



**DeKalb County  
Department of Purchasing and Contracting**

**SEPTEMBER 30, 2019**

**REQUEST FOR PROPOSALS (RFP) NO. 19-500526**

**FOR**

**ARCHITECTURE AND ENGINEERING SERVICES FOR THE  
RENOVATION AND DEVELOPMENT OF THE 178 SAMS STREET  
FACILITY**

Procurement Agent:	Jennifer Schofield
Phone:	404.687.4042
Email:	jjschofield@dekalbcountyga.gov

**Mandatory DeKalb First LSBE Meeting:** **October 2, 2019 OR October 9, 2019**  
(Bidders must attend 1 meeting on either of the dates listed.)  
4572 Memorial Drive, Decatur, Georgia 30032  
Main Conference Room - A  
(Meetings are held at 10:00 a.m. and 2:00 p.m.)  
Video Conference: Utilize the link supplied on our webpage labeled "DeKalb First LSBE Video Meeting"

**Pre-Proposal Conference and Site Visit:** **October 10, 2019, 1:30 PM EST**  
(Non-Mandatory)  
DeKalb County Division of Family and Children Services (DFCA), 178 Sams Street, Decatur, GA 30030.

Deadline for Submission of Questions:	5:00 P.M. ET, October 11, 2019
Deadline for Receipt of Proposals:	<u>3:00 P.M. ET, October 25, 2019</u>

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THE RESPONSIBILITY FOR SUBMITTING A RESPONSE TO THIS RFP TO THE DEPARTMENT OF PURCHASING AND CONTRACTING OF DEKALB COUNTY GOVERNMENT ON OR BEFORE THE STATED DATE AND TIME WILL BE SOLELY AND STRICTLY THE RESPONSIBILITY OF THE RESPONDER.

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**DeKalb County**  
**Department of Purchasing and Contracting**  
Maloof Administration Building, 1300 Commerce Drive, 2<sup>nd</sup> Floor, Decatur, Georgia 30030

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September 30, 2019

**REQUEST FOR PROPOSAL (RFP) No. 19-500526**

**FOR**

**Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility**

**DEKALB COUNTY, GEORGIA**

DeKalb County Government (the County) requests qualified individuals and firms with experience in providing Architecture and Engineering Services to submit proposals for Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility.

**I. INTRODUCTION**

**A. General Information**

DeKalb County's Department of Facilities Management is seeking proposals from Architectural and Engineering Design Firms (A&E) with experience in the programming, design and construction contract administration of commercial office facilities to provide complete professional services for the following:

- Renovation of two (2) existing office buildings located at 178 Sams Street on a 7.34 acre tract owned by DeKalb County (Parcel IDs 15 234 04 015 (4.11 acres) and 15 247 03 017 (3.23 acres))
- Creation of a feasibility study for a proposal to further development the 178 Sams Street site with a new 3-story, 150,000 SF building and multi-tiered parking garage.

**B. Background**

The 178 Sams Street Facility will house DeKalb County Departments that are transitioning out of lease agreements and moving into County-owned properties.

The site is adjacent to the newly-developed MARTA transit-oriented development (TOD), Cortland Decatur East, a mixed-use hub connected to MARTA's Avondale Station via a skybridge. The East Decatur Greenway Trail runs parallel to the east of the site, providing a 1.1 mile bicycle/pedestrian trail.

The two existing buildings are currently leased by the Division of Family and Children Services and are expected to be vacated by February 2020. Office Building #1 is a 3-story, 71,160 SF building and the sister Office Building #2 is a 4-story, 59,160 SF building that includes a basement level.

- C. The following Required Documents Checklist includes a list of attachments which **must** be completed and returned with Responder’s technical proposal:

<b>Required Documents</b>	<b>Attachment</b>
Cost Proposal Form (1 copy, separate & sealed)	A
Proposal Cover Sheet	B
Contractor Reference and Release Form	C
Subcontractor Reference and Release Form (make additional copies as needed)	D
DeKalb LSBE Documents – Exhibits A and B	E
Responder Affidavit	F
First Source Jobs Ordinance (with Exhibits 1 – 4)	G
Exceptions to the Standard County Contract, if any	H

- D. The services shall commence within ten (10) calendar days after acknowledgement of receipt of written notice to proceed.

- E. The County intends to award this project to one (1) respondent.

## II. SCOPE OF WORK

**PROJECT 1:** Renovation of Existing Building 1 (71,160 SF)

**PROJECT 2:** Renovation of Existing Building 2 (59,160 SF), includes the walkway connector and the courtyard.

***While combined for the description of the Scope of Work, Project 1 and Project 2 are separate and distinct projects and will require separate Notices to Proceed prior to the commencement of work.***

The selected consultant shall provide all professional services for architectural design and engineering services to include Programming, Schematic Design, Design Development, Construction Documentation, Permitting, Bid Selection Support and Construction Administration to renovate the existing Facility. The existing Facility includes Building 1, Building 2, the walkway adjoining the two buildings, and the landscaped courtyard between the two buildings.

Assessment of existing conditions: Original Core and Shell Plans for Building 1 and Plans for Building 2 are attached hereto. A replacement roof and new rooftop mechanical equipment will be in place prior to bid award. It is the A&E firm’s responsibility to assess as-built conditions and demolition requirements pertinent to the scope of work.

Facilities Management will engage the future department users to produce programmatic requirements and adjacency requirements prior to the notice to proceed. The A&E firm will coordinate with the end-users to gain an understanding of their functional requirements and refine the program as required. During the Schematic Design Phase, the Consultant will use the programming to develop conceptual plans and solutions for review and approval.

Preparation and submittal of a statement of probable construction costs based on current area, volume, and/or other unit costs as developed in the schematic design phase will be provided, updated and refined with each subsequent phase.

**A&E services shall include but not be limited to the following traditional Building A&E design services:**

- Civil (as applicable)
- Landscape/Irrigation (as applicable)
- Structural (as applicable)
- Architectural
- Interior Design
- Furniture, fixtures and equipment (FFE) plans, specifications, cuts, listings by room and items (FFE Procurement NIC) – A portion of the FFE will be relocated from existing user departments
- Mechanical
- Plumbing
- Fire Protection
- Electrical
- Cost Estimating
- Low Voltage
- Audio Visual
- Building Security
- Building Signage (interior and exterior)
- Kitchen Consultant (as applicable)
- Move Coordination

**The facility shall comply with current adopted codes. Furthermore, the design and engineering shall meet requirements of Americans with Disabilities Act (ADA), adopted Georgia Building Codes and DeKalb County Planning and Development ordinances, Georgia Environmental Protection Division, and any applicable National, State and Local Requirements.**

### **PROJECT 3: Preliminary Site Assessment and Site Investigation**

The selected consultant shall conduct a Feasibility Study for the construction of a new 3-story 150,000 SF maximum office building and a multi-tiered parking structure to accommodate 350 spaces.

DeKalb County proposes to replace leased space with county-owned space and would like to explore the feasibility of further developing the 178 Sams Street facility into a central DeKalb County complex. The renovation of the two existing buildings will begin the transition into county-owned space. The purpose of this scope of work is to perform a preliminary site investigation of the site parcel and address the site's capacity to accommodate an office building and a parking deck.

The new office building is envisioned to provide modern, flexible, adaptable office space to meet the needs of DeKalb County's office and associated parking requirements and relieve the cost of leased space. The intent is to illustrate the maximum serviceable project the site can support, co-locate departments into one facility complex to improve coordination between departments and reduce transportation needs. County citizens will be provided with improved access to a central county facility.

Proposals must include a summary of services, expected schedule and communication plan, and fee estimate.

#### **Preliminary Site Assessment Phase**

This phase will explore the viability of placing two additional structures on the existing site.

- Planning and Zoning Requirements
- Site Coverage: Allowable Buildable Area / Building Height / Setbacks / Easements
- Code Analysis and Applicable Codes
- Site Accessibility / Circulation (Vehicular and Pedestrian)
- Preliminary Site Analysis

At the completion of the preliminary site assessment phase, the findings will be presented regarding the viability of constructing two structures on the site and the allowable size of such structures. If it is deemed a viable option, the full site investigation will proceed.

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## Site Investigation Phase

This phase will expand the initial site assessment to complete the feasibility study and will include:

- Zoning and Code Analysis
- Building Program
- Conceptual Site Plans
- Geotechnical Investigation and Soil Borings
- Boundary and Topographic Surveys (if applicable)
- Vicinity Transportation Access
- Underground Utilities
- Environmental Assessment
- Flood Plains and Wetlands
- Storm Water Drainage System
- Proposed project Estimate

## DELIVERABLES

### PROJECT 1 AND PROJECT 2

The following includes a general summary of the Architectural and Engineering Services deliverables. Provided services to include but not limited to the following:

1. **Programming meetings** with the County project manager and end user departments to review the scope and specific program requirements, agencies, budget, materials and finishes.
2. **Schematic Design Documents (35% Design)**
  - A. Schematic Design Package
  - B. Statement of Probable Costs
  - C. Project Schedule
  - D. Review Meeting
  - E. Outline specifications
  - F. Review Meeting
3. **Design Development Documents (75% Design)**
  - A. Design Development Documents
  - B. Interior Design Documents and Furniture, Fixtures and Equipment coordination
  - C. Specifications
  - D. Updated Project Schedule
  - E. Review Meeting
  - F. Construction Cost Estimate
4. **Pre-Final Construction Documents (90% Design)**
  - A. Construction Documents
  - B. Specifications
  - C. Submit for pre-application meeting with applicable jurisdiction.
  - D. Final Construction Cost Estimate to confirm budget prior to bidding.
  - E. Review Meeting
  - F. Schedule

**5. Building and Permit Reviews and 100% Construction Documents**

Application for permit, submittal of documents labeled “Issued for Constructions”, addressing permit comments.

**6. Bid-Ready Construction Documents**

- A. This submission will occur once all Owner and permit review comments are addressed.
- B. Documents shall be packaged and provided for use in advertisement for Bids.
- C. Update project schedule.

**7. Specifications and Bid Manual (Project Manual) – construction specifications and general conditions**

- A. Specifications will follow the standard as outlined in the Construction Specification Institute (CSI) numbering format.
- B. Specifications shall include applicable specification sections Division 00 to 36.
- C. The County will supply the General & Special Condition construction procurement requirement documents.

**8. Bidding Assistance during Bidding Phase**

**9. Construction Contract Administration Services**

- A. Office Construction Contract Administration:
  - 1) Provide Project document management system.
  - 2) Address Contractor questions during bidding and construction phases
  - 3) Review of Project RFI’s
  - 4) Review of required Shop Drawings and product Data
  - 5) Review and approval of AIA Contractor’s Progress Payment Applications and Schedule of Values
  - 6) Review, resolve & process A&E payments monthly billing to the Owner of A&E billing with associated sub consultants
  - 7) Review Special Inspection & Testing reports – report on deficiencies identified in the reports
  - 8) Review Contractor’s documentation
    - a) O&M Manuals
    - b) Warranty Manuals
    - c) Closeout documentation
    - d) Review and manage Change Orders that are NOT initiated by the Owner. If a Change Order is initiated by the Owner; this will be considered additional costs outside of this Proposal.
- B. Site Construction Contract Administration:
  - 1) Attend Project Progress Coordination meetings. Meetings with Contractor and Owner on site to address construction related issues
    - a) Anticipate two (2) required Owner/Architect/Contractor Meetings each month
    - b) Architect shall provide meeting minutes, RFI Logs and Deficiency Log. Contractor shall provide submittal logs, schedule and schedule updates.
    - c) Provide written site observation reports for each site visit



- d) Ensure sub-consultants visit the construction site on a periodic and at strategic times based on the Work being performed.
- e) Review and observe the Work to confirm the Work is in conformance with the Contract Documents.

**Sub consultants' PM representatives that are part of the A&E Team must visit the site a minimum of 2 times per month during key construction installation of the sub consultant's designed building components (i.e., trades-HVAC/electrical/civil site/structural steel/architecture).**

- f) If additional site observation is needed, at no fault of the A/E, to ensure conformance with the Contract Documents for that trade; the Owner expectations are that additional visits shall be included within this Work Scope and this cost shall be documented and back-charged to the Contractor by the Owner.
- g) Issue non-compliance or condemnation notices for Work NOT in conformance with the Contract Documents

#### **10. Punch-Out**

- A. Coordinate Pre-and Final Punch Inspections.
- B. Upon Notice of Substantial Completion Notification from the Contractor, provide Substantial Completion site visit and punch list that includes all design disciplines. Document punch list in a trackable format.
- C. Upon Notice of Punch list Completion from the Contractor, provide a Final Observation report that includes all design disciplines present during the Final Inspection including follow up documentation and administration.

#### **11. Project Closeout**

- A. Review Contractor's Operations and Maintenance and Warranty Manuals
- B. Coordinate Contractor's testing of building systems (fire alarms and HVAC controls/air balancing/security/equipment training) to assure acceptable building operations.
- C. Assist Owner in process to achieve receiving a Building Occupancy Permit.
- D. Review Contractor's Closeout Documentation
  - 1) O&M Manuals
  - 2) Warranty Manuals
  - 3) Other required Closeout Documentation

- 12. One Year Walk-Thru review (schedule approximately 10 months after Substantial Completion)

## PROJECT 3

### Preliminary Site Assessment

1. Preliminary Site Assessment Kick-off meeting
2. Presentation of Preliminary Site Assessment Findings

### Site Investigation

1. Draft Feasibility Study report
2. Final Feasibility Study Report and Conceptual Site Plan
3. Cost Estimate

## III. PROPOSAL FORMAT

Responders are required to submit their proposals in the following format:

### A. Cost Proposal

1. The cost proposal, (Attachment A, 4 pages) **MUST** be submitted in a separate, sealed envelope with the responder's name and "Cost Proposal for Request for Proposals No. 19-500526 for Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility" on the outside of the envelope.
2. The sealed envelope containing the cost proposal is requested to be included in the sealed package containing the technical proposal.
3. **DO NOT INCLUDE FEES OR COSTS IN ANY AREA OUTSIDE OF THIS COST PROPOSAL.** Including fees in any area outside of the Cost Proposal in its separate, sealed envelope shall result in Responder's proposal being deemed non-responsive.
4. Responders are required to submit their costs on Attachment A, *Cost Proposal Form*. **Responder shall not alter the cost proposal form.**

### B. Technical Proposal

**DO NOT INCLUDE ANY COSTS OF ANY KIND IN THE TECHNICAL PROPOSAL OR ON THE DISCS CONTAINING THE TECHNICAL PROPOSAL.**

1. Technical Proposals must be submitted in a sealed envelope(s) or box(es) with the responder's name and "Request for Proposals No. 19-500526 for Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility" on the outside of each envelope or box. ***Please note that the proposal submitted for the project shall be limited to 25 pages.***

2. Responder shall complete Attachment B, *Proposal Cover Sheet*, and include this as the first page of the technical proposal.
3. Technical Approach:
  - a. Responders are required to describe the procedures and methods that will achieve the required outcome of the project as specified herein;
  - b. Provide a project schedule (in Microsoft Project or similar project delivery software) at the task level starting with the receipt of the Notice to Proceed and ending with project completion (base Start Date of January 6, 2020 for Project 1 and April 15, 2020 for Project 2). Show proposed phases and milestone submittals.
4. Project Management:
  - a. Describe progress reporting procedures for the project, including a brief description of the applications that will be utilized for communication, document management and schedule control.
5. Personnel:
  - a. Identify the individuals who will be part of the project team;
  - b. Provide one-page resumes for each of the Key personnel for this scope of work, highlighting their experience to the proposed position (do not submit company personnel resumes of presidents or principals who will not work on the project directly on a consistent basis).
6. Organizational Qualifications:
  - a. Describe Responder's experience, capabilities and other qualifications for this project;
  - b. Provide an organizational chart as follows:
    - 1) Project Design Team Structure:
      - a. Show Project Manager, Lead Design Architect, all discipline leads and their company affiliation.
      - b. Indicate all LSBE team members.
    - 2) Construction Contract Administration Staffing: Services to include the following key professionals assigned to the Construction Contract Administration Phase of this Construction Project:
      - a. Senior Project Manager:
        - 1) Project Manager for all the Consultants under contract to the A&E Team during construction.
        - 2) Serves as designated contact person for the A&E Team for the entire duration of the construction period and designated authority to make final decisions for the A&E and professional sub consultants (represents and speaks for the entire A/E Team) in regards to this Contract's Construction Administration Phase services.

- b. Assistant Project Manager:
  - 1) Provides “as needed” PM assistance to the Sr. Project Manager in administration of the entire Construction Administration of this Project.
  - 2) In absence of the Sr. Project Manager he/ she will lead the Project Construction Contract Administration.
  
- c. Lead Professional Project Engineer/Architect (assigned) for each of the Sub-Consultant Professional Disciplines.
  - 1) Serves as the designated individual spokesperson for the individual sub consultant professional services retained for this Projects Construction Administration Phase services.
  
- d. Contract Administration:
  - 1) Provides administrative support for the Construction Contract Administration Phase work required by the Construction Contract Administration to assist in files / billing / and general administration work for this Project.
  
- c. How many years has Responder operated under current company name?
- d. Has Responder ever been debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded by any Federal department or agency from doing business with the Federal Government?
  
- 7. Financial Responsibility: Responder must provide financial statements for the last three (3) years that evidence the responder’s financial capabilities to perform the scope of work. (Audited statements are preferable but a minimum of balance sheet, income statement and cash flow statement may be accepted.) Provide year of incorporation (if applicable).
  
- 8. References:
  - a. Responder shall provide three (3) references for projects similar in size and scope to the project specified herein using the *Reference and Release Form* attached hereto as Attachment C.
  - b. Provide three (3) references for each subcontractor proposed as a part of the project team. The references shall be for the same or similar types of services to be performed by the subcontractor (including LSBE-DeKalb and LSBE-MSA firms) on projects similar in size and scope to the project outlined in this RFP. Use Attachment D, Subcontractor Reference and Release Form. Make additional copies as needed.
  
- 9. Provide the following information: Are you a DeKalb County Firm? Yes/No.

### C. DeKalb First Ordinance

1. It is the objective of the Chief Executive Officer and Board of Commissioners of DeKalb County to provide maximum practicable opportunity for all businesses to participate in the performance of government contracts. The current DeKalb County List of Certified Vendors may be found on the County website at <http://www.dekalbcountyga.gov/purchasing/pdf/supplierList.pdf>.
2. It is required that all responding Responders attend the mandatory LSBE meeting within two-weeks of the solicitation's advertisement, and comply, complete and submit all LSBE forms with the Responder's response to remain responsive. Attendance can be in person, via video conference and teleconference. Video conferencing is available through Skype/Lync. Instructions for attendance via video conference can be found on the County's website at <https://www.dekalbcountyga.gov/purchasing-contracting/dekalb-first-lsbe-program>.
3. For further details regarding the DeKalb First Local Small Business Enterprise Ordinance, contact the LSBE Program representative, Felton Williams at [fwilliams@dekalbcountyga.gov](mailto:fwilliams@dekalbcountyga.gov) or (404) 371-6312.

### D. Federal Work Authorization Program Contractor and Subcontractor Evidence of Compliance

All qualifying contractors and subcontractors performing work with DeKalb County, Georgia must register and participate in the federal work authorization program to verify the work eligibility information of new employees. Successful responder(s) shall be required to register and participate in the federal work authorization program which is a part of Attachment F, *Sample County Contract*. In order for a Proposal to be considered, it is **mandatory** that the *Responder Affidavit*, Attachment G, be completed and submitted with responder's proposal.

## IV. CRITERIA FOR EVALUATION

The following evaluation criteria and the maximum points stated below will be used as the basis for the evaluation of proposals.

