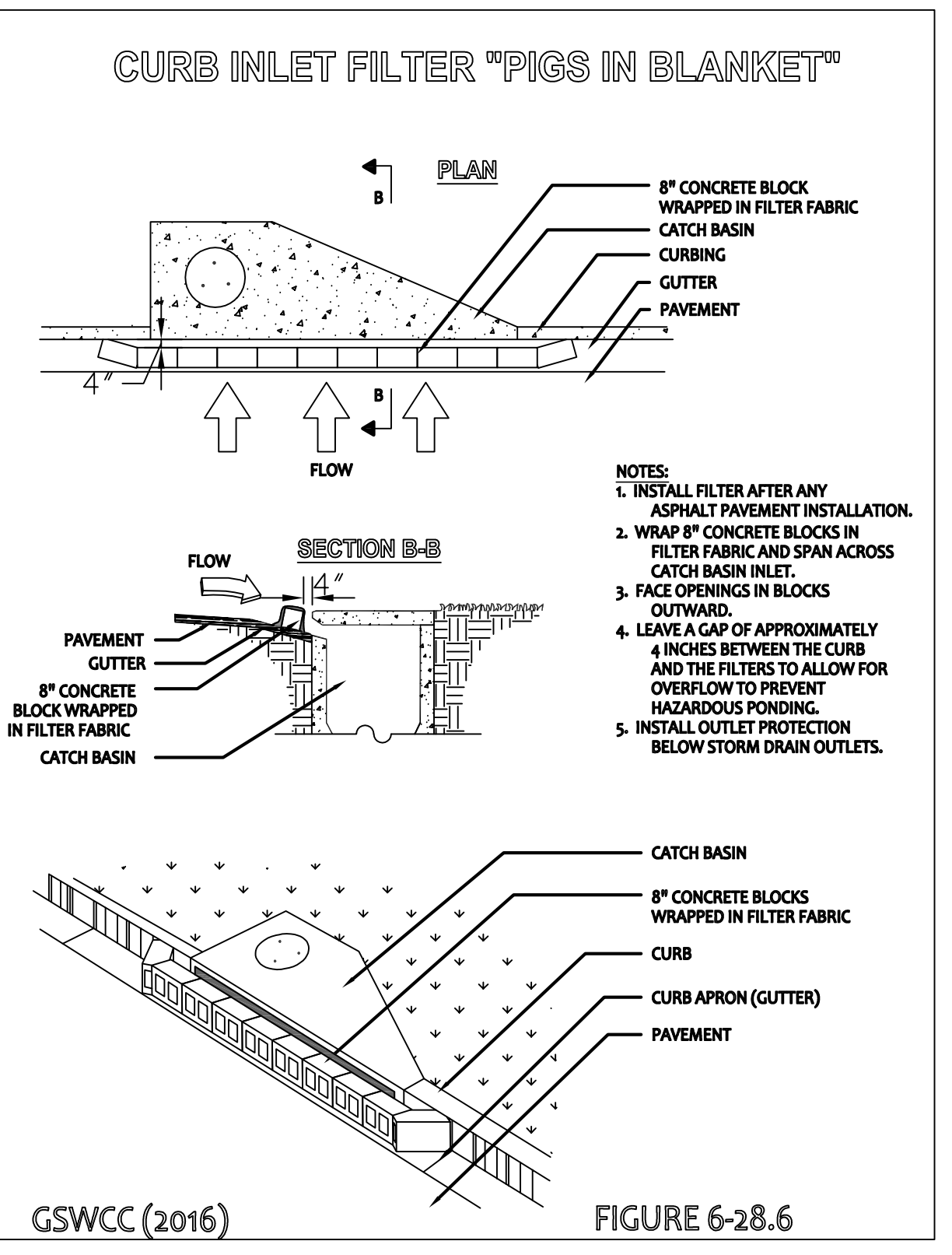


CONTINUED MAINTENANCE SCHEDULE:
INSURE / ESTABLISH ADEQUATE GROUND COVER SEED AS REQUIRED
MULCH AS REQUIRED
SLOPES AND EMBANKMENTS
AFTER EACH EVENT, FIRST YEAR ANNUALLY