- A. Cost (5 points)
- B. Technical Approach to the Project ( 15 points)
- C. Project Management (15 points)
- D. Personnel (15 points)
- E. Organizational Qualifications (15 points)
- F. Financial Responsibility (10 points)
- G. References (15 points)
- H. Local Small Business Enterprise Participation (10 points)
- I. Optional Interview (10 points) - bonus

## V. CONTRACT ADMINISTRATION

### A. Standard County Contract

The attached sample contract is the County's standard contract document (see Attachment H), which specifically outlines the contractual responsibilities. All responders should thoroughly review the document prior to submitting a proposal. **Any proposed revisions to the terms or language of this document must be submitted in writing with the responder's response to the request for proposals.** Since proposed revisions may result in a proposal being rejected if the revisions are unacceptable to the County, responders should review any proposed revisions with an officer of the firm having authority to execute the contract. No alterations can be made in the contract after award by the Board of Commissioners.

### B. Submittal Instructions

**One (1) original Technical Proposal stamped "Original" and five (5) compact discs or flash drives with each containing an identical copy of the Technical Proposal (do not include the Cost Proposal on the discs); and one (1) original Cost Proposal (see Section III.A. for additional instructions regarding submittal of Cost Proposal) must be submitted to the following address no later than 3:00 p.m. on October 25, 2019.**

DeKalb County Department of Purchasing and Contracting  
The Maloof Center, 2<sup>nd</sup> Floor  
1300 Commerce Drive  
Decatur, Georgia 30030

Proposals must be clearly identified on the outside of the packaging with the responder's name and "Request for Proposals No. 19-500526 for Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility" on the outside of the envelope(s) or box(es).

It is the responsibility of each Responder to ensure that its submission is received by 3:00 p.m. on the bid due date. The time/date stamp clock located in the Department of Purchasing & Contracting shall serve as the official authority to determine lateness of any response. The RFP opening time shall be strictly observed. Be aware that visitors to our offices will go through a security screening process upon entering the building. Responders should plan enough time to ensure that they will be able to deliver their submission prior to our deadline. Late submissions, for whatever reason, will not be evaluated. Responders should plan their deliveries accordingly. Telephone or fax bids will not be accepted.

### C. Pre-Proposal Conference and Site Visit (Non-mandatory)

A pre-proposal conference and site visit will be held at 1:30 PM p.m. on October 10, 2019 at DeKalb County Division of Family and Children Services (DFCA), 178 Sams Street, Decatur, GA 30030. Interested responders are strongly encouraged to attend and participate in the pre-proposal conference and site visit. For information regarding the pre-proposal conference and site visit, please contact Jennifer Schofield at 404.687.4042 or [jjshofield@dekalbcountyga.gov](mailto:jjshofield@dekalbcountyga.gov).

#### **D. Questions**

All questions concerning the Project and requests for interpretation of the Contract may be asked and answered at the pre-proposal conference; however, oral answers are not authoritative. Questions must be submitted to **Jennifer Schofield**, via email to [jjchofield@dekalbcountyga.gov](mailto:jjchofield@dekalbcountyga.gov), no later than close of business on **October 11, 2019**. Questions and requests for interpretation received by the Department of Purchasing and Contracting after this date will not receive a response or be the subject of addenda.

#### **E. Acknowledgment of Addenda**

Addenda may be issued in response to changes in the RFP. It is the responsibility of the responder to ensure awareness of all addenda issued for this solicitation. Please acknowledge the addenda and submit to the Department of Purchasing and Contracting as requested. Responder may call **Jennifer Schofield** at **404.687.4042** or send an email to [jjchofield@dekalbcountyga.gov](mailto:jjchofield@dekalbcountyga.gov) address to verify the number of addenda prior to submission. Addenda issued for this project may be found on DeKalb County's website, [www.dekalbcountyga.gov/formalbids](http://www.dekalbcountyga.gov/formalbids).

#### **F. Proposal Duration**

Proposals submitted in response to this RFP must be valid for a period of One Hundred Twenty (120) days from proposal submission deadline and must be so marked.

#### **G. Project Director/Contract Manager**

The County will designate a Project Director/Contract Manager to coordinate this project for the County. The successful responder will perform all work required pursuant to the contract under the direction of and subject to the approval of the designated Project Director/Contract Manager. All issues, including payment issues, shall be submitted to the Project Director/Contract Manager for resolution.

#### **H. Expenses of Preparing Responses to this RFP**

The County accepts no responsibility for any expenses incurred by the responders to this RFP. Such expenses are to be borne exclusively by the responders.

#### **I. Georgia Open Records Act**

Without regard to any designation made by the person or entity making a submission, DeKalb County considers all information submitted in response to this invitation or request to be a public record that will be disclosed upon request pursuant to the Georgia Open Records Act, O.C.G.A. §50-18-70 et seq., without consulting or contacting the person or entity making the submission, unless a court order is presented with the submission. You may wish to consult an attorney or obtain legal advice prior to making a submission.

## **J. First Source Jobs Ordinance**

The DeKalb County First Source Jobs Ordinance requires contractors or beneficiaries entering into any type of agreement with the County, including purchase orders, regardless of what they may be called, for the procurement or disposal of supplies, services, construction projects, professional or consultant services, which is funded in whole or part with County funds or County administered funds in which the contractor is to receive \$50,000 or more in County expenditures or committed expenditures and recipient of urban redevelopment action grants or community development block funds administered in the amount of \$50,000 or more make a good faith effort to hire DeKalb County residents for at least 50% of jobs using the First Source Registry (candidate database). The work to be performed under this contract is subject to the provisions of the DeKalb County First Source Jobs Ordinance. Please complete the First Source Jobs Ordinance Acknowledgement and New Employee Tracking Form included in Attachment H, First Source Jobs Ordinance (with Exhibits 1 – 4) and submit with the responder’s proposal.

For more information on the First Source Jobs Ordinance requirement, please contact WorkSource DeKalb at [www.worksourcedekalb.org](http://www.worksourcedekalb.org) or 404-687-3400.

## **K. Business License**

Responder shall submit a copy of its current, valid business license with its proposal or upon award. If the responder is a Georgia corporation, responder shall submit a valid county or city business license. If the responder is not a Georgia corporation, responder shall submit a certificate of authority to transact business in the state of Georgia and a copy of its valid business license issued by its home jurisdiction. If responder holds a professional certification which is licensed by the state of Georgia, then responder shall submit a copy of its valid professional license. Any license submitted in response to this requirement shall be maintained by the responder for the duration of the contract.

## **L. Ethics Rules**

Bidders are subject to the Ethics provision within the DeKalb County Purchasing Policy; the Organizational Act, Section 22A, the Code of DeKalb County; and the rules of Executive Order 2014-4. Any violations will be addressed, pursuant to these policies and rules.

To the extent that the Organizational Act, Section 22A, the Code of DeKalb County, and the rules of Executive Order 2014-4 allow a gift, meal, travel expense, ticket, or anything else of value to be purchased for a CEO employee by a contractor doing business with the County, the contractor must provide written disclosure, quarterly, of the exact nature and value of the purchase to the Chief Integrity Officer, if created, or the Finance Director or his/her designee. Every contractor conducting business with the County will receive a copy of these ethical rules at the time of execution of the contract.

## **M. Right to Audit**

The County shall have the right to audit all books and records, including electronic records, relating or pertaining to this contract or agreement, including but not limited to all financial



and performance related records, property, and equipment purchased in whole or in part with County funds and any documents or materials which support those records, kept under the control of the Contractor, including but not limited to those kept by the Contractor's employees, agents, assigns, successors and subcontractors. The County also has the right to communicate with Contractor's employees related to the audited records.

The Contractor shall maintain such books and records, together with such supporting or underlying documents and materials, for the duration of this contract and for seven (7) years after termination or expiration, including any and all renewals thereof. The books and records, together with supporting documents and materials shall be made available, upon request to the County or its designee, during normal business hours at the Contractor's office or place of business. In the event that no such location is available, then the books, records, and supporting documents shall be made available for audit at a time and location which is convenient for the County.


## **VI. AWARD OF CONTRACT**

An evaluation committee will review and rate all proposals and shall determine if interviews are necessary.

If interviews are conducted, firms will be scheduled for an oral presentation to the evaluation committee, not to exceed one hour's duration, to respond to questions from the evaluation committee relevant to the firm's proposal.

The evaluation committee will make its recommendation for award to the DeKalb County Board of Commissioners, who will make the final decision as to award of contract.

**THE COUNTY RESERVES THE RIGHT TO REJECT ANY AND ALL PROPOSALS, TO WAIVE INFORMALITIES, AND TO RE-ADVERTISE.**

Sincerely,  
  
Jennifer Schofield  
Procurement Agent  
Department of Purchasing and Contracting

- Attachment A: Cost Proposal
- Attachment B: Proposal Cover Sheet
- Attachment C: Contractor Reference and Release Form
- Attachment D: Subcontractor Reference and Release Form
- Attachment E: LSBE Opportunity Tracking Form
- Attachment F: Responder Affidavit
- Attachment G: First Source Jobs Ordinance Information with Exhibits 1 - 4
- Attachment H: Sample County Contract
- Attachment I: Project Site Plan
- Attachment J: Sams Street Survey
- Attachment K: Building 1 Shell Drawings
- Attachment L: Building 2 Shell Drawings

**ATTACHMENT A**

**COST PROPOSAL FORM**

(consisting of 4 pages)

**ARCHITECTURE AND ENGINEERING SERVICES FOR THE RENOVATION AND DEVELOPMENT OF THE 178 SAMS STREET FACILITY**

**Responder: Please complete the attached pages of the Cost Proposal Form, and return them with this cover page. The cost proposal must be submitted in a separate, sealed envelope with the Responder's name and "Request for Proposals No. 19-500526 and Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility" clearly identified on the outside of the envelope.**

By signing this page, Responder acknowledges that he has carefully examined and fully understands the Contract, Scope of Work, and other attached documents, and hereby agrees that if his proposal is accepted, he will contract with DeKalb County according to the Request for Proposal documents.

Please provide the following information:

Name of Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person Submitting Proposal: \_\_\_\_\_

Title of Contact Person: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

\_\_\_\_\_  
Signature of Contact Person

\_\_\_\_\_  
Title of Contact Person

# ATTACHMENT A

## Cost Proposal Form

**Responder:** State a FIRM FIXED LUMP SUM for all costs, direct and indirect, administrative costs, and all thing necessary for *Architecture and Engineering Services for the Renovation Development of the 178 Sams Street Facility.*

**Project 1: 1A. Renovation of Existing Building 1 (71,160 SF)**

Design Phaseses shall include A&E design costs and required time for Drawing Approval to issue a Building Construction Permit.

		Costs
Programming	10%	\$ _____
Schematic Design	10%	\$ _____
Design Development	30%	\$ _____
Construction Documents	45%	\$ _____
Permitting & Bidding Support	5%	\$ _____
Total Fee Amount		\$ _____

**1B. Estimated Timeline for 100% Construction Documents Ready for Bidders from the Notice to Proceed.**

Number of Days: \_\_\_\_\_

**1C. Construction Administration Phase**

Construction Contract Administration*		\$ _____
Project Closeout*		\$ _____
<i>*This Fee will be evenly divided by number of months for construction phase.</i>		
Total Fee Amount		\$ _____

**1D. Contingency/Expenses**

Printing, costs, surveying costs, and travel costs are NOT a part of this Pricing Comparison Sheet and are considered an ADD cost. Payment directly to the service provided (as a pass-through cost) with NO markups.

Estimate of Contingency/Expenses (3%) \$ \_\_\_\_\_

---

(State the amount in writing on this line) (1A+1C+1D)

\$ \_\_\_\_\_  
 (State amount in figures on this line)

# ATTACHMENT A

## Cost Proposal Form

**Responder:** State a FIRM FIXED LUMP SUM for all costs, direct and indirect, administrative costs, and all thing necessary for *Architecture and Engineering Services for the Renovation Development of the 178 Sams Street Facility.*

**Project 2: 2A. Renovation of Existing Building 1 (59,610 SF), includes the walkway connector and the courtyard.**

Design Phaseses shall include A&E design costs and required time for Drawing Approval to issue a Building Construction Permit.

		Costs
Programming	10%	\$ _____
Schematic Design	10%	\$ _____
Design Development	30%	\$ _____
Construction Documents	45%	\$ _____
Permitting & Bidding Support	5%	\$ _____
<b>Total Fee Amount</b>		<b>\$ _____</b>

**2B. Estimated Timeline for 100% Construction Documents Ready for Bidders from the Notice to Proceed.**

Number of Days: \_\_\_\_\_

**2C. Construction Administration Phase**

Construction Contract Administration*	\$ _____
Project Closeout*	\$ _____
<i>*This Fee to be evenly divided by number of months for construction phase.</i>	
<b>Total Fee Amount</b>	<b>\$ _____</b>

**2D. Contingency/Expenses**

Printing, costs, surveying costs, and travel costs are NOT a part of this Pricing Comparison Sheet and are considered an ADD cost. Payment directly to the service provided (as a pass-through cost) with NO markups.

Estimate of Contingency/Expenses (3%) \$ \_\_\_\_\_

---

State the amount in writing on this line (2A+2C+2D)

\$ \_\_\_\_\_  
(State amount in figures on this line)

# ATTACHMENT A

## Cost Proposal Form

**Responder:** State a FIRM FIXED LUMP SUM for all costs, direct and indirect, administrative costs, and all thing necessary for *Architecture and Engineering Services for the Renovation Development of the 178 Sams Street Facility*.

**Project 3. 3A. Feasibility Study for the construction of a new 3-story 150,000 SF maximum office building and a multi-tiered parking structure to accommodate 350 spaces.**

Preliminary Site Assessment Costs  
\$ \_\_\_\_\_

Number of Days: \_\_\_\_\_

**3B. Site Investigation** Costs  
\$ \_\_\_\_\_

Number of Days: \_\_\_\_\_

**3C. Contingency/Expenses**

Printing, costs, surveying costs, and travel costs are NOT a part of this Pricing Comparison Sheet and are considered an ADD cost. Payment directly to the service provided (as a pass-through cost) with NO markups.

Estimate of Contingency/Expenses (3%) \$ \_\_\_\_\_

---

State the amount in writing on this line (3A+3B+3C)

\$ \_\_\_\_\_  
(State amount in figures on this line)

**ATTACHMENT B**

**PROPOSAL COVER SHEET**

**NOTE:** Read all instructions, conditions and specifications in detail before completing this Request for Proposal.

Please complete and include this cover sheet with your technical proposal.

Company Name		Federal Tax ID#	
Complete Primary Address	County	City	Zip Code
Mailing Address (if different)	City	State	Zip Code
Contact Person Name and Title	Telephone Number (include area code)		
Email Address	Fax Number (include area code)		
Company Website Address	Type of Organization (check one) <input type="checkbox"/> Corporation <input type="checkbox"/> Joint Venture <input type="checkbox"/> Proprietorship <input type="checkbox"/> Government		
<p>Proposals for 19-500526 and Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility described herein will be received in the Purchasing &amp; Contracting Department, Room 2<sup>nd</sup> Floor, The Maloof Center, 1300 Commerce Drive, Decatur, Georgia 30030 on <b>October 25, 2019 until 3:00 p.m. (EST)</b>. Proposals shall be marked in accordance with the RFP, Section V.B.</p> <p><b>CAUTION:</b> The Decatur Postmaster will not deliver certified or Special Delivery Mail to specific addresses within DeKalb County Government. When sending bids or time sensitive documents, you may want to consider a courier that will deliver to specific addresses.</p>			
<p>Proposal Cover Sheet should be signed by a representative of Proposer with the authority to bind Proposer to all terms, conditions, services, and financial responsibilities in the submitted Proposal.</p>			
Authorized Representative Signature(s)		Title(s)	
Type or Print Name(s)		Date	

**ATTACHMENT C  
CONTRACTOR REFERENCE AND RELEASE FORM**

List below at least three (3) references, including company name, contact name, address, email address, telephone numbers and contract period who can verify your experience and ability to perform the type of service listed in the solicitation.

Company Name	Contract Period		
Contact Person Name and Title	Telephone Number (include area code)		
Complete Primary Address	City	State	Zip Code
Email Address	Fax Number (include area code)		
Project Name			

Company Name	Contract Period		
Contact Person Name and Title	Telephone Number (include area code)		
Complete Primary Address	City	State	Zip Code
Email Address	Fax Number (include area code)		
Project Name			

Company Name	Contract Period		
Contact Person Name and Title	Telephone Number (include area code)		
Complete Primary Address	City	State	Zip Code
Email Address	Fax Number (include area code)		
Project Name			

**REFERENCE CHECK RELEASE STATEMENT**

You are authorized to contact the references provided above for purposes of this RFP.

Signed \_\_\_\_\_ Title \_\_\_\_\_  
(Authorized Signature of Proposer)

Company Name \_\_\_\_\_ Date \_\_\_\_\_

**ATTACHMENT D  
SUBCONTRACTOR REFERENCE AND RELEASE FORM**

List below at least three (3) references, including company name, contact name, address, email address, telephone numbers and contract period who can verify your experience and ability to perform the type of service listed in the solicitation.

Company Name	Contract Period		
Contact Person Name and Title	Telephone Number (include area code)		
Complete Primary Address	City	State	Zip Code
Email Address	Fax Number (include area code)		
Project Name			

Company Name	Contract Period		
Contact Person Name and Title	Telephone Number (include area code)		
Complete Primary Address	City	State	Zip Code
Email Address	Fax Number (include area code)		
Project Name			

Company Name	Contract Period		
Contact Person Name and Title	Telephone Number (include area code)		
Complete Primary Address	City	State	Zip Code
Email Address	Fax Number (include area code)		
Project Name			

**REFERENCE CHECK RELEASE STATEMENT**

You are authorized to contact the references provided above for purposes of this RFP.

Signed \_\_\_\_\_ Title \_\_\_\_\_  
(Authorized Signature of Proposer)

Company Name \_\_\_\_\_ Date \_\_\_\_\_



**ATTACHMENT E  
DEKALB FIRST LSBE INFORMATION  
WITH EXHIBITS A – B**

**SCHEDULE OF LOCAL SMALL BUSINESS ENTERPRISE PARTICIPATION  
OPPORTUNITY TRACKING FORM**

The Chief Executive Officer and the Board of Commissioners of DeKalb County believe that it is important to encourage the participation of small and local businesses in the continuing business of County government; and that the participation of these types of businesses in procurement will strengthen the overall economic fabric of DeKalb County, contribute to the County’s economy and tax base, and provide employment to local residents. Therefore, the Chief Executive Officer and the Board of Commissioners have made the success of local small businesses a permanent goal of DeKalb County by implementing the DeKalb First Local Small Business Enterprise Ordinance.

**PROVISIONS OF DEKALB FIRST LOCAL SMALL BUSINESS ENTERPRISE (LSBE)  
ORDINANCE**

Percentage of LSBE Participation Required
20% of Total Award

Certification Designation	Request For Proposals (RFP)
LSBE Within DeKalb (LSBE-DeKalb)	Ten (10) Preference Points
LSBE Outside DeKalb (LSBE-MSA)	Five (5) Preference Points
Demonstrated GFE	Two (2) Preference Points

Certified Local Small Business Enterprises (LSBEs) located within DeKalb County and prime contractors utilizing LSBEs that are locally-based inside DeKalb County shall receive ten (10) points in the initial evaluation of their response to any Request for Proposal. Certified LSBEs located outside of DeKalb County but within the nine (9) County Metropolitan Statistical Area (MSA) consisting of Cherokee, Clayton, Cobb, Douglas, Fayette, Fulton, Gwinnett, Henry and Rockdale Counties shall receive five (5) points in the initial evaluation of their response to any Request for Proposal. Prime Contractors who demonstrate sufficient good faith efforts in accordance with the requirements of the ordinance shall be granted two (2) points in their initial evaluation of responses to any Request for Proposal. Pro-rated points shall be granted where a mixture of LSBE-DeKalb and LSBE MSA firms are utilized. Utilization of each firm shall be based upon the terms of the qualified sealed solicitation.