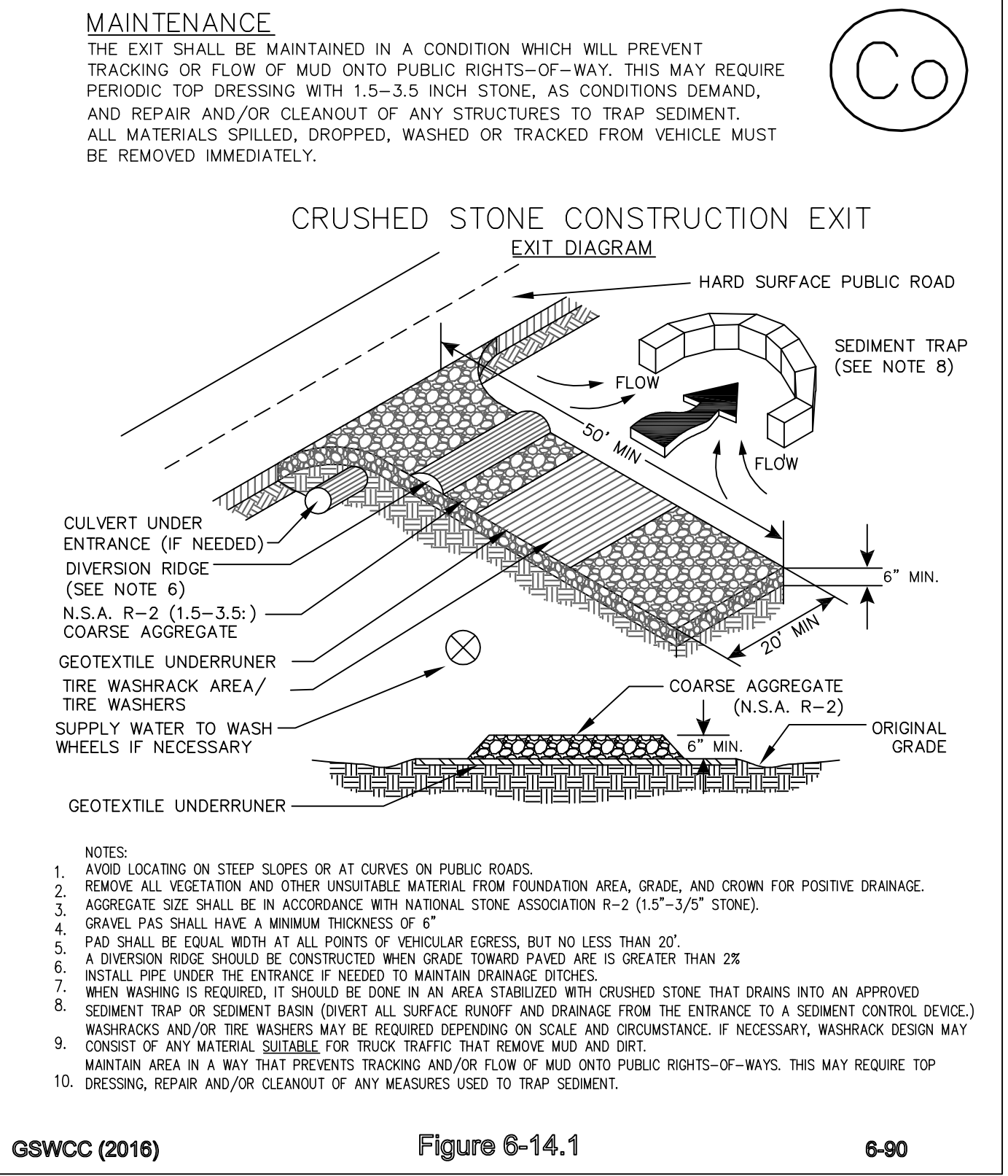
GENERAL EROSION CONTROL NOTES:
PHASE III SHALL CONSIST OF CLEANUP, ADDITIONAL SEEDING, MULCHING AND SOIL TREATMENT.
PHASE III TASKS SHALL ALSO BE COMPRISED OF CLEAN UP ACTIVITIES AND REMOVAL OF TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES.
PERMANENT CONTROL MEASURES SHALL BE INSPECTED FOR INTEGRITY AND IMPROVED AS REQUIRED.
THE EROSION AND SEDIMENTATION CONTROL IMPLEMENTATION IS CRUCIAL TO THE SUCCESS AND PERFORMANCE OF THE PLAN.
EROSION CONTROL BY NATURE IS DYNAMIC AND MAY REQUIRE ADDITIONAL PREVENTIVE MEASURES NOT SHOWN HEREIN.