Prime Contractor(s) deemed responsible and remains responsive to an Invitation to Bid (ITB) because they are either a certified LSBE-DeKalb or LSBE-MSA firm or has obtained 20% participation of an LSBE-DeKalb or LSBE-MSA firm, submits the lowest bid price shall be deemed the lowest, responsive and responsible bidder.

Prime Contractor(s) deemed responsible and remains responsive to an Invitation to Bid (ITB) and documented good faith efforts, submits a lower bid price than a Prime Contractor that achieved 20% LSBE participation, or otherwise required benchmark, then the Prime Contractor who actually met the benchmark will be given the opportunity to match the lowest bid price of the Prime Contractor who only made good faith efforts. Prime Contractor(s) who choose **not** to match the lowest bid price, then

the Prime Contractor who made the good faith efforts will be deemed the lowest, responsive and responsible bidder.

For all qualified sealed solicitations, the Director of Purchasing and Contracting, DeKalb County Government, shall determine if the bidder/proposer has included written documentation showing that at least twenty percent (20%) of the total contract award will be performed by a certified LSBE. This written documentation shall be in the form of a notarized Schedule of LSBE Participation (Attached hereto as "Exhibit A".) For all contracts, a signed letter of intent from all certified LSBEs describing the work, material, equipment and/or services to be performed or provided by the LSBE(s) and the agreed upon percentage shall be due with the bid or proposal documents and included with "Exhibit A". The certified vendor list establishes the group of Certified LSBE's from which the bidder/proposer must solicit subcontractors for LSBE participation. This list can be found on our website <http://www.dekalbcountyga.gov/purchasing-contracting/about-purchasing-and-contracting> or obtained from the Special Projects LSBE Program team.

Prime Contractors failing to meet the LSBE benchmark must document and demonstrate Good Faith Efforts in accordance with the attached "Checklist for Good Faith Efforts" portion of "Exhibit A." The notarized Schedule of LSBE Participation shall be due and submitted with each bid or proposal. Failure to achieve the LSBE benchmark or demonstrate good faith efforts shall result in a bid or proposal being rejected. Prime Contractors that fail to attend the mandatory LSBE meeting in person or via video conference shall mean that the Prime Contractor has not demonstrated sufficient good faith efforts and its bid or proposal if submitted, shall be deemed non-responsive without any further review.

Upon award, Prime Contractors are required to submit a report detailing LSBE Sub-Contractor usage with each request for payment and not less than on a monthly basis. Prime Contractors shall ensure that all LSBE sub-contractors have been paid within seven (7) days of the Prime's receipt of payment from the County. Failure to provide requested reports/documentation shall constitute a material breach of contract, entitling the County to terminate the Contract for default or pursue other remedies. LSBE sub-contractors must confirm payments received from the Prime(s) for each County contract they participate in.

For eligible bids/proposals valued over \$5,000,000.00, the Mentor-Protégé provision of the Ordinance shall apply. Prime Contractors must agree to become mentors and take on an LSBE protégé in an effort to enhance the potential of future LSBEs. Qualifying projects shall be performed by both Mentor and Protégé through a subcontract between both parties. This requirement is in addition to all other applicable sections of the DeKalb First Ordinance. Please review the ordinance, section 2-214 or contact the LSBE Program Representative for detailed information regarding this initiative.

**EXHIBIT A**

**SCHEDULE OF DEKALB FIRST LOCAL SMALL BUSINESS ENTERPRISE PARTICIPATION OPPORTUNITY TRACKING FORM**

As specified, Bidders and Proposers are to present the details of LSBE participation below:

PRIME  
 BIDDER/PROPOSER \_\_\_\_\_

SOLICITATION NUMBER: **19-500526**

TITLE OF UNIT OF WORK – **Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility**

1. My firm, as the prime bidder/proposer on this unit of work, is a certified (check all that apply):  
 \_\_\_ LSBE-DeKalb    \_\_\_ LSBE-MSA
2. If you are a Certified LSBE-DeKalb or MSA, please indicate below the percentage of that your firm will carry out directly: \_\_\_\_\_.
3. If the prime bidder/proposer is a joint venture, please describe below the nature of the joint venture and level of work and percentage of participation to be provided by the LSBE-DeKalb or MSA joint venture firm.

\_\_\_\_\_

\_\_\_\_\_

4. List the LSBE-DeKalb or MSA subcontractors and/or firms (including suppliers) to be utilized in of this contract, if awarded. No changes can be made in the subcontractors listed below without the prior written approval of the County. Please attach a signed letter of intent from all certified LSBEs describing the work, materials, equipment or services to be performed and/or provided and the agreed upon percentage of work to be performed. A Letter of Intent form is attached hereto as “Exhibit B”.

Name of Company	
Address	
Telephone	
Fax	
Contact Person	
Indicate certification status and attach proof of certification: LSBE-DeKalb/LSBE-MSA	
Description of services to be performed	
Percentage of work to be performed	

Name of Company	
Address	
Telephone	
Fax	
Contact Person	
Indicate certification status and attach proof of certification: LSBE-DeKalb/LSBE-MSA	
Description of services to be performed	
Percentage of work to be performed	

Name of Company	
Address	
Telephone	
Fax	
Contact Person	
Indicate certification status and attach proof of certification: LSBE-DeKalb/LSBE-MSA	
Description of services to be performed	
Percentage of work to be performed	

Name of Company	
Address	
Telephone	
Fax	
Contact Person	
Indicate certification status and attach proof of certification: LSBE-DeKalb/LSBE-MSA	
Description of services to be performed	
Percentage of work to be performed	

Please attach additional pages, if necessary.

**EXHIBIT A, CONT'D**

**DEKALB COUNTY**  
**CHECKLIST FOR GOOD FAITH EFFORTS**

A bidder/proposer that does not meet the County’s LSBE participation benchmark is required to submit documentation to support all “Yes” responses as proof of “good faith efforts.” Please indicate whether or not any of these actions were taken:

	Yes	No	Description of Actions
1.			Prime Contractors shall attend a <b>MANDATORY LSBE</b> Meeting in person or via video conference within two-weeks of advertisement of the solicitation.
2.			Provide a contact log showing the company’s name, contact person, address, email and contact number (phone or fax) used to contact the proposed certified subcontractors, nature of work requested for quote, date of contact, the name and title of the person making the effort, response date and the percentage of work.
3.			Provide interested LSBEs via email, of any new relevant information, if any, at least 5 business days prior to submission of the bid or proposal.
4.			Efforts made to divide the work for LSBE subcontracting areas likely to be successful and to identify portions of work available to LSBEs consistent with their availability. Include a list of divisions of work not subcontracted and the corresponding reasons for not including them. The ability or desire of a bidder/proposer to perform the contract work with its own organization does not relieve it of the responsibility to make good faith efforts on all scopes of work subject to subcontracting.
5.			Efforts were made to assist potential LSBE subcontractors meet bonding, insurance, or other governmental contracting requirements. Where feasible, facilitating the leasing of supplies or equipment when they are of such a specialized nature that the LSBE could not readily and economically obtain them in the marketplace.
6.			Communication via email or phone with DeKalb First Program Staff seeking assistance in identifying available LSBEs. Provide DeKalb First Program Staff representative name and title, and date of contact.
7.			For all contracts, a signed letter of intent from all certified LSBEs describing the work, materials, equipment or services to be performed or provided by the LSBE(s) and the agreed upon LSBE participation percentage shall be due with the bid or proposal documents.
8.			Other Actions, to include Mentor/Protégé commitment for solicitations \$5M and above (specify):

Please explain all “no” answers above (by number):

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This list is a guideline and by no means exhaustive. The County will review these efforts, along with attached supporting documents, to assess the bidder/proposer's efforts to meet the County's LSBE Participation benchmark. If you require assistance in identifying certified, bona fide LSBEs, please contact the Purchasing and Contracting Department - DeKalb First Program, Felton Williams, Procurement Projects Manager at 404-371-6312.

**EXHIBIT A, CONT'D**

**DEKALB FIRST LOCAL SMALL BUSINESS ENTERPRISE SCHEDULE OF  
PARTICIPATION  
OPPORTUNITY TRACKING FORM**

**Bidder/Proposer Statement of Compliance**

Bidder(s)/Proposer(s) hereby state that they have read and understand the requirements and conditions as set forth in the objectives and that reasonable effort were made to support the County in providing the maximum practicable opportunity for the utilization of LSBEs consistent with the efficient and economical performance of this contract. The Bidder and any subcontractors shall file compliance reports at reasonable times and intervals with the County in the form and to the extent prescribed by the Director of DeKalb County Purchasing and Purchasing and Contracting Department. Compliance reports filed at such times as directed shall contain information as to the employment practices, policies, programs and statistics of Contractors and their subcontractors.

**1. Non-Discrimination Policy**

- a. During the performance of this agreement, Contractor agrees to conform to the following Non-Discrimination Policy adopted by the County.
- b. Contractor shall not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or disability. The Contractor will take action to ensure that applicants are employed, and the employees are treated during employment without regard to their race, color, religion, sex, national origin, or disability. Such action shall include, but not be limited to, the following:
  - (1) Employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. Contractor agrees to post in conspicuous places available to employees and applicants for employment, notices to be provided setting forth provisions of this non-discrimination clause.
  - (2) Contractor shall, in all solicitations or advertisements for employees placed by or on behalf of Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin, or disability.
- c. Without limiting the foregoing, Contractor shall not discriminate on the basis of disability in the admission or access to, or treatment or employment in, the programs and activities, which form the subject of the contract. The Contractor will take action to ensure that applicants for participation in such programs and activities are considered without regard to disability. Such action shall include, but not be limited to, the following:
  - (1) Contractor agrees to post in conspicuous places available to participants in its programs and activities notices to be provided setting forth the provisions of this non-discrimination clause.
  - (2) Contractor shall, in all solicitations or advertisements for programs or activities, which are the subject of the contract, state that all qualified

applicants will receive consideration for participation without regard to disability.

2. **Commitment**

The undersigned certifies that he/she has read, understands, and agrees to be bound by the bid specifications, including the accompanying Exhibits and other terms and conditions of the Invitation to Bid and/or Request for Proposal regarding LSBE utilization. The undersigned further certifies that he/she is legally authorized by the bidder or responder to make the statements and representations in Exhibit A and that said statements and representations are true and correct to the best of his/her knowledge and belief. The undersigned will enter into formal agreement(s) with the LSBE(s) listed in this Exhibit A, which are deemed by the owner to be legitimate and responsible LSBEs. Said agreement(s) shall be for the work and contract with the Prime Contractor. The undersigned understands and agrees that if any of the statements and representations are made by the Bidder knowing them to be false, or if there is a failure of the successful Bidder (i.e., Contractor) to implement any of the stated agreements, intentions, objectives, goals and commitments set forth herein without prior approval of the County, then in any such events the contractor's act or failure to act, as the case may be, shall constitute a material breach of contract, entitling the County to terminate the Contract for default. The right to so terminate shall be in addition to, and not in lieu of, any other rights and remedies the County may have for other defaults under the Contract. Additionally, the Contractor will be subject to the loss of any future contract awards by the County for a period of one year.

Firm Name (Please Print):

\_\_\_\_\_

Firm's Officer:

\_\_\_\_\_  
(Authorized Signature and Title Required) Date

Sworn to and Subscribed to before me this \_\_\_\_ day of \_\_\_\_\_, 201\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_



**EXHIBIT B**

**LETTER OF INTENT TO PERFORM AS A SUBCONTRACTOR  
PROVIDING MATERIALS OR SERVICES**

Instructions:

1. Complete the form in its entirety and submit with bid documents.
2. Attach a copy of the LSBE's current valid Certification Letter.

**To:** \_\_\_\_\_  
**(Name of Prime Contractor Firm)**

**From:** \_\_\_\_\_  **LSBE –DeKalb**  **LSBE –MSA**  
**(Name of Subcontractor Firm) (Check all that apply)**

**ITB Number:** 19-500526

**Project Name:** Architecture and Engineering Services for the Renovation and Development of the 178 Sams Street Facility

The undersigned subcontractor is prepared to perform the following described work or provide materials or services in connection with the above project (specify in detail particular work items, materials, or services to be performed or provided).

<b>Description of Materials or Services</b>	<b>Project/Task Assignment</b>	<b>% of Contract Award</b>

**Prime Contractor**

**Sub-contractor**

**Signature:** \_\_\_\_\_

**Signature:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**ATTACHMENT F**

**RESPONDER AFFIDAVIT**

By executing this affidavit, the undersigned verifies its compliance with O.C.G.A. § 13-10-91, as amended, stating affirmatively that the responder submitting a bid to DEKALB COUNTY, GA, a political subdivision of the State of Georgia, has registered with and is participating in a federal work authorization program\* [any of the electronic verification of work authorization programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603], in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91, as amended].

\_\_\_\_\_  
Responder's Name

\_\_\_\_\_  
Federal Work Authorization  
Enrollment Date

\_\_\_\_\_  
BY: Authorized Officer or Agent

\_\_\_\_\_  
Title of Authorized Officer or Agent of Bidder

\_\_\_\_\_  
Identification Number

\_\_\_\_\_  
Printed Name of Authorized Officer or Agent

\_\_\_\_\_  
Address (\*do not include a post office box)

SUBSCRIBED AND SWORN  
BEFORE ME ON THIS THE  
\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_



ATTACHMENT G

**FIRST SOURCE JOBS ORDINANCE INFORMATION**  
**(WITH EXHIBITS 1 – 4)**

**EXHIBIT 1**

**FIRST SOURCE JOBS ORDINANCE ACKNOWLEDGEMENT**

The DeKalb County First Source Ordinance requires contractors or beneficiaries of eligible projects entering into any type of agreement with the County, including purchase orders, regardless of what they may be called, for the procurement or disposal of supplies, services, construction projects, professional or consultant services, which is funded in whole or part with County funds or County administered funds in which the contractor is to receive \$50,000 or more in County expenditures or committed expenditures and recipient of urban redevelopment action grants or community development block funds administered in the amount of \$50,000 or more to make a good faith effort to hire DeKalb County residents for at least 50% of jobs created using the First Source Registry (candidate database) within one hundred twenty (120) days of contract execution. The work to be performed under this contract is subject to the provisions of the DeKalb County First Source Jobs Ordinance. All contractors will be asked to submit an Employment Roster and/or copies of active payroll registers on a monthly basis to verify compliance. The undersigned acknowledges and agrees to comply with the provisions of the DeKalb County First Source Jobs Ordinance.

**CONTRACTOR OR BENEFICIARY INFORMATION:**

Contractor or Beneficiary Name (Signature)

Contractor or Beneficiary Name (Printed)

Title

Telephone

Email

\_\_\_\_\_  
Name of Business

Please answer the following questions:

1. How many job openings do you anticipate filling related to this contract? \_\_\_\_\_
2. How many incumbents/existing employees will retain jobs due to this contract?  
DeKalb Residents: \_\_\_\_\_ Non-DeKalb Residents: \_\_\_\_\_
3. How many work hours per week constitutes Full Time employment? \_\_\_\_\_

**Please return this form to WorkSource DeKalb, (404)687-3900 or email to [fkadkins@dekalbcountyga.gov](mailto:fkadkins@dekalbcountyga.gov), [malee@dekalbcountyga.gov](mailto:malee@dekalbcountyga.gov), [vlricksion@dekalbcountyga.gov](mailto:vlricksion@dekalbcountyga.gov), or [jmjones@dekalbcountyga.gov](mailto:jmjones@dekalbcountyga.gov)**

*WorkSource DeKalb (WSD) is an EEO/M/F/D/V employer/program. Auxiliary aids/services are available upon request to individuals with disabilities. Persons with hearing impairments may call 1-800-255-0135 or 711 TTY for assistance. WSD is 100% funded by the U. S. Department of Labor and is a proud partner of the American Job Center Network. Revised March 2018*



**FIRST SOURCE JOBS ORDINANCE INFORMATION**  
**EXHIBIT 3**

**BUSINESS SERVICE REQUEST FORM**

**Please note: We need one form completed for each position that you have available.**

**FEDERAL TAX ID:**

**COMPANY NAME:**

**WEBSITE:**

**ADDRESS:**

**(WORKSITE ADDRESS IF DIFFERENT):**

**CONTACT NAME:**

**CONTACT PHONE:**

**CONTACT FAX:**

**CONTACT E-MAIL ADDRESS:**

**Are you a private employment agency or staffing agency?  YES  NO**

---

**JOB DESCRIPTION: (PLEASE INCLUDE A COPY OF JOB DESCRIPTION)**

**POSITION TITLE:**

**NUMBER OF POSITIONS AVAILABLE: \_\_\_\_\_ TARGET START DATE: \_\_\_\_\_**

**WEEKLY WORK HOURS: 20-30 hours  30-40 hours  Other**

**SPECIFIC WORK SCHEDULE:**

**SALARY RATE(OR RANGE):**

**PERM  TEMP  TEMP-TO-PERM  SEASONAL**

**PUBLIC TRANSPORTATION ACCESSIBILITY YES  NO**

**IF SCREENINGS ARE REQUIRED, SELECT ALL THAT APPLY:**

**CREDIT  DRUG  MVR  BACKGROUND  OTHER \_\_\_\_\_**

**Please return form to: Business Solutions Unit (First Source)  
774 Jordan Lane Bldg. #4  
Decatur, Ga. 30033  
Phone: (404) 687-3400  
FirstSourceJobs@dekalbcountyga.gov**



**ATTACHMENT H**  
**SAMPLE COUNTY CONTRACT**

## AGREEMENT FOR PROFESSIONAL SERVICES

### DEKALB COUNTY, GEORGIA

THIS AGREEMENT made as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, (hereinafter called the “execution date”) by and between DEKALB COUNTY, a political subdivision of the State of Georgia (hereinafter referred to as the “County”), and \_\_\_\_\_, a corporation organized and existing under the laws of the State of \_\_\_\_\_, with offices in \_\_\_\_\_, \_\_\_\_\_ (hereinafter referred to as “Contractor”), shall constitute the terms and conditions under which the Contractor shall provide \_\_\_\_\_ in DeKalb County, Georgia.

WITNESSETH: That for and in consideration of the mutual covenants and agreements herein set forth, the County and the Contractor hereby agree as follows:

#### **ARTICLE I. CONTRACT TERM**

The Contractor shall commence the Work under this Contract within ten (10) days from the acknowledgement of receipt of the Notice to Proceed. As required by O.C.G.A §36-60-13, this Contract shall (i) terminate without further obligation on the part of the County each and every December 31<sup>st</sup>, as required by O.C.G.A. § 36-60-13, as amended, unless terminated earlier in accordance with the termination provisions of this Contract; (ii) automatically renew on each January 1<sup>st</sup>, unless terminated in accordance with the termination provisions of this Contract; and (iii) terminate absolutely, with no further renewals, on December 31, 20XX, unless extended by Change Order adopted and approved by the DeKalb County Governing Authority and the Contractor in accordance with the terms of this Contract.

#### **ARTICLE III. PAYMENT**

As full payment for the faithful performance of this Contract, the County shall pay the Contractor, the Contract Price, which is an amount not to exceed \_\_\_\_\_ (\$ \_\_\_\_\_), unless changed by written Change Order in accordance with the terms of this Contract. The term “Change Order” includes the term “amendment” and shall mean a written order authorizing a change in the Work, and an adjustment in Contract Price to Contractor or the Contract Term, as adopted and approved by the Contractor and the DeKalb County Governing Authority, or the Chief Executive Officer, if exempted from Governing Authority adoption and approval in accordance with the express terms of this Contract. The Chief Executive Officer or his/her designee shall have the authority to approve and execute a Change Order lowering the Contract Price or increasing the Contract Price up to twenty percent (20%) of the original Contract Price, provided that the total amount of the increase authorized by such Change Order is less than \$100,000.00. If the original Contract or Purchase Order Price does not exceed \$100,000.00, but the Change Order will make the total Contract Price exceed \$100,000.00, then the Change Order will require approval by official action of the Governing Authority. Any other increase of the Contract Price shall be by Change Order adopted and approved by the DeKalb County Governing Authority and the Contractor in accordance with the terms of this Contract. Amounts paid to the Contractor shall comply with and not exceed Attachment A, the Contractor’s Cost Proposal, consisting of \_\_\_\_\_ page(s) attached hereto and incorporated herein by reference. Payment is to be made no later than thirty (30) days after submittal of undisputed invoice.



Invoice(s) must be submitted as follows:

- A. Original invoice(s) must be submitted to:  
DeKalb County, Georgia  
Attention: "USER DEPARTMENT"

\_\_\_\_\_  
\_\_\_\_\_

B. Upon award, Prime Contractor(s) with Local Small Business Enterprise (LSBE) Subcontractor(s) shall enter utilization reports electronically at [www.dekalblsbe.info](http://www.dekalblsbe.info). Proof of payment to the LSBE Subcontractor must be uploaded and submitted. LSBE Subcontractors shall confirm receipt of payment from the Prime, electronically also, at [www.dekalblsbe.info](http://www.dekalblsbe.info)

#### **ARTICLE IV. STATEMENT OF WORK**

The Contractor agrees to provide all \_\_\_\_\_ services in accordance with the County's Request for Proposals (RFP) No. XX-XXXXXX for \_\_\_\_\_, attached hereto as Appendix I and incorporated herein by reference, and the Contractor's response thereto, attached hereto as Appendix II and incorporated herein by reference.

The Contractor's services shall include all things, personnel, and materials necessary to accomplish specific projects authorized by the County. Specific Work Authorizations will have precedence over any interpretation within the Contract.

#### **ARTICLE V. GENERAL CONDITIONS**

A. **Accuracy of Work** The Contractor shall be responsible for the accuracy of the Work and any error and/or omission made by the Contractor in any phase of the Work under this Agreement.

B. **Additional Work** The County shall in no way be held liable for any work performed under this section which has not first been approved in writing by the County in the manner required by applicable law and/or the terms of this Contract. The County may at any time order changes within the scope of the Work without invalidating the Contract upon seven (7) days written notice to the Contractor. The Contractor shall proceed with the performance of any changes in the Work so ordered by the County unless such change entitles the Contractor to a change in Contract Price, and/or Contract Term, in which event the Contractor shall give the County written notice thereof within fifteen (15) days after the receipt of the ordered change, and the Contractor shall not execute such changes until it receives an executed Change Order from the County. No extra cost or extension of time shall be allowed unless approved by the County and authorized by execution of a Change Order. The parties' execution of any Change Order constitutes a final settlement of all matters relating to the change in the Work which is the subject of the Change Order. The County shall not be liable for payment for any work performed under this section which has not first been approved in writing by the County in the manner required by applicable law and/or the terms of this Contract.

C. **Ownership of Documents** All documents, including drawings, estimates, specifications, and data are and remain the property of the County. The Contractor agrees that the County may reuse any and all plans, specifications, drawings, estimates, or any other data or documents described herein in its sole discretion without first obtaining permission of the Contractor and without any payment of any monies to the Contractor therefore. However, any reuse of the documents by the

County on a different site shall be at its risk and the Contractor shall have no liability where such documents are reused.

D. **Right to Audit** The County shall have the right to audit all books and records, including electronic records, relating or pertaining to this contract or agreement, including but not limited to all financial and performance related records, property, and equipment purchased in whole or in part with County funds and any documents or materials which support those records, kept under the control of the Contractor, including but not limited to those kept by the Contractor's employees, agents, assigns, successors and subcontractors. The County also has the right to communicate with Contractor's employees related to the audited records.

The Contractor shall maintain such books and records, together with such supporting or underlying documents and materials, for the duration of this contract and for seven (7) years after termination or expiration, including any and all renewals thereof. The books and records, together with supporting documents and materials shall be made available, upon request to the County or its designee, during normal business hours at the Contractor's office or place of business. In the event that no such location is available, then the books, records, and supporting documents shall be made available for audit at a time and location which is convenient for the County.

E. **Successors and Assigns** The Contractor agrees it shall not sublet, assign, transfer, pledge, convey, sell, or otherwise dispose of the whole or any part of this Contract or his right, title, or interest therein to any person, firm, or corporation without the previous written consent of the County. If the County consents to any such assignment or transfer, then the Contractor binds itself, its partners, successors and assigns to all covenants of this Contract. Nothing contained in this Contract shall create, nor be interpreted to create privity, or any other relationship whatsoever, between the County and any person, or entity or than Contractor.

F. **Reviews and Acceptance** Work performed by the Contractor shall be subject to review and acceptance in stages as required by the County. Acceptance shall not relieve the Contractor of its professional obligation to correct, at his own expense, any errors in the Work.

G. **Termination of Agreement** The Contractor understands and agrees that the date of the beginning of Work, rate of progress, and time for completion of the Work are essential conditions of this Contract. The County may, for its own convenience and at its sole option, without cause and without prejudice to any other right or remedy of County, elect to terminate the Contract by delivering to the Contractor, at the address listed in the Notices article of this Contract, a written notice of termination specifying the effective date of termination. Such notice shall be delivered to Contractor at least thirty (30) days prior to the effective date of termination. If Contractor's services are terminated by the County, the termination will not affect any rights or remedies of the County then existing or which may thereafter accrue against Contractor or its surety. In case of termination of this Contract before completion of the Work, Contractor will be paid only for the portion of the Work satisfactorily performed through the effective date of termination as determined by the County. Neither party shall be entitled to recover lost profits, special, consequential or punitive damages, attorney's fees or costs from the other party to this Contract for any reason whatsoever. This Contract shall not be deemed to provide any third-party with any remedy, claim, right of action, or other right. The parties' obligations pursuant to this Section shall survive any acceptance of Work, or termination or expiration of this Contract.

H. **Indemnification Agreement** The Contractor shall be responsible from the execution date or from the time of the beginning of the Work, whichever shall be the earlier, for all injury or damage of any kind resulting from the Work, to persons or property, including employees and property of the County. The Contractor shall exonerate, indemnify, and save harmless the County, its elected officials, officers, employees, agents and servants, hereinafter collectively referred to in this Section as "the County Indemnitees," from and against all claims or actions based upon or arising out of any damage or injury (including without limitation any injury or death to persons and any damage to

property) caused by or sustained in connection with the performance of this Contract or by conditions created thereby or arising out of or any way connected with Work performed under this Contract, as well as all expenses incidental to the defense of any such claims, litigation, and actions. Furthermore, Contractor shall assume and pay for, without cost to the County Indemnitees, the defense of any and all claims, litigation, and actions suffered through any act or omission of the Contractor, or any Subcontractor, or anyone directly or indirectly employed by or under the supervision of any of them. Notwithstanding any language or provision in this Contract, Contractor shall not be required to indemnify any County Indemnitee against claims, actions, or expenses based upon or arising out of the County Indemnitee's sole negligence. As between the County Indemnitees and the Contractor as the other party, the Contractor shall assume responsibility and liability for any damage, loss, or injury, including death, of any kind or nature whatever to person or property, resulting from any kind of claim made by Contractor's employees, agents, vendors, Suppliers or Subcontractors caused by or resulting from the performance of Work under this Contract, or caused by or resulting from any error, omission, or the negligent or intentional act of the Contractor, vendors, Suppliers, or Subcontractors, or any of their officers, agents, servants, or employees. The Contractor shall defend, indemnify, and hold harmless the County Indemnitees from and against any and all claims, loss, damage, charge, or expense to which they or any of them may be put or subjected by reason of any such damage, loss, or injury. The Contractor expressly agrees to provide a full and complete defense against any claims brought or actions filed against the County Indemnitees, where such claim or action involves, in whole or in part, the subject of the indemnity contained in this Contract, whether such claims or actions are rightfully or wrongfully brought or filed. The County has the sole discretion to choose the counsel who will provide the defense. No provision of this Contract and nothing herein shall be construed as creating any individual or personal liability on the part of any elected official, officer, employee, agent or servant of the County, nor shall the Contract be construed as giving any rights or benefits hereunder to anyone other than the parties to this Contract. The parties' obligations pursuant to this Section shall survive any acceptance of Work, or termination or expiration of this Contract.

I. **Insurance** Prior to commencing work, Contractor shall, at its sole expense, procure and maintain insurance of the types and in the amounts described below from insurer(s) authorized to transact business in the state where the work or operations will be performed by Contractor. Such insurance shall be placed with admitted insurers that maintain an A.M. Best's rating of not less than "A" (Excellent) with a Financial Size Category of VII or better with coverage forms acceptable to Contractor. The insurance described below shall be maintained uninterrupted for the duration of the project, including any warranty periods, and shall protect Contractor, and others as required by contract, for liabilities in connection with work performed by or on behalf of Contractor, its agents, representatives, employees or Contractors.

1. Certificates of Insurance in companies doing business in Georgia and acceptable to the County covering:
  - (a) Statutory Workers' Compensation Insurance, or proof that Contractor is not required to provide such coverage under State law;
    - (1) Employer's liability insurance by accident, each accident \$1,000,000
    - (2) Employer's liability insurance by disease, policy limit \$1,000,000
    - (3) Employer's liability insurance by disease, each employee \$1,000,000
  - (b) Professional Liability Insurance on the Contractor's services in this Agreement with limit of \$1,000,000;
  - (c) Commercial General Liability Insurance covering all operations with combined single limit of \$1,000,000;
  - (d) Comprehensive Automobile Liability Insurance with form coverage for all owned, non-owned and hired vehicles with combined single limit of

- \$1,000,000.
- (e) Umbrella or Excess Insurance. Umbrella or excess insurance is to be provided with General Liability, Auto Liability and Employers Liability scheduled as underlying policies with limits not less than the following:  
\$5,000,000 per occurrence  
\$5,000,000 aggregate
2. Additional Insured Requirement:
- (a) The County, its elected officials, officers, employees and agents, hereinafter referred to in this article and in the article entitled “Certificates of Insurance” as “the County and its officers” are to be named as additional insured on all policies of insurance except worker’s compensation insurance with no cross suits exclusion. The County and its officers shall be included as additional insureds under commercial general liability and commercial umbrella insurance, for liabilities arising out of both the ongoing and completed operations of Contractor. Such additional insured coverage shall be endorsed to Contractor’s policy by attachment of ISO Additional Insured Endorsement forms CG 20 10 10 01 (ongoing operations) and CG 20 37 10 01 (products-completed operations), or form(s) providing equivalent coverage.
- (b) All coverages required of the Contractor will be primary over any insurance or self-insurance program carried by the County.
- (c) If the Contractor is a joint venture involving two (2) or more entities, then each independent entity will satisfy the limits and coverages specified here or the joint venture will be a named insured under each respective policy specified.
3. Fidelity Bond coverage shall be provided. Coverage limits shall not be less than the amount scheduled in the contract.
4. Certificates of Insurance must be executed in accordance with the following provisions:
- (a) Certificates to contain policy number, policy limits, and policy expiration date of all policies issued in accordance with this Agreement;
- (b) Certificates to contain the location and operations to which the insurance applies;
- (c) Certificates to contain Contractor’s protective coverage for any subcontractor’s operations;
- (d) Certificates to contain Contractor’s contractual liability insurance coverage;
- (e) Certificates are to be **issued** to:
- DeKalb County, Georgia**  
**Director of Purchasing & Contracting**  
**The Maloof Center, 2<sup>nd</sup> Floor**  
**1300 Commerce Drive**  
**Decatur, Georgia 30030**
5. The Contractor shall be wholly responsible for securing certificates of insurance coverage as set forth above from all subcontractors who are engaged in this work.
6. The Contractor agrees to carry statutory Workers’ Compensation Insurance and to have all subcontractors likewise carry statutory Workers’ Compensation Insurance.
7. Contractor agrees to waive all rights of subrogation and other rights of recovery against

- the County and its officers and shall cause each Subcontractor to waive all rights of subrogation for all coverage, excluding Professional E&O.
8. Failure of the County to demand such certificate or other evidence of full compliance with these insurance requirements or failure of the County to identify a deficiency from evidence provided will not be construed as a waiver of the Contractor's obligation to maintain such coverage. Contractor understands and agrees that the purchase of insurance in no way limits the liability of the Contractor.
  9. Certificates shall state that the policy or policies shall not expire, be cancelled or altered without at least sixty (60) days prior written notice to the County. Policies and Certificates of Insurance listing the County and its officers as additional insureds (except for workers' compensation insurance) shall conform to all terms and conditions (including coverage of the indemnification and hold harmless agreement) contained in this Contract.
  10. If the County shall so request, the Contractor will furnish the County for its inspection and approval such policies of insurance with all endorsements, or confirmed specimens thereof certified by the insurance company to be true and correct copies. Contractor shall be responsible and have the financial wherewithal to cover any deductibles or retentions included on the certificate of insurance.

J. **Georgia Laws Govern** The laws of the State of Georgia shall govern the construction of this Contract without regard for conflicts of laws. Should any provision of this Contract require judicial interpretation, it is agreed that the court interpreting or construing the same shall not apply a presumption that the terms hereof shall be more strictly construed against one party, by reason of the rule of construction, that a document is to be construed more strictly against the party who itself or through its agent prepared same; it being agreed that the agents of all parties have participated in the preparation hereof, and all parties have had an adequate opportunity to consult with legal counsel. In interpreting this Contract in its entirety, the printed provisions of this Contract, and any additions written or typed hereon, shall be given equal weight, and there shall be no inference by operation of law or otherwise; that any provision of this Contract shall be construed against either party hereto.

K. **Venue** This Agreement shall be deemed to have been made and performed in DeKalb County, Georgia. For the purposes of venue, all suits or causes of action arising out of this Agreement shall be brought in the courts of DeKalb County, Georgia.

L. **Contractor and Subcontractor Evidence of Compliance; Federal Work Authorization** Pursuant to O.C.G.A. §13-10-91, the County cannot enter into a contract for the physical performance of services unless the Contractor, its Subcontractor(s) and sub-subcontractor(s), as that term is defined by state law, register and participate in the Federal Work Authorization Program to verify specific information on all new employees. Contractor certifies that it has complied and will continue to comply throughout the Contract Term with O.C.G.A. §13-10-91 and any related and applicable Georgia Department of Labor Rule. Contractor agrees to sign an affidavit evidencing its compliance with O.C.G.A. §13-10-91. The signed affidavit is attached to this Contract as Attachment B. Contractor agrees that in the event it employs or contracts with any Subcontractor(s) in connection with this Contract, Contractor will secure from each Subcontractor an affidavit that certifies the Subcontractor's current and continuing compliance with O.C.G.A. §13-10-91 throughout the Contract Term. Any signed Subcontractor affidavit(s) obtained in connection with this Contract shall be attached hereto as Attachment C. Each Subcontractor agrees that in the event it employs or contracts with any sub-subcontractor(s), each Subcontractor will secure from each sub-subcontractor an affidavit that certifies the sub-subcontractor's current and continuing compliance with O.C.G.A. §13-10-91 throughout the Contract Term. Any signed sub-subcontractor affidavit(s) obtained in connection with this Contract shall be attached hereto as Attachment D.

M. **County Representative** The County may designate a representative through whom the Contractor will contact the County. In the event of such designation, said representative shall be consulted and his written recommendation obtained before any request for extra work is presented to the County. Payments to the Contractor shall be made only upon itemized bill submitted to and approved by said representative.

N. **Contractor's Status** The Contractor will supervise and direct the Work, including the Work of all Subcontractors. Only persons skilled in the type of work which they are to perform shall be employed. The Contractor shall, at all times, maintain discipline and good order among his employees, and shall not employ any unfit person or persons or anyone unskilled in the work assigned him. The relationship between the County and the Contractor shall be that of owner and independent contractor. Other than the consideration set forth herein, the Contractor, its officers, agents, servants, employees, and any Subcontractors shall not be entitled to any County employee benefits including, but not limited to social security, insurance, paid annual leave, sick leave, worker's compensation, free parking or retirement benefits. All services provided by Contractor shall be by employees of Contractor or its Subcontractors and subject to supervision by Contractor. No officer or employee of Contractor or any Subcontractor shall be deemed an officer or employee of the County. Personnel policies, tax responsibilities, social security payments, health insurance, employee benefits and other administrative policies, procedures or requirements applicable to the Work or services rendered under this Contract shall be those of the Contractor, not the County.

O. **Georgia Open Records Act** Contractor shall comply with the applicable provisions of the Georgia Open Records Act, O.C.G.A. §50-18-70 *et seq.*

P. **First Source Jobs Ordinance and Preferred Employees** The Contractor is required to comply with the DeKalb County First Source Jobs Ordinance, Code of DeKalb County as Revised 1988, section 2-231 *et seq.*, and among other things, is required to make a good faith effort to hire DeKalb County residents for at least fifty percent 50% of all jobs created by an Eligible Project, as that term is defined in the First Source Ordinance, using the First Source Registry. Contractors, subcontractors, and independent contractors bidding on this contract will be encouraged by DeKalb County to have 25% or more of their labor forces for this project consist of Preferred Employees selected from the First Source Registry. The First Source Registry has Preferred Employees trained by U.S. Department of Labor registered apprenticeship programs and other partners. For information on Preferred Employees, please contact the DeKalb County Workforce Development by telephone at 404-687-3417 or 404-687-7171 or in person at 320 Church Street, Decatur, GA 30030.

Q. **Business License** Contractor shall submit a copy of its current, valid business license with this Contract. If the Contractor is a Georgia corporation, Contractor shall submit a valid county or city business license. If Contractor is a joint venture, Contractor shall submit valid business licenses for each member of the joint venture. If the Contractor is not a Georgia corporation, Contractor shall submit a certificate of authority to transact business in the state of Georgia and a copy of its current, valid business license issued by its home jurisdiction. If Contractor holds a professional license, then Contractor shall submit a copy of the valid professional license. Failure to provide the business license, certificate of authority, or professional license required by this section, may result in the Contract being terminated. Contractor shall ensure that any insurance, license, permit or certificate submitted in response to the County's RFP or as part of the Contract shall be current and valid when submitted, and shall remain valid, current and maintained in good standing for the Contract Term.

R. **Sole Agreement** This Contract constitutes the sole contract between the County and the Contractor. The terms, conditions, and requirements of this Contract may not be modified, except by Change Order. No verbal agreement or conversation with any officer, agent, or employee of the County, either before or after the execution of the Contract, shall affect or modify any of the terms or obligations herein contained. No representations, oral or written, shall be binding on the parties

unless expressly incorporated herein. No Change Order shall be enforceable unless approved by official action of the County as provided by law or in this Contract.

S. **Attachments and Appendices** This Contract includes the following Attachments and Appendices all of which are incorporated herein by reference: Attachment A, Contractor's Cost Proposal; Appendix I, County's RFP; Appendix II, Contractor's Response; Attachment B, Contractor's Affidavit; Attachment C, Subcontractor's Affidavit(s); Attachment D, Sub-subcontractor's Affidavit(s); and Attachment E, Certificate of Corporate Authority or Joint Venture Certificate.

T. **Severability** If any provision of this Contract or the application thereof to any person or circumstance shall to any extent be held invalid, then the remainder of this Contract or the application of such provision to persons or circumstances, other than those as to which it is held invalid, shall not be affected thereby, and each provision of this Contract shall be valid and enforced to the fullest extent permitted by law.