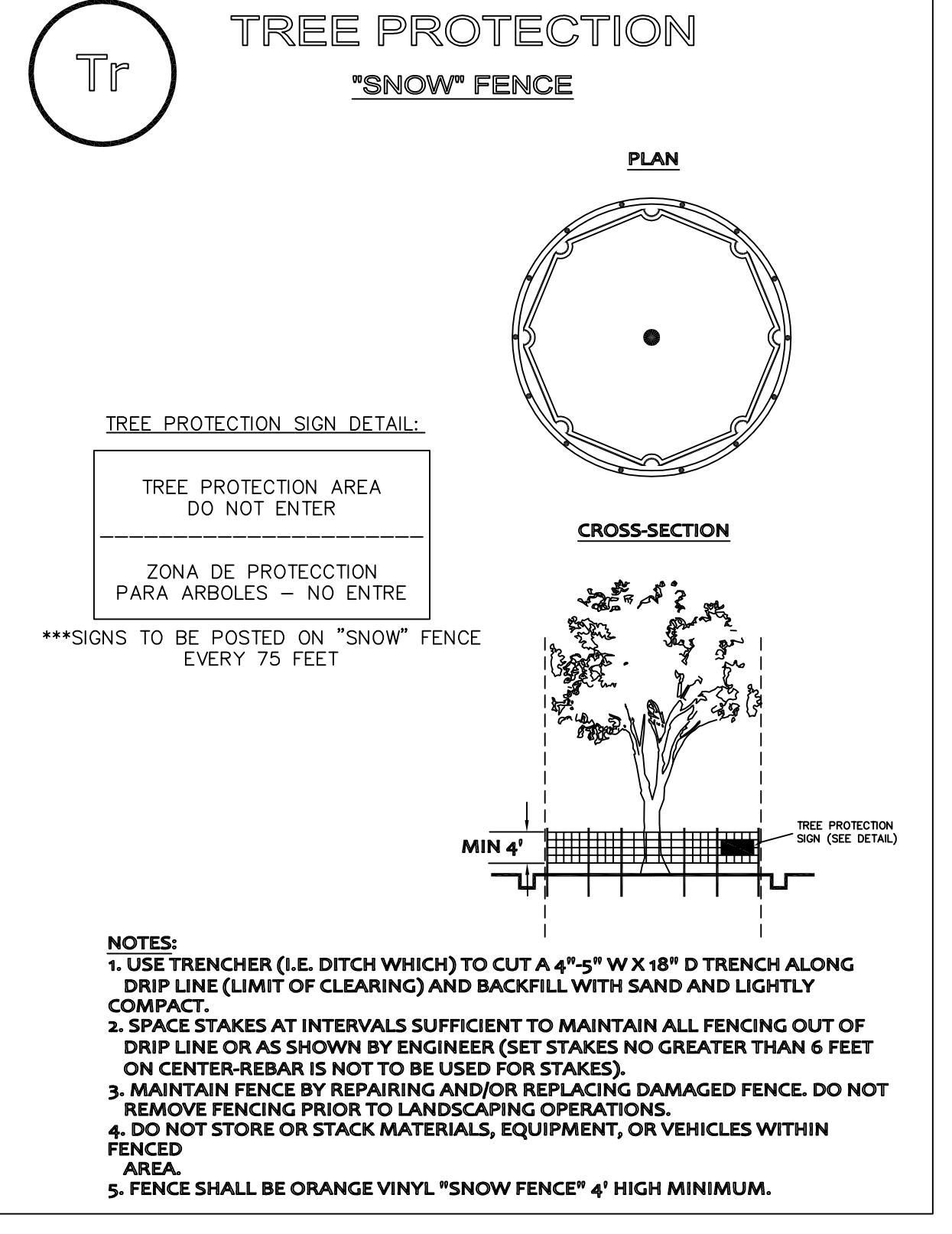
Alternative BMP NOTE:
The use of alternative BMP for Sd1-S Alt has been reviewed and was determined to be allowable only for this ES&PC Plan. This Review was site-specific based on the documentation submitted and certified by the Design Professional and required by the Georgia Environmental Protection Division and the Georgia Soil and Water Conservation Commission.