U. **Notices** Any notice or consent required to be given by or on behalf of any party hereto to any other party hereto shall be in writing and shall be sent to the County's Chief Executive Officer and the Executive Assistant or to the Contractor or his authorized representative on the work site by (a) registered or certified United States mail, return receipt requested, postage prepaid, (b) personal delivery, or (c) overnight courier service. All notices sent to the addresses listed below shall be binding unless said address is changed in writing no less than fourteen days before such notice is sent. Future changes in address shall be effective upon written notice being given by the Contractor to the County's Executive Assistant or by the County to the Contractor's authorized representative via certified first class U.S. mail, return receipt requested. Such notices will be addressed as follows:

**If to the County:**

Chief Executive Officer  
1300 Commerce Drive, 6<sup>th</sup> Floor  
Decatur, GA 30030

and

Executive Assistant  
1300 Commerce Drive  
Decatur, Georgia 30030

With a copy to:

Acting Chief Procurement Officer  
1300 Commerce Drive, 2<sup>nd</sup> Floor  
Decatur, Georgia 30030

With a copy to:

Director of the Finance Department  
1300 Commerce Drive  
Decatur, Georgia 30030

**If to the Contractor:**

\_\_\_\_\_,  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

---

V. **Counterparts** This Contract may be executed in several counterparts, each of which shall be deemed an original, and all such counterparts together shall constitute one and the same Contract.

W. **Controlling Provisions** The Contract for this Project shall govern the Work. If any portion of the Contract shall be in conflict with any other portion, the various documents comprising the Contract shall govern in the following order of precedence: Contract, Change Orders or modifications issued after execution of the Contract; the provisions of the County's RFP; and the Contractor's Response thereto.

[SIGNATURES CONTINUE ON NEXT PAGE]

DRAFT



IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed in three counterparts, each to be considered as an original by their authorized representative.

**DEKALB COUNTY, GEORGIA**

\_\_\_\_\_

By: \_\_\_\_\_ (SEAL)  
Signature

\_\_\_\_\_ **by Dir.**(SEAL)  
MICHAEL L. THURMOND

Chief Executive Officer  
DeKalb County, Georgia

\_\_\_\_\_  
Name (Typed or Printed)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title

\_\_\_\_\_  
Federal Tax I.D. Number

\_\_\_\_\_  
Date

**ATTEST:**

**ATTEST:**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
BARBARA H. SANDERS, CCC, CMC  
Clerk of the Chief Executive Officer  
and Board of Commissioners of  
DeKalb County, Georgia

\_\_\_\_\_  
Name (Typed or Printed)

\_\_\_\_\_  
Title

**APPROVED AS TO SUBSTANCE:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Department Director

\_\_\_\_\_  
County Attorney Signature

\_\_\_\_\_  
County Attorney Name (Typed or Printed)

**ATTACHMENT A**  
**Contractor's Cost Proposal**

DRAFT

**DRAFT**

**APPENDIX I**

“Excerpts from the Contractor’s  
Response to the County’s Request  
for Proposals (RFP) No. XX-XXXXXX”

**DRAFT**

**APPENDIX II**

## ATTACHMENT B

### Contractor Affidavit under O.C.G.A. §13-10-91

By executing this affidavit, the undersigned Contractor verifies its compliance with O.C.G.A. §13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services on behalf of DEKALB COUNTY has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. §13-10-91. Furthermore, the undersigned Contractor will continue to use the federal work authorization program throughout the Contract Term and the undersigned Contractor will contract for the physical performance of services in satisfaction of such contract only with Subcontractors who present an affidavit to the Contractor with the information required by O.C.G.A. §13-10-91. Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

\_\_\_\_\_  
Federal Work Authorization User Identification Number

\_\_\_\_\_  
Date of Authorization

\_\_\_\_\_  
Name of Contractor

\_\_\_\_\_  
Name of Project  
DeKalb County Georgia Government

\_\_\_\_\_  
Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on \_\_\_\_\_, 20\_\_ in \_\_\_\_\_ (city), \_\_\_\_\_ (state).

By: \_\_\_\_\_  
Signature of Authorized Officer or Agent

\_\_\_\_\_  
Printed Name and Title of Authorized Officer or Agent

Subscribed and Sworn before me on this the  
\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
NOTARY PUBLIC  
My Commission Expires:

\_\_\_\_\_

## ATTACHMENT C

### Subcontractor Affidavit under O.C.G.A. § 13-10-91

By executing this affidavit, the undersigned Subcontractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services under a contract with \_\_\_\_\_ (insert name of Contractor) on behalf of DEKALB COUNTY, GEORGIA has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned Subcontractor will continue to use the federal work authorization program throughout the contract period and the undersigned subcontractor will contract for the physical performance of services in satisfaction of such contract only with sub-subcontractors who present an affidavit to the Subcontractor with the information required by O.C.G.A. § 13-10-91. Additionally, the undersigned Subcontractor will forward notice of the receipt of an affidavit from a sub-subcontractor to the Contractor within five business days of receipt. If the undersigned Subcontractor receives notice that a sub-subcontractor has received an affidavit from any other contracted sub-subcontractor, the undersigned Subcontractor must forward, within five business days of receipt, a copy of the notice to the Contractor. Subcontractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

\_\_\_\_\_  
Federal Work Authorization User Identification Number

\_\_\_\_\_  
Date of Authorization

\_\_\_\_\_  
Name of Subcontractor

\_\_\_\_\_  
Name of Project

DeKalb County Georgia Government

\_\_\_\_\_  
Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on \_\_\_\_\_, 20\_\_ in \_\_\_\_\_ (city), \_\_\_\_\_ (state).

By: \_\_\_\_\_  
Signature of Authorized Officer or Agent

\_\_\_\_\_  
Printed Name and Title of Authorized Officer or Agent

Subscribed and Sworn before me on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
NOTARY PUBLIC  
My Commission Expires:

## ATTACHMENT D

### Sub-subcontractor Affidavit under O.C.G.A. § 13-10-91

By executing this affidavit, the undersigned sub-subcontractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services under a contract for \_\_\_\_\_ (name of subcontractor or sub-subcontractor with whom such sub-subcontractor has privity of contract) and \_\_\_\_\_ (name of Contractor) on behalf of DEKALB COUNTY, GEORGIA has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned sub-subcontractor will continue to use the federal work authorization program throughout the contract period and the undersigned sub-subcontractor will contract for the physical performance of services in satisfaction of such contract only with sub-subcontractors who present an affidavit to the sub-subcontractor with the information required by O.C.G.A. § 13-10-91(b). The undersigned sub-subcontractor shall submit, at the time of such contract, this affidavit to \_\_\_\_\_ (name of Subcontractor or sub-subcontractor with whom such sub-subcontractor has privity of contract). Additionally, the undersigned sub-subcontractor will forward notice of the receipt of any affidavit from a sub-subcontractor to \_\_\_\_\_ (name of Subcontractor or sub-subcontractor with whom such sub-subcontractor has privity of contract). Sub-subcontractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

\_\_\_\_\_  
Federal Work Authorization User Identification Number

\_\_\_\_\_  
Date of Authorization

\_\_\_\_\_  
Name of Sub-subcontractor

\_\_\_\_\_  
Name of Project

DeKalb County Georgia Government

\_\_\_\_\_  
Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on \_\_\_\_\_, 20\_\_ in \_\_\_\_\_ (city), \_\_\_\_\_ (state).

By: \_\_\_\_\_

Signature of Authorized Officer or Agent

\_\_\_\_\_  
Printed Name and Title of Authorized Officer or Agent

Subscribed and Sworn before me on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_

**ATTACHMENT E  
CERTIFICATE OF CORPORATE RESOLUTION**

I, \_\_\_\_\_, certify the following:

That I am the duly elected and authorized Secretary of \_\_\_\_\_ (hereinafter referred to as the “\_\_\_\_\_”), an \_\_\_\_\_ organized and incorporated to do business under the laws of the State of \_\_\_\_\_;

That said corporation has, through lawful resolution of the Board of Directors of the corporation, duly authorized and directed \_\_\_\_\_, in his official capacity as \_\_\_\_\_ of the corporation, to enter into and execute the following described agreement with DeKalb County, a political subdivision of the State of Georgia:

\_\_\_\_\_;

That the foregoing Resolution of the Board of Directors has not been rescinded, modified, amended, or otherwise changed in any way since the adoption thereof, and is in full force and effect on the date hereof.

IN WITNESS WHEREOF, I have set my hand and corporate seal;

This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

(CORPORATE  
SEAL)

\_\_\_\_\_  
(Secretary)

DRAFT



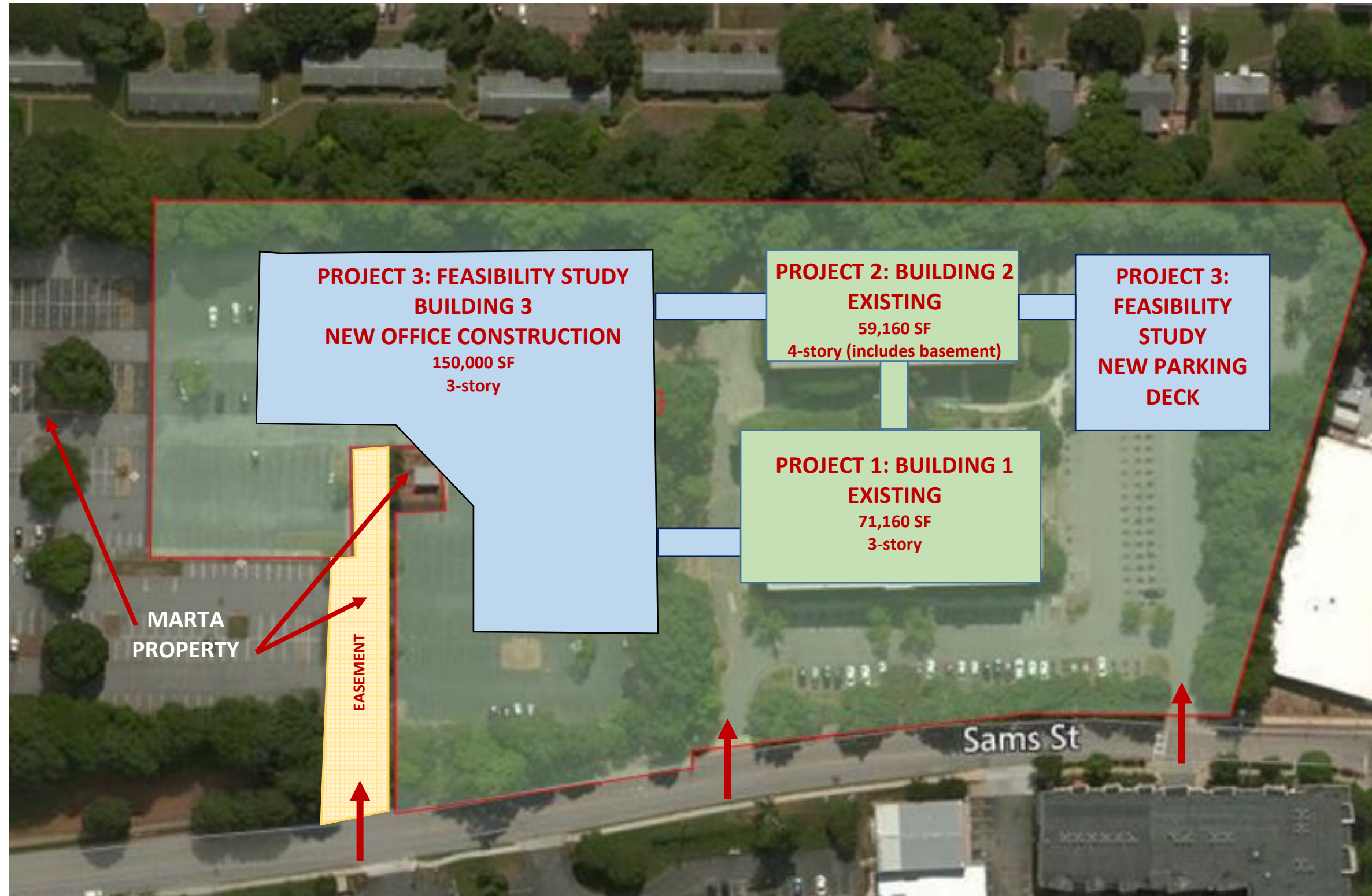
## **ATTACHMENT I**

### **PROJECT SITE PLAN**

This conceptual master site plan is shown for illustration only to reference the two existing buildings and possible location of future structures for the feasibility study.

# CONCEPTUAL MASTER SITE PLAN

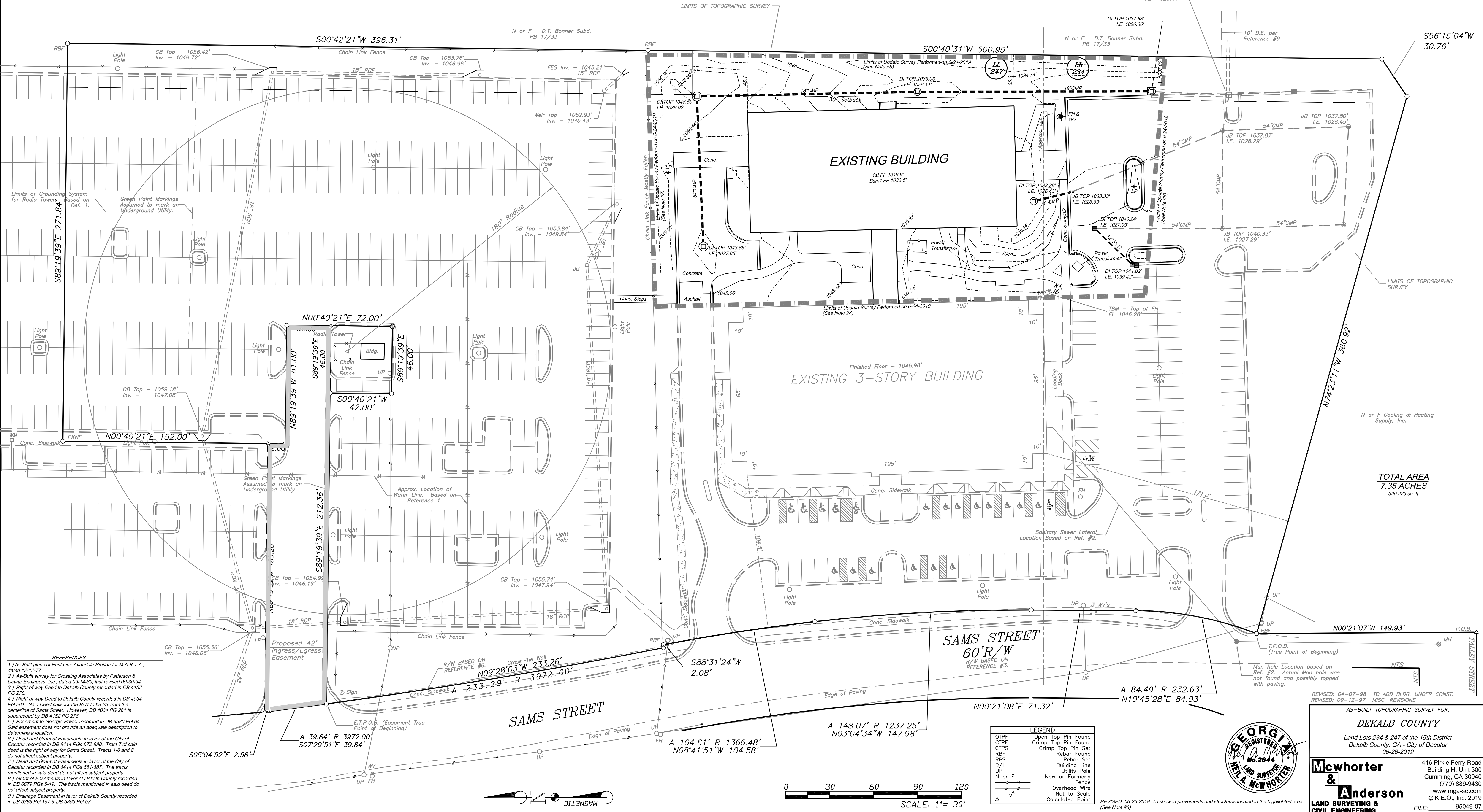
## 178 SAMS STREET SITE



**ATTACHMENT J**

**SAMS STREET SURVEY**

- Surveyor's Notes:**
- Field Data: Closure Precision - 1/64,036". Angular Error = 01"±TA.
  - Measurements were taken with a Topcon GTS-3 on 11-10-1995 & 06-20-1997, and a Leica TS06 on 06-24-2019 and were balanced using the Compass Rule.
  - Bearings are based on Reference #1.
  - The public records referenced herein reflect only those records necessary to establish the boundaries herein, and reference to the same does not and is not intended to constitute a title search or title opinion.
  - Information regarding the reputed presence, size, character, and/or location of existing underground utilities and structures is shown on the referenced survey. There is no certainty of the accuracy of this information and shall be considered in that light by those using this drawing.
  - Plot Precision: 1/13,057".
  - No portion of this property is located in a Special Flood Area as indicated on F.I.R.M. No. 13089C0068J and 13089C0069J dated 03-19-2013.
  - The purpose of this update survey performed on 06-24-2019 was to show improvements and topographic contours within the area highlighted and titled "Limits of Update Survey Performed on 06-24-2019". The location of any improvements, structures or contours outside of the aforementioned limits are outside of the scope of the proposed survey and were not verified. The location of any improvement, structures, or contours outside of the aforementioned limits should be verified prior to any planning or construction activities.



- REFERENCES:**
- As-Built plans of East Line Avondale Station for M.A.R.T.A., dated 12-12-77.
  - As-Built survey for Crossing Associates by Patterson & Dewar Engineers, Inc., dated 09-14-89, last revised 09-30-94.
  - Right of way Deed to Dekalb County recorded in DB 4152 PG 278.
  - Right of way Deed to Dekalb County recorded in DB 4034 PG 281. Said Deed calls for the R/W to be 25' from the centerline of Sams Street. However, DB 4034 PG 281 is superseded by DB 4152 PG 278.
  - Easement to Georgia Power recorded in DB 8580 PG 64. Said easement does not provide an adequate description to determine a location.
  - Deed and Grant of Easements in favor of the City of Decatur recorded in DB 6414 PGs 672-680. Tract 7 of said deed is the right of way for Sams Street. Tracts 1-6 and 8 do not affect subject property.
  - Deed and Grant of Easements in favor of the City of Decatur recorded in DB 6414 PGs 681-687. The tracts mentioned in said deed do not affect subject property.
  - Grant of Easements in favor of Dekalb County recorded in DB 8679 PGs 5-18. The tracts mentioned in said deed do not affect subject property.
  - Drainage Easement in favor of Dekalb County recorded in DB 6383 PG 157 & DB 6393 PG 57.

**TOTAL AREA**  
7.35 ACRES  
320,223 sq. ft.

**LEGEND**

OTPF	Open Top Pin Found
CTPF	Crimp Top Pin Found
CTPS	Crimp Top Pin Set
RBF	Rebar Found
RBS	Rebar Set
B/L	Building Line
UP	Utility Pole
N or F	Now or Formerly
—	Fence
—	Overhead Wire
—	Not to Scale
Δ	Calculated Point

REVISED: 06-26-2019: To show improvements and structures located in the highlighted area (See Note #8)

REVISED: 04-07-98 TO ADD BLDG. UNDER CONST.  
REVISED: 09-12-97 MISC. REVISIONS

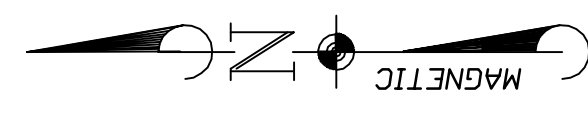
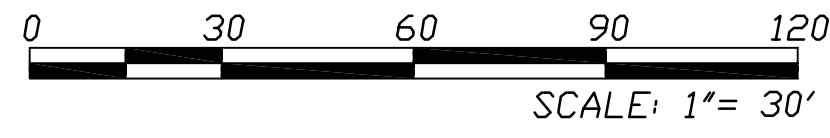
AS-BUILT TOPOGRAPHIC SURVEY FOR:

**DEKALB COUNTY**

Land Lots 234 & 247 of the 15th District  
DeKalb County, GA - City of Decatur  
06-26-2019

**McWhorter & Anderson**  
LAND SURVEYING & CIVIL ENGINEERING

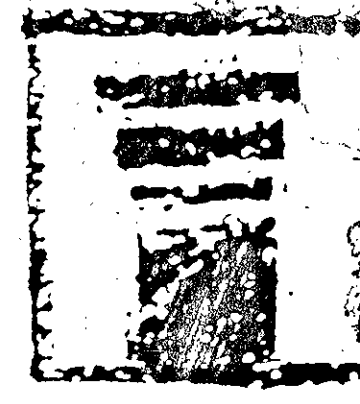
416 Pirkle Ferry Road  
Building H, Unit 300  
Cumming, GA 30040  
(770) 889-9430  
www.mga-se.com  
© K.E.O., Inc. 2019  
FILE: 95049-07



## **ATTACHMENT K**

### **178 SAMS STREET - BUILDING 1 - SHELL**

**NOTE:** The attached documents represent copies of prints from the DeKalb County Facility Department's archives and are provided for reference only to illustrate the general extent of the building configuration. These documents are provided solely for the consultant's reference in documenting existing conditions. DeKalb County has not verified the accuracy of the drawings.



MSTSD

This drawing is the property of the architect and may not be reproduced or used without his written permission.

issue date/revisions  
3-20-89 FOR SCOPE BIDS  
5-8-89 FOR BLDG PERMITS

NOTES:

- 1. BUILDING CODES: 1985 GA. STATE BLDG. CODE W/ CITY OF DECATUR AMENDMENTS, 4-17-84
- 2. FIRE CODE: 1985 NFPA 101 W/ STATE OF GA. AMENDMENTS
- 3. OCCUPANCY: BUSINESS
- 4. TYPE CONSTRUCT: TYPE V, UNPROTECTED, FULLY SPRINKLERED (5 STORIES, 28,000 SF/FLR. ALLOWED)
- 5. FLOOR AREAS: (GROSS INSIDE)
 

FIRST	23,720 SF
SECOND	23,720
THIRD	23,720
	71,160 S.F.

# Sams Street Office Building

## Decatur, Georgia

For

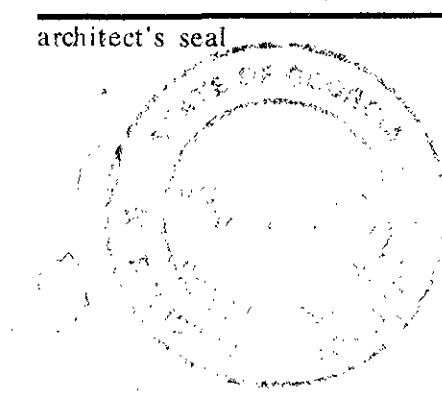
## Crossing Associates

APPROVED FOR BUILDING PERMIT  
*Chris Lopez*  
 Building Official  
 Date: 8/9/89  
 Construction is authorized in accordance with applicable requirements of the Code of the City of Decatur, Georgia. All provisions of laws and ordinances governing work to be performed shall be complied with whether specified or not. No work to start until building permit is issued.

APPROVED PLANS  
 KEEP ON JOB SITE  
 City of Decatur  
 Development Department

Moseley  
 Sweat  
 Thompson  
 Standard &  
 Dines,  
 Architects, Inc.

1401 Peachtree Street N.E.  
 Suite 460  
 Atlanta, Georgia 30309  
 404 876-6040



project name  
 An Office Building  
 for  
 Crossing Associates  
 Sams Street  
 Decatur, Georgia

Developed by:  
 The Carithers Company,  
 Ltd.  
 sheet title

Title Sheet

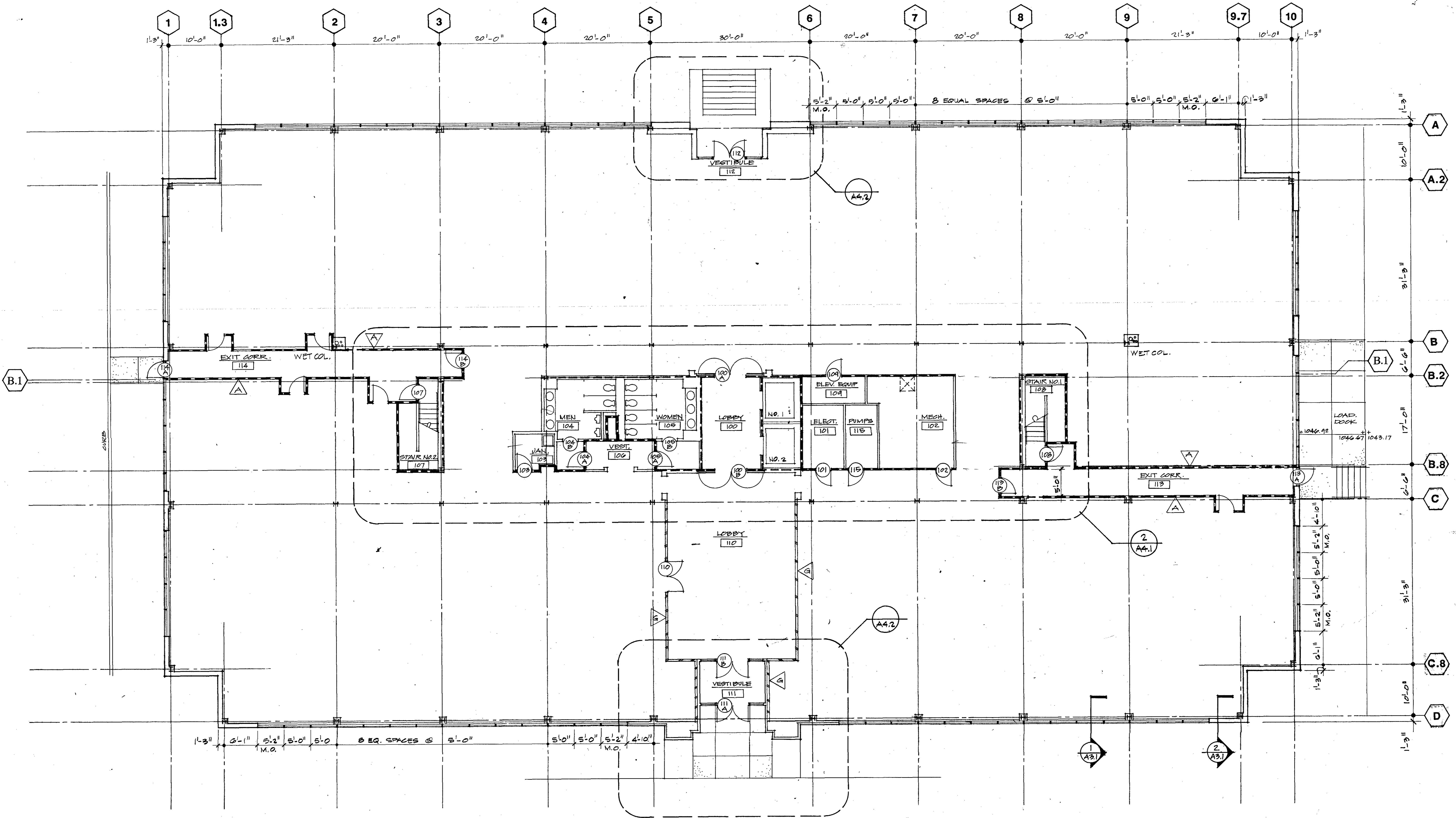
drawn \_\_\_\_\_  
 checked \_\_\_\_\_  
 project no. 89007  
 date \_\_\_\_\_  
 sheet no. \_\_\_\_\_



MSTSD

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Issue date/revisions  
9-20-01 FOR SCOTE BILL  
5-8-01 FOR BLDG PERMIT

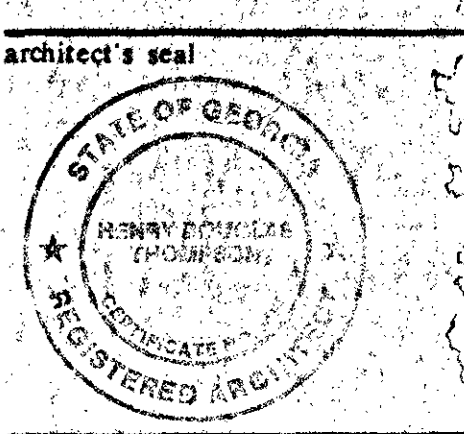


FIRST FLOOR PLAN  
1/8" = 1'-0"

RATED WALL LEGEND	
1 HOUR	=====
2 HOUR	=====

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

1401 Peachtree Street N.E.  
Suite 460  
Atlanta, Georgia 30309  
404 876-6040



project name  
An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by:  
The Carithers Company,  
Ltd.

sheet title  
First Floor Plan

drawn  
checked  
project no.  
89007  
date  
A1.1  
sheet no.

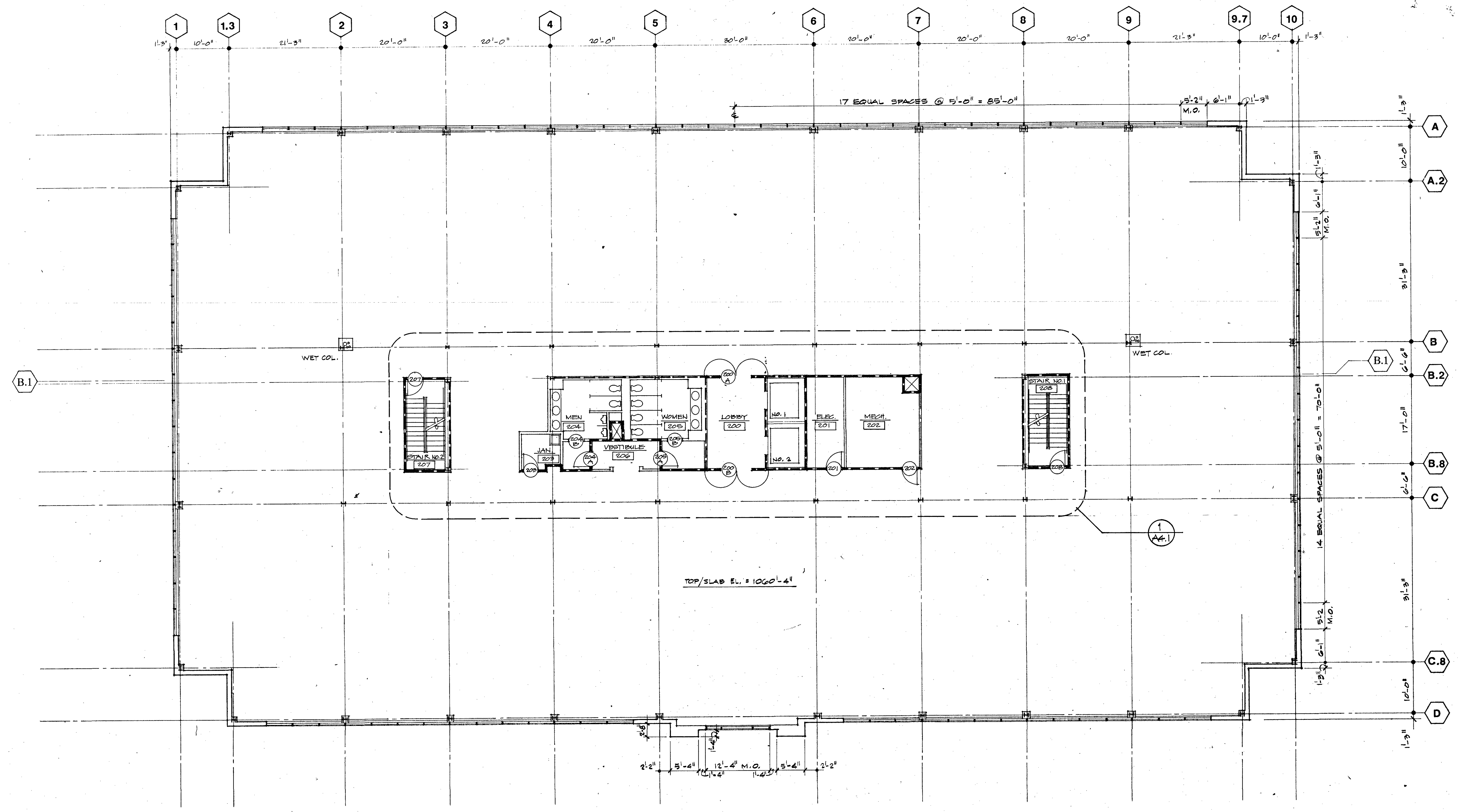
A1	B1	B1
A1	B1	B1



MSTSD

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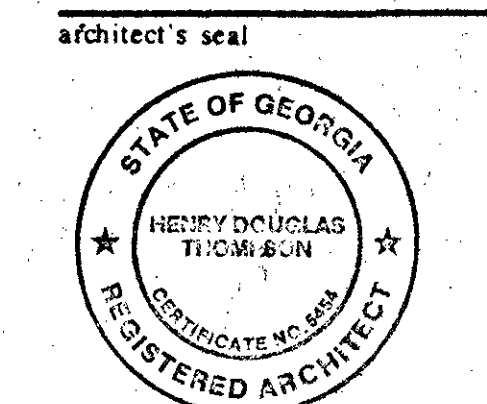
Issue date/revisions  
5-20-89 FOR SCHEMATIC  
5-2-91 FOR BLDG. PERMIT



○ SECOND FLOOR PLAN  
1/8" = 1'-0"

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

1401 Peachtree Street N.E.  
Suite 460  
Atlanta, Georgia 30309  
404 876-6040



project name  
An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

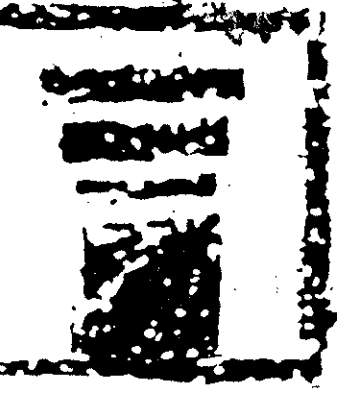
Developed by:  
The Carithers Company,  
Ltd.  
sheet title

Second Floor Plan

drawn \_\_\_\_\_  
checked \_\_\_\_\_  
project no. 89007  
date \_\_\_\_\_  
A1.2  
sheet no.

A1	B1	
A2	B2	
A3	B3	



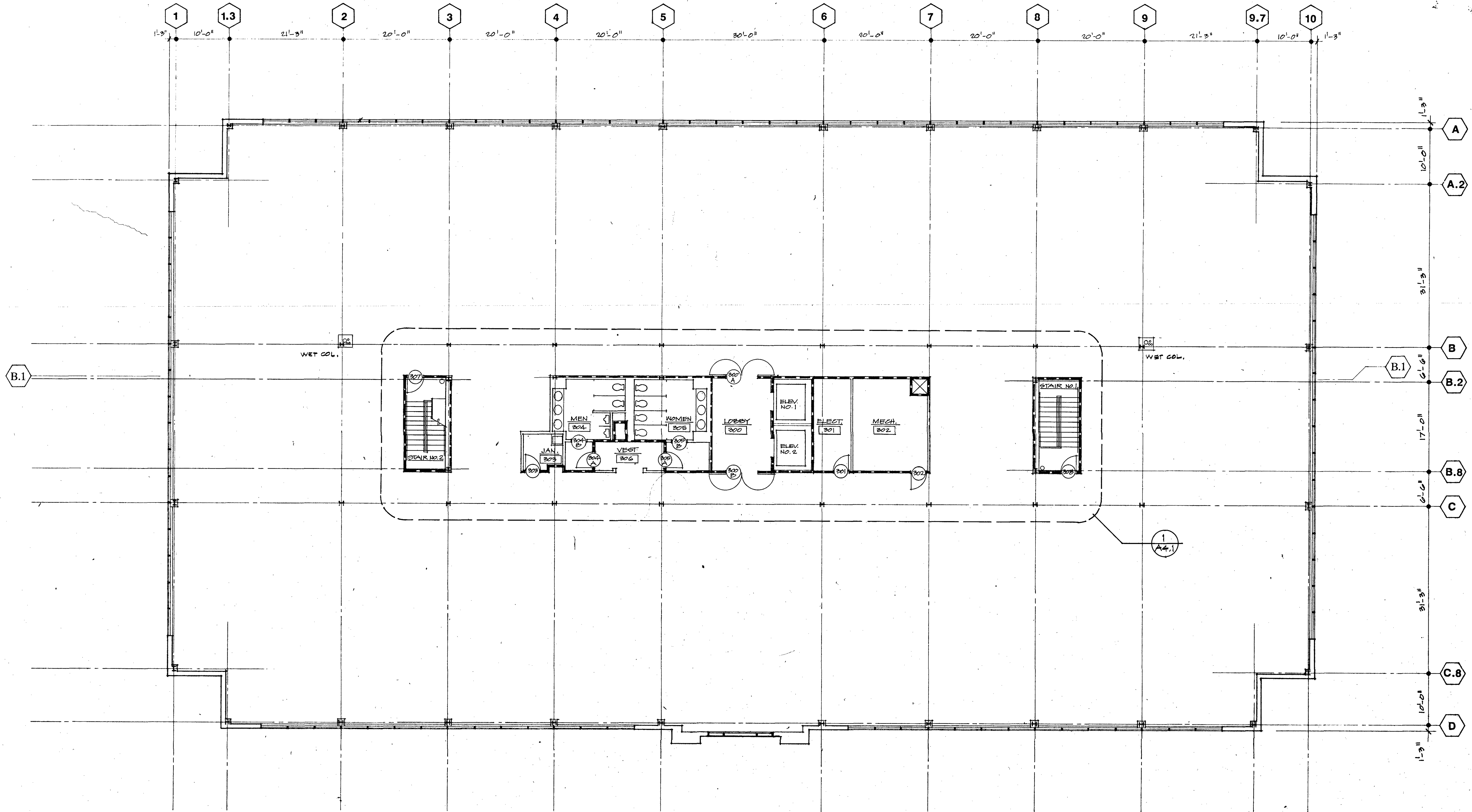


MSTSD

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issue date/revisions

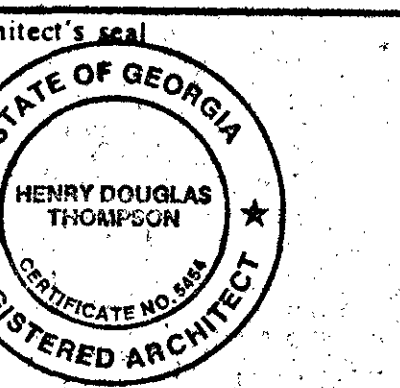
3-20-81 FOR SCOPING EIPS  
5-8-81 FOR BLDG. PERMIT



THIRD FLOOR PLAN  
1/8" = 1'-0"

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

1401 Peachtree Street N.E.  
Suite 400  
Atlanta, Georgia 30309  
404 876-6040



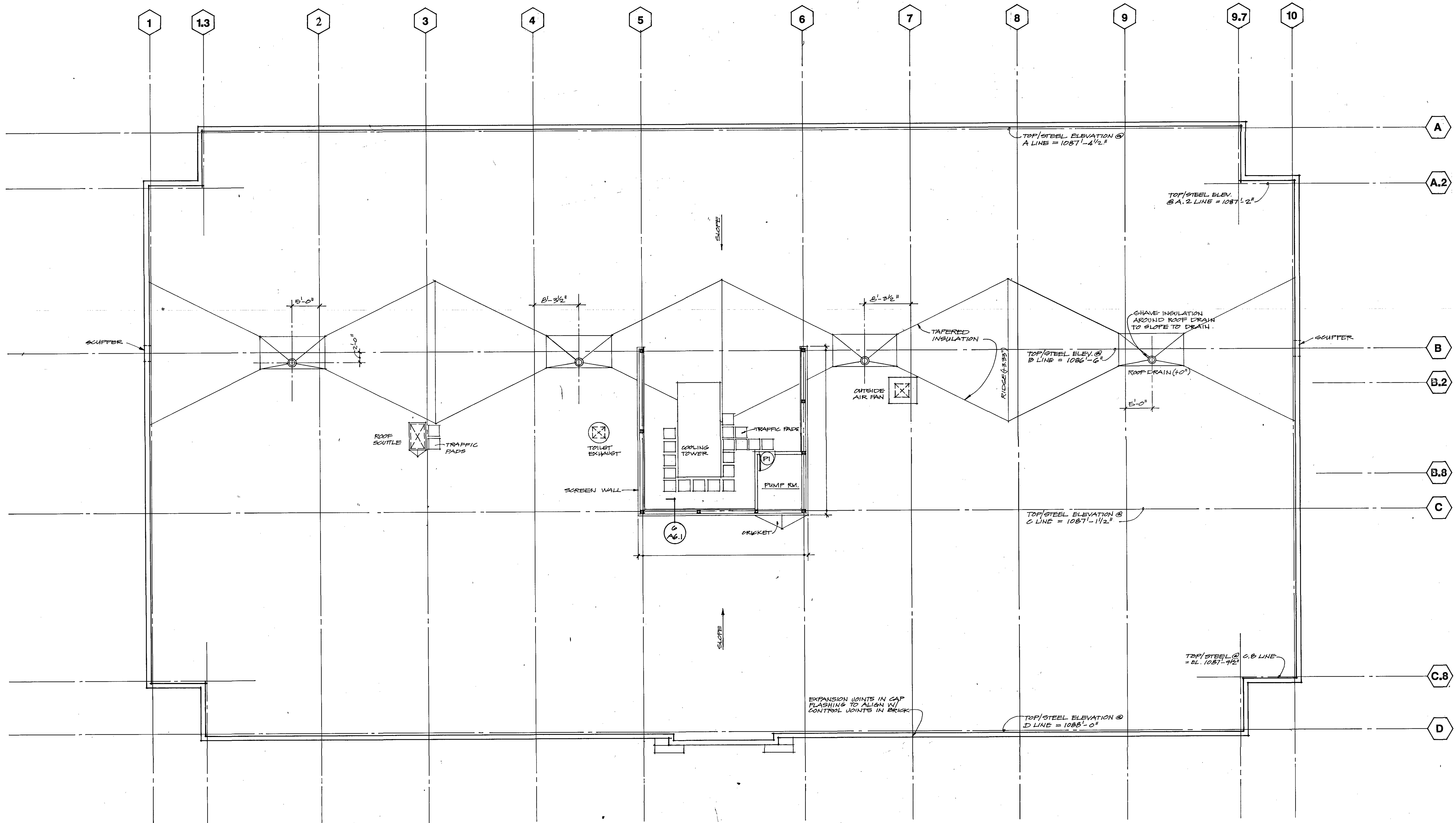
project name  
An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by  
The Carthers Company,  
Ltd.