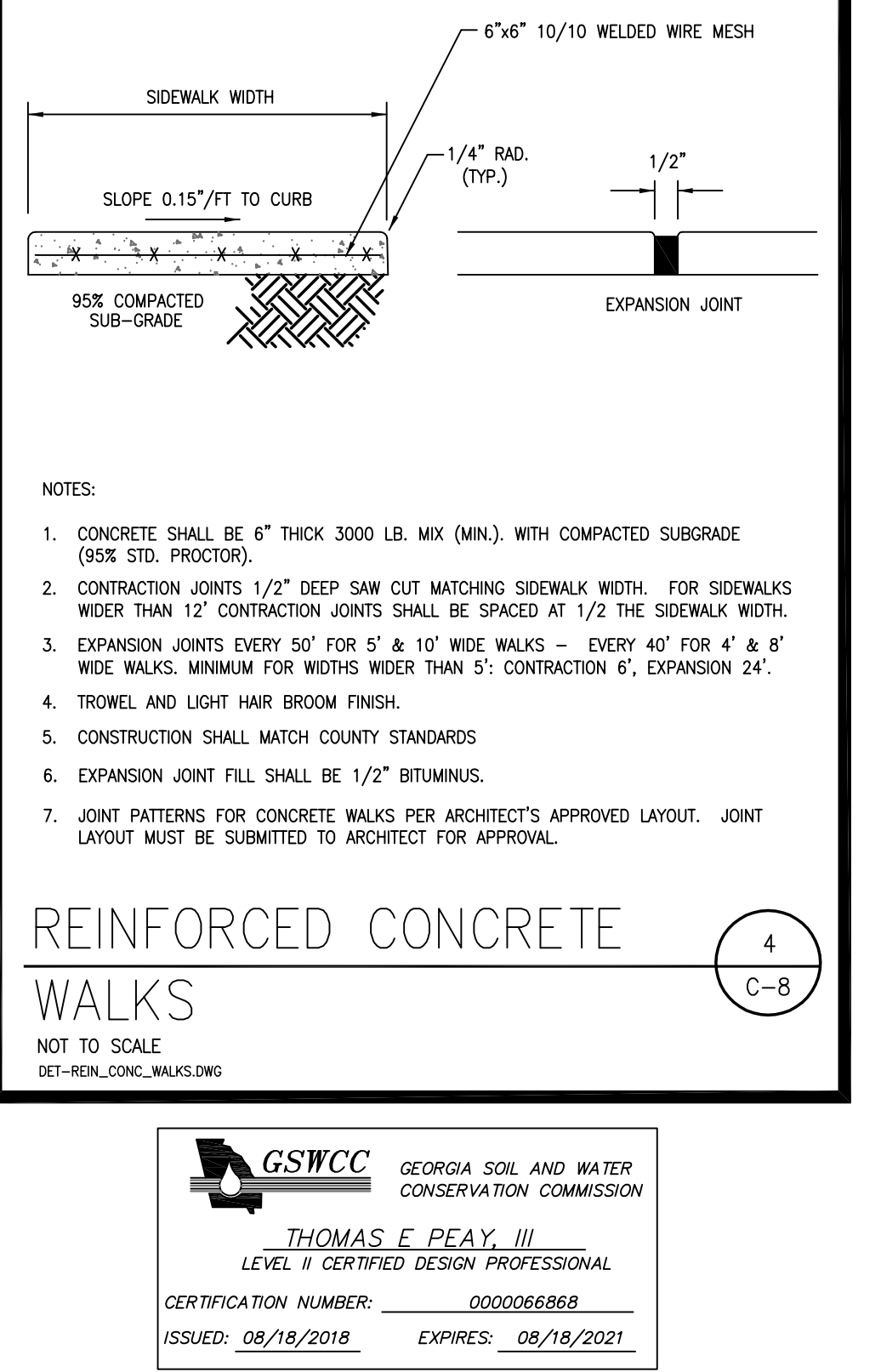
GSWCC (2016) FIGURE 6-28.6



GSWCC (2016) Figure 6-14.1 6-90



GSWCC (2016) FIGURE 6-28.1



GSWCC (2016) FIGURE 6-28.1

3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805

FRONTLINE SURVEYING & MAPPING, INC.

www.frontlinesurveying.com

EROSION NOTES & DETAILS FOR:
WAINWRIGHT JEFFERS

2421 SNAPPING ROAD
LAND LOT 126 - 15th DISTRICT
DEKALB COUNTY, GEORGIA

DATE: 09/24/19
SCALE: 1" = 20'
SECTION: 15th DISTRICT
UNIT: BLOCK

REVISION: DATE: BY: DATE:

PHASE: 01/09/20
SUBDIVISION: LOP
BLOCK: C-8
UNIT: DB

I HAVE THIS DATE EXAMINED THE TIA OFFICIAL FLOOD HAZARD MAP AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (S 1807) IN AN AREA HAVING SPECIAL FLOOD HAZARDS. MAP ID: 13088201531 EFFECTIVE DATE: 05-16-13

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. LSP#000631

THOMAS E. PEAY, III
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 000006888
ISSUED: 08/18/2018 EXPIRES: 08/18/2021

JOB # 68268