Third Floor Plan

drawn  
checked  
project no.  
89007  
date  
A13  
sheet no.  
Page 25 of 25

A5	B5	
A3	B3	



Roof Plan



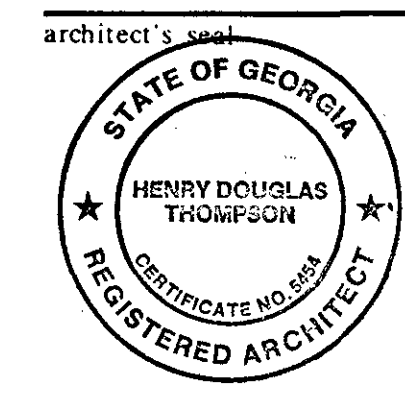
MSTSD

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issue date/revisions  
 3-20-81 FOR SCOPE BIDS  
 5-8-81 FOR BLDG PERMIT

Moseley  
 Sweat  
 Thompson  
 Standard &  
 Dines,  
 Architects, Inc.

1401 Peachtree Street N.E.  
 Suite 460  
 Atlanta, Georgia 30309  
 404 876-6040



project name  
 An Office Building  
 for  
 Crossing Associates  
 Sams Street  
 Decatur, Georgia

Developed by:  
 The Carithers Company,  
 Ltd.

sheet title  
 Roof Plan

drawn  
 checked  
 project no.  
 89007  
 date  
 A1.4  
 sheet no.

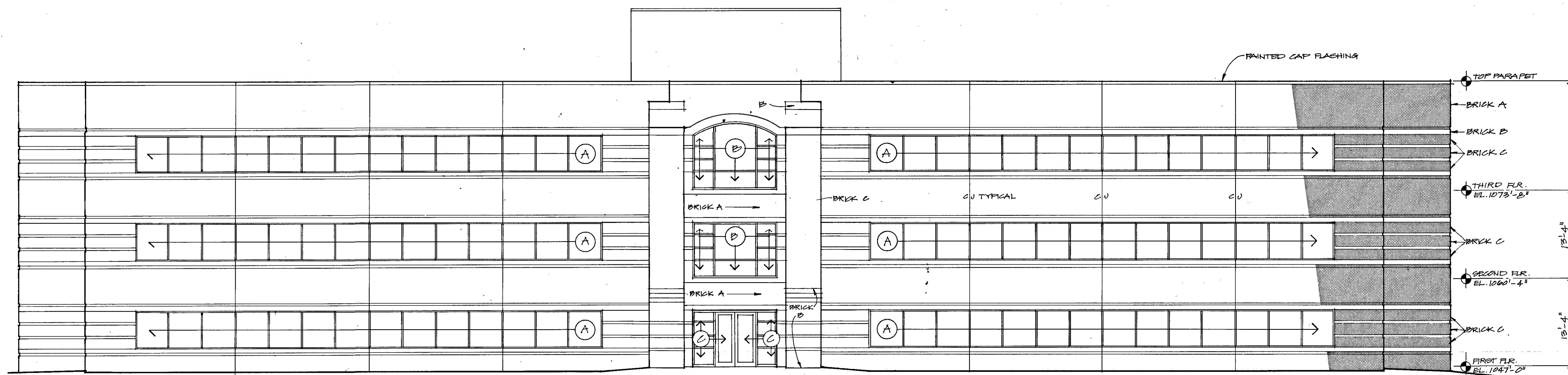


MSTSD

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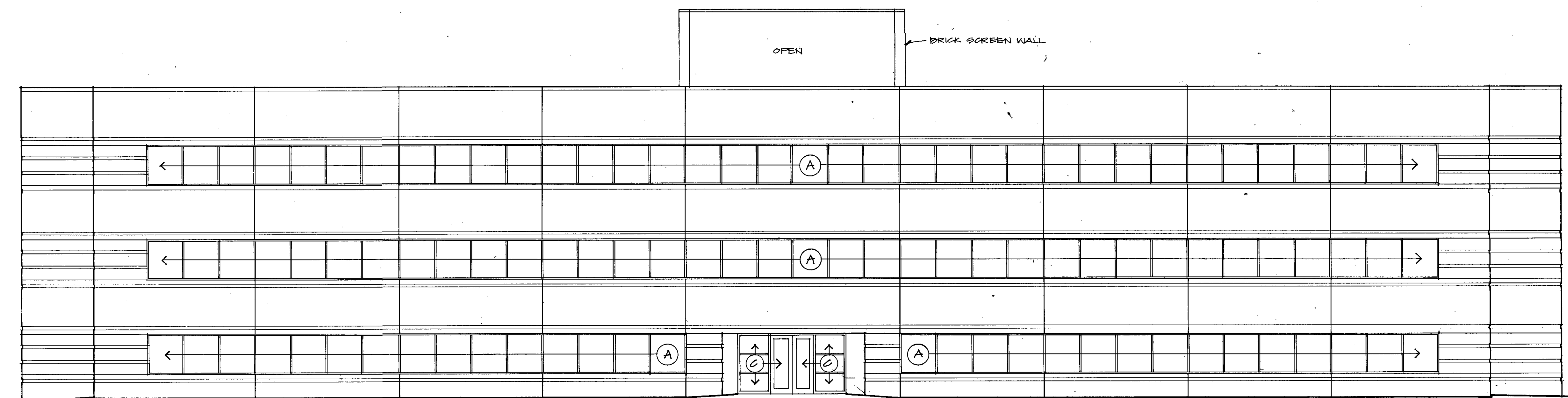
Issue date/revisions

8-20-87 FOR SCOPE BID  
5-4-81 FOR BIDS PERMIT



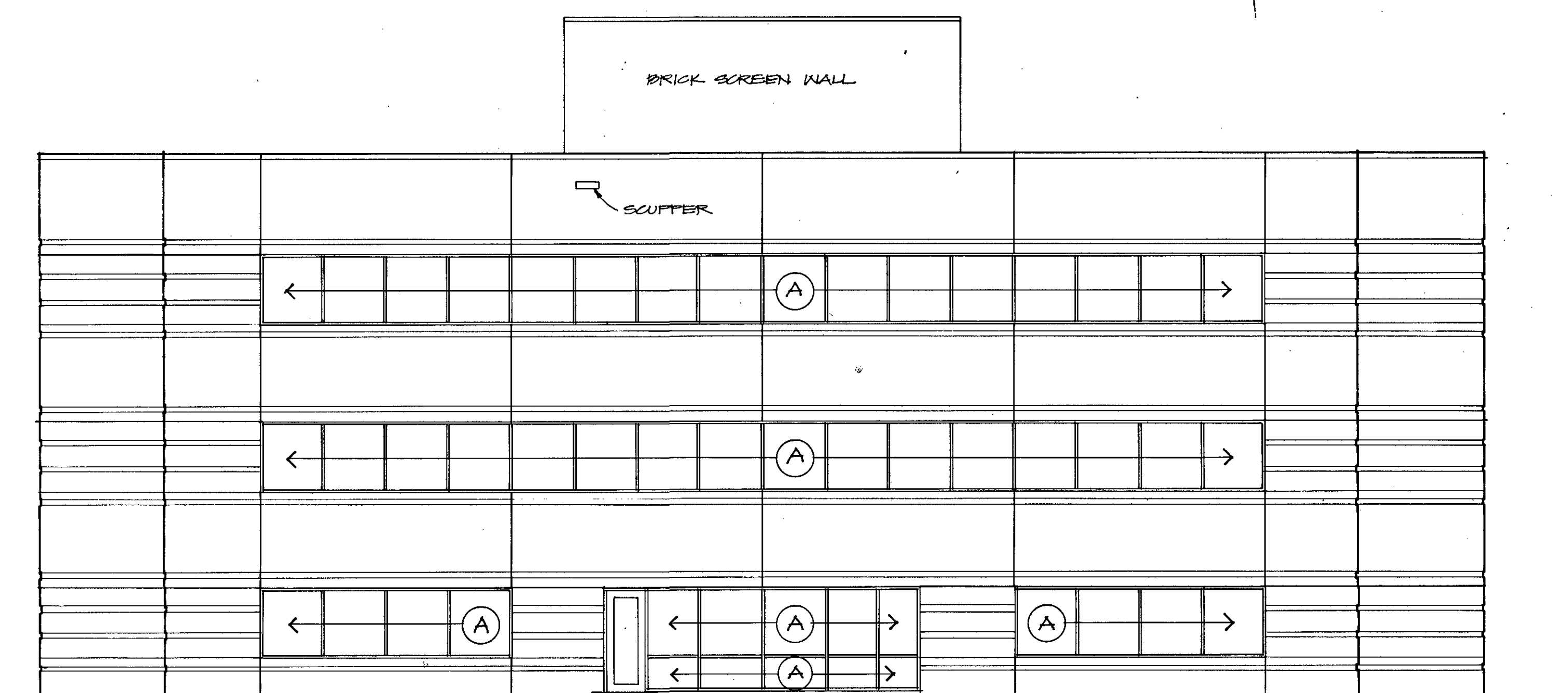
West Elevation

1/8" = 1'-0"



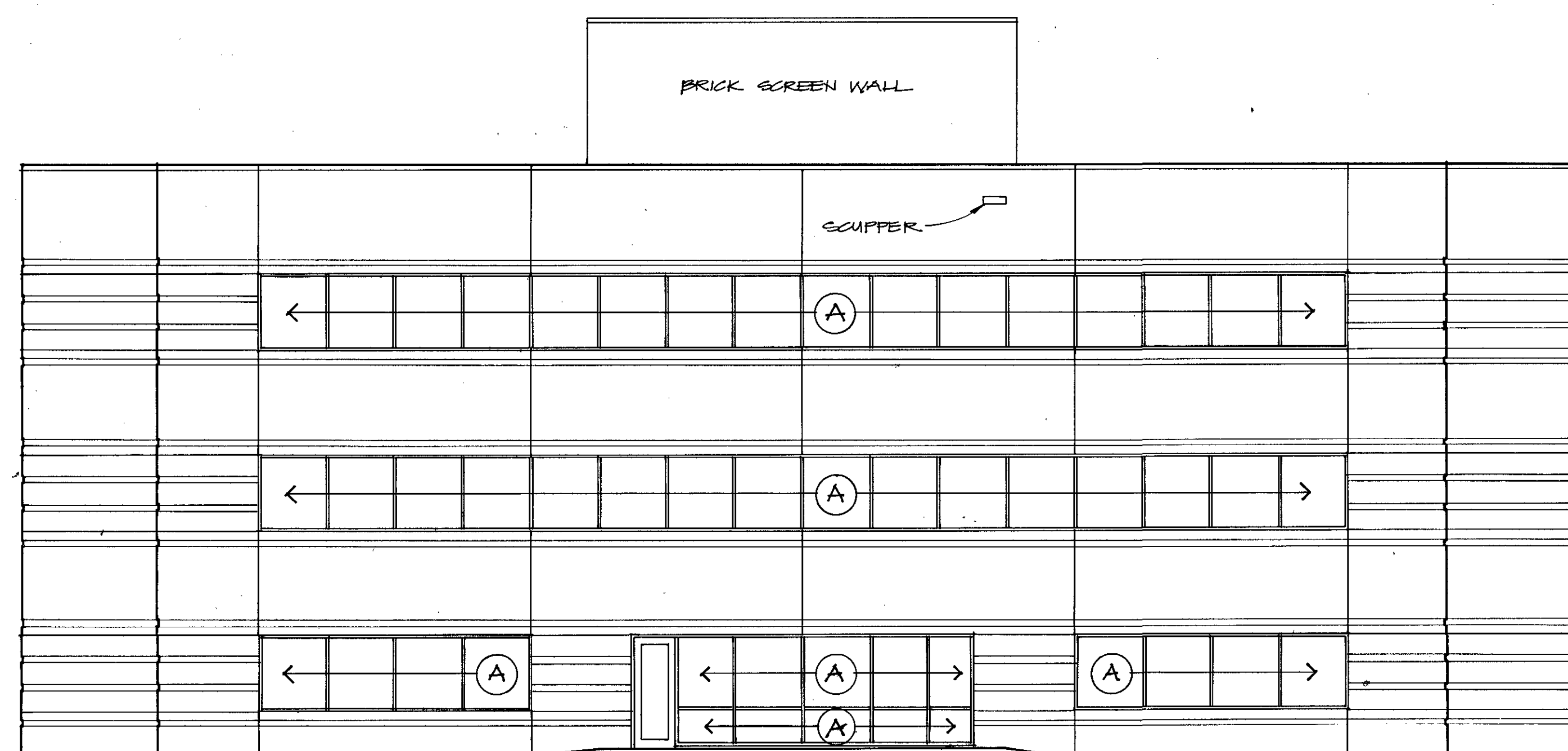
East Elevation

1/8" = 1'-0"



North Elevation

1/8" = 1'-0"



South Elevation

1/8" = 1'-0"

- GLASS TYPES**
- (A) REFLECTIVE INSULATED (GUARD TG-20)
  - (P) TINTED INSULATED
  - (C) TEMPERED TINTED INSULATED

- BRICK TYPES**
- A RED - ALLOW \$250/1000
  - B MERRY BROS. 10-993 WIRECUT LT. GRAY
  - C BROWN-RED - ALLOW \$250/1000

**MORTAR**

MORTAR TO MATCH U.S. CEMENT  
NORY BUFF, 12-5

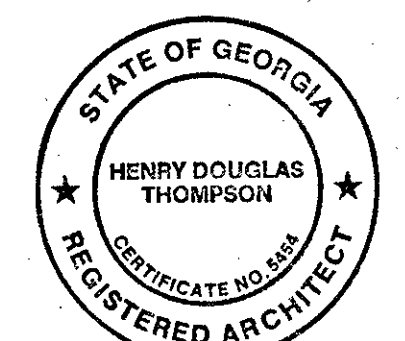
ALL SEALANT IN MASONRY CONTROL JTB.  
TO MATCH MORTAR COLOR.

ALL WINDOW AND DOOR FRAMES TO  
BE BLACK DURANAR, BY PFG IND., INC.

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

1401 Peachtree Street N.E.  
Suite #60  
Atlanta, Georgia 30309  
404 876-6040

architect's seal



project name

An Office Building

for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by:  
The Carthers Company,  
Ltd.

sheet title

Building Elevations

drawn

checked

project no.

89007

date

A2.1

sheet no.

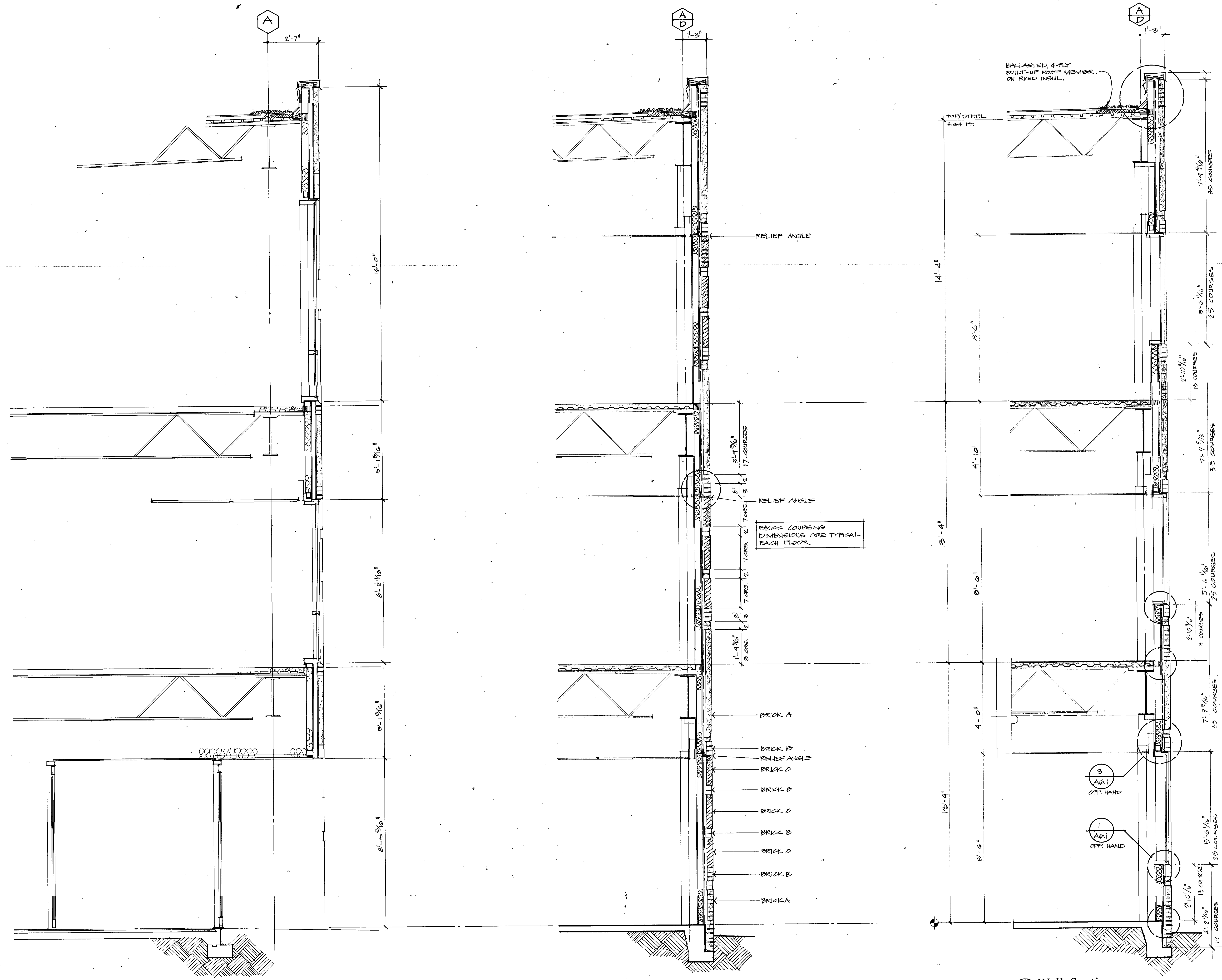


MSTSD

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issue date/revisions

3-20-81 FOR SCOPE BIDS  
5-8-81 FOR BLDG PERMIT

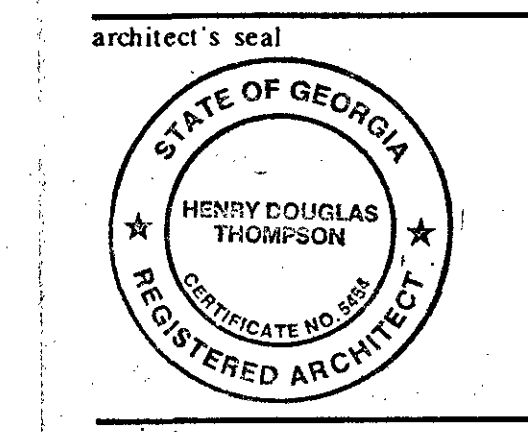


2 Wall Section  
1/2" = 1'-0"

1 Wall Section  
1/2" = 1'-0"

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

1401 Peachtree Street N.E.  
Suite 460  
Atlanta, Georgia 30309  
404 876-6040

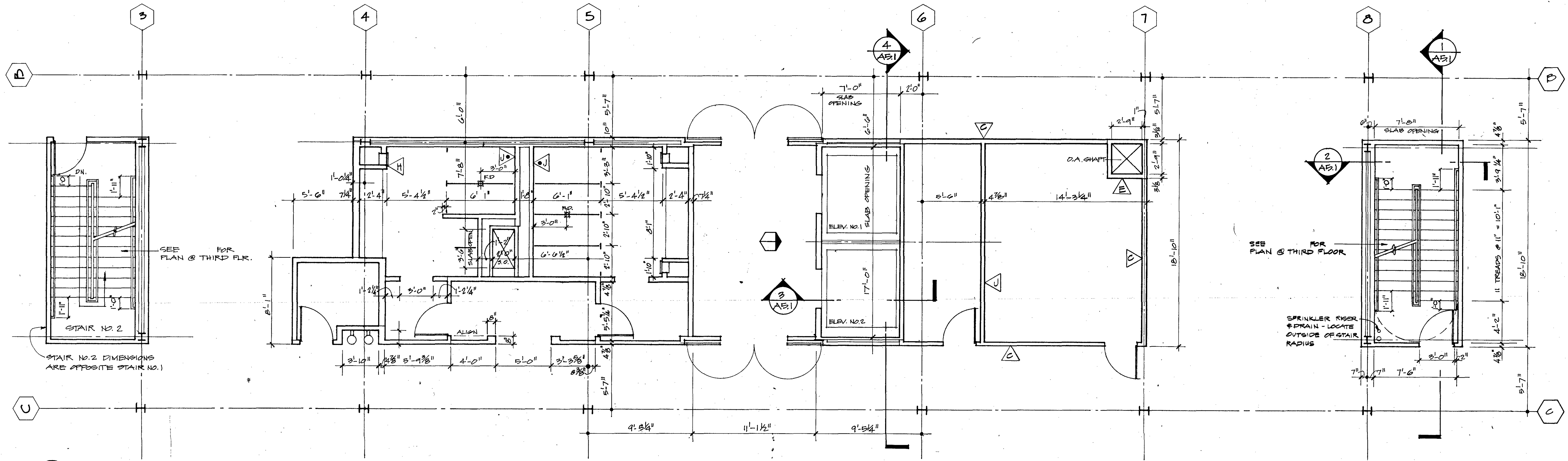


project name  
An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

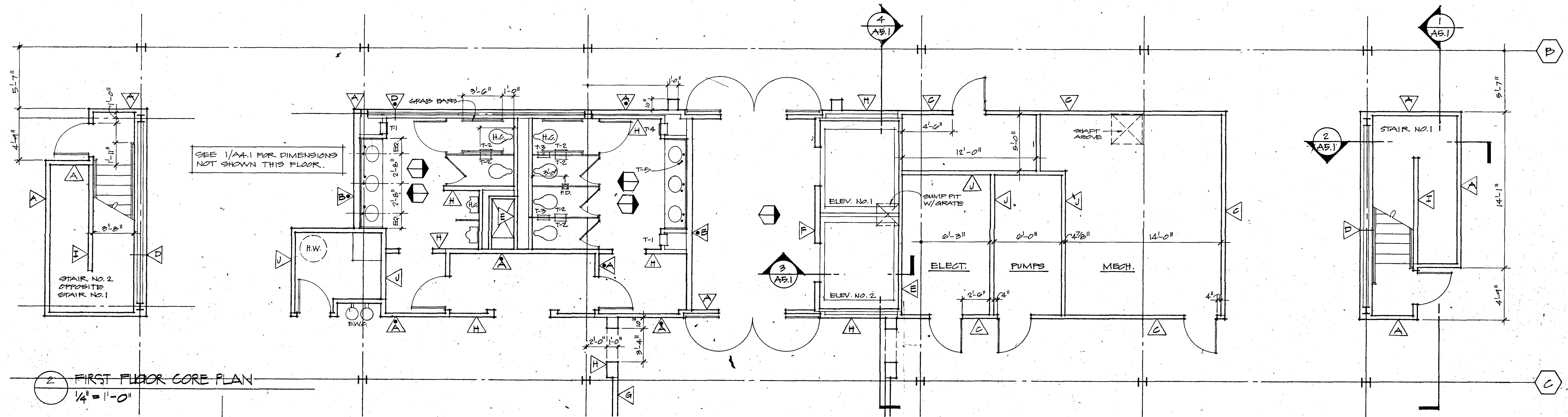
Developed by:  
The Carithers Company,  
Ltd.

sheet title  
Wall Sections

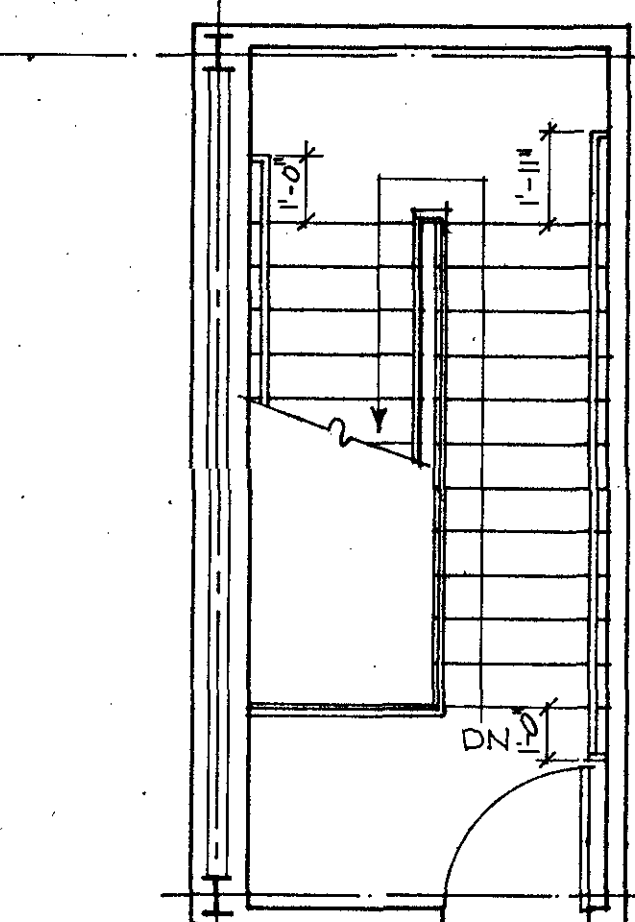
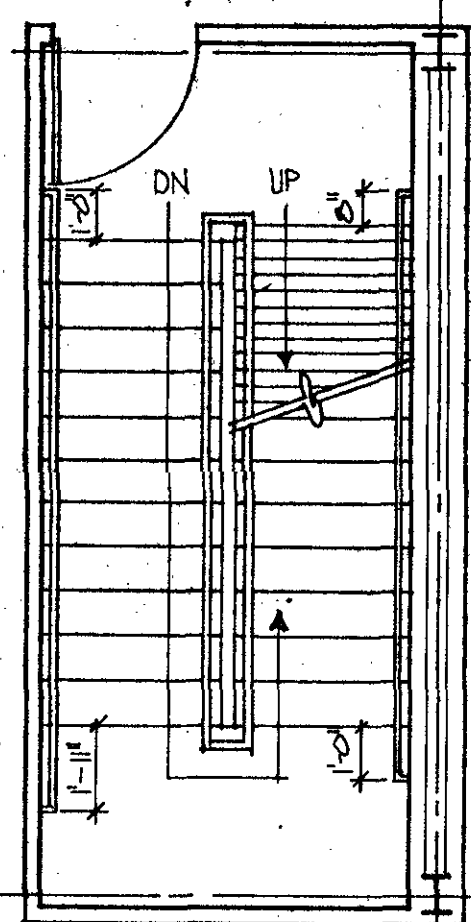
drawn  
checked  
project no.  
89007  
date  
A3.1  
sheet no.



1 SECOND FLOOR CORE PLAN - THIRD FLR. SIMILAR EXCEPT AS NOTED  
 1/4" = 1'-0"



2 FIRST FLOOR CORE PLAN  
 1/4" = 1'-0"



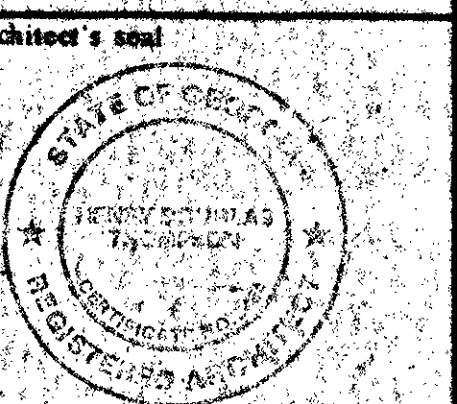
3 PLAN @ STAR #2 2ND FL.  
 1/4" = 1'-0"

4 PLAN @ STAR #1 2ND FL.  
 1/4" = 1'-0"

PARTITION SCHEDULE											
TYPE	DESCRIPTION	WIDTH	FIRE RATING	HEIGHT	TEST NO.	TYPE	DESCRIPTION	WIDTH	FIRE RATING	HEIGHT	TEST NO.
A	3 5/8" METAL STUDS @ 24" O.C. WITH SINGLE LAYER 5/8" FIRE RATED GYPSUM WALL BOARD EACH SIDE - PERIMETER CAULKED	4 7/8"	1 HOUR	TO STRUCTURE	U.L. U465	B	3 5/8" METAL STUDS @ 24" O.C. WITH DOUBLE LAYER 5/8" FIRE RATED GYPSUM WALL BOARD EACH SIDE - PERIMETER CAULKED	6 1/8"	2 HOUR	TO STRUCTURE	U.L. U411
B	6" METAL STUDS @ 24" O.C. WITH SINGLE LAYER 5/8" FIRE RATED GYPSUM WALL BOARD EACH SIDE - PERIMETER CAULKED	7 1/4"	1 HOUR	TO STRUCTURE	U.L. U466	H	3 5/8" METAL STUDS @ 24" O.C. WITH SINGLE LAYER 5/8" NON RATED GYPSUM WALL BOARD EACH FINISH SIDE	4 7/8" OR 4 1/4"	NONE	STUDS TO STRUCTURE, 1/4" G.W.B. 3" ABOVE CEILING	-
C	3 5/8" METAL STUDS @ 24" O.C. WITH DOUBLE LAYER 5/8" FIRE RATED GYPSUM WALL BOARD WITH 3" FIRE RATED SOUND ATTENUATION BLANKETS - PERIMETER CAULKED	6 1/8"	1 HOUR	TO STRUCTURE	U.L. U411	I	SAME AS "H" EXCEPT FOR HEIGHT	4 7/8"	NONE	TO CEILING	-
D	3 5/8" METAL STUDS @ 24" O.C. IN TWO ROWS, WITH DOUBLE LAYER 5/8" FIRE RATED GYPSUM WALL BOARD WITH 5/8" G.W.B. GUSSETS OR STEEL RUN BRACES SPANNING CHASE, SCREW ATTACHED TO STUDS - PERIMETER CAULKED	SEE PLAN	1 HOUR	TO STRUCTURE	U.L. U420	J	SAME AS "H" EXCEPT FOR HEIGHT	4 7/8" OR 4 1/4"	NONE	TO STRUCTURE	-
E	2 1/2" STEEL "C-H" STUDS @ 24" O.C. WITH 1" G.W.B. LINER PANEL AND 5/8" FIRE RATED GYPSUM WALL BOARD ON OPPOSITE SIDE OF LINER PANEL - PERIMETER AND ALL PENETRATIONS CAULKED	3 1/8"	1 HOUR	TO STRUCTURE	U.L. U469	NOTES:					
F	4" STEEL "C-H" STUDS @ 24" O.C. WITH 1" G.W.B. LINER PANEL AND DOUBLE LAYER 5/8" FIRE RATED GYPSUM WALL BOARD ON OPPOSITE SIDE OF LINER PANEL - PERIMETER AND ALL PENETRATIONS CAULKED	5 1/4"	1 HOUR	TO STRUCTURE	U.L. U469	1. RATED PARTITIONS ARE TO BE IDENTIFIED ABOVE THE CEILING WITH 2" HIGH RED STENCILLED LETTERS READING: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS"					
						2. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF REFERENCED U.L. FIRE TESTS WHETHER OR NOT DESCRIBED IN THESE DRAWINGS.					
						3. U.L. = UNDERWRITERS LABORATORIES.					
						4. PARTITION TYPES NOTED ARE TO HAVE 3" FIRE RATED/SOUND ATTENUATION BLANKETS INSTALLED					

Moseley  
 Sweat  
 Thompson  
 Standard &  
 Dines,  
 Architects, Inc.

1401 Peachtree Street N.E.  
 Suite 460  
 Atlanta, Georgia 30309  
 404 876-8048



Project name  
**An Office Building**  
 for  
**Crossing Associates**  
 Sams Street  
 Decatur, Georgia

Developed by:  
**The Carithers Company, Ltd.**

Sheet title  
**Core Plans**

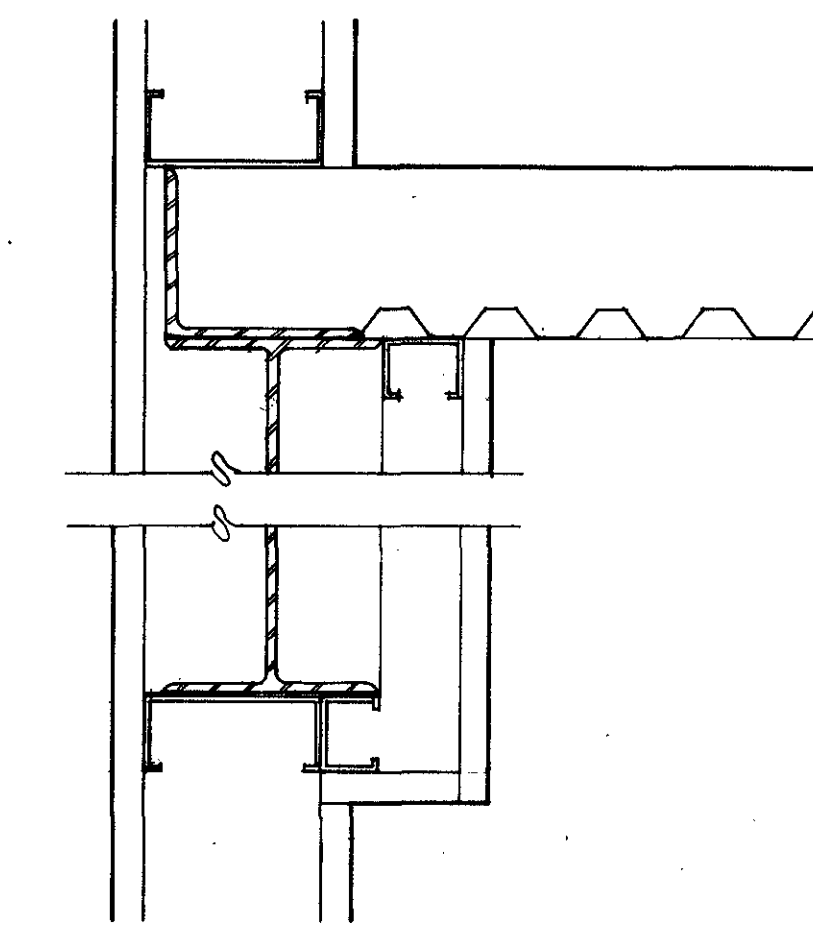
Drawn  
 checked  
 Project no.  
 89007  
 date  
 A4.1  
 sheet no.



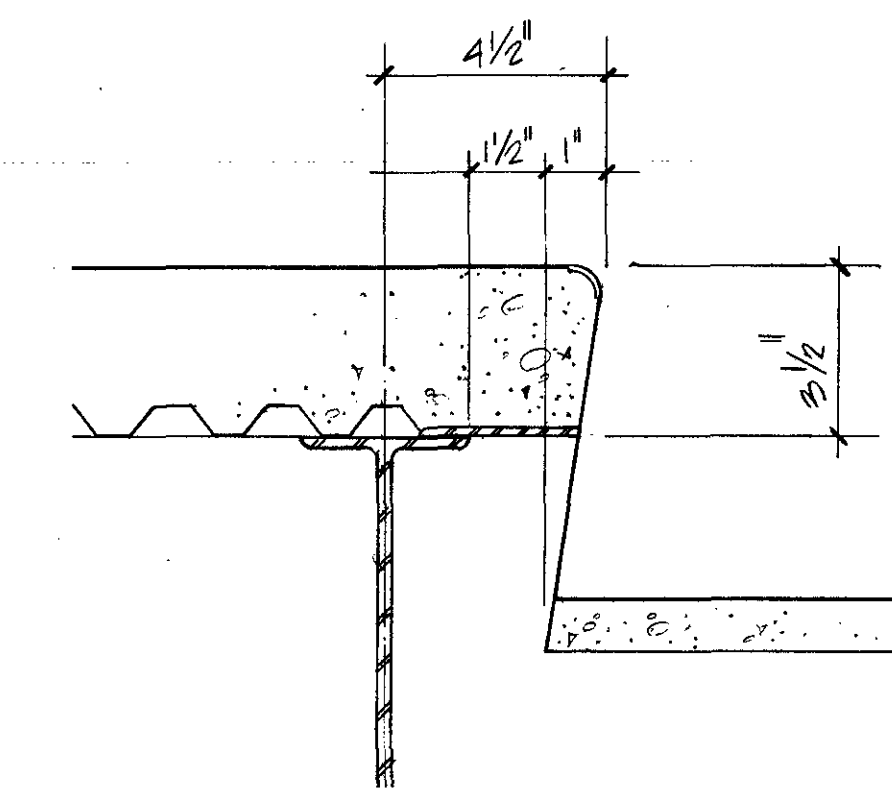
**MOSELEY  
SWEAT  
THOMPSON  
STANDARD &  
DINES,  
ARCHITECTS, INC.**

1401 PEACHTREE STREET N.E.  
SUITE 460  
ATLANTA, GEORGIA 30309  
404 876-6040

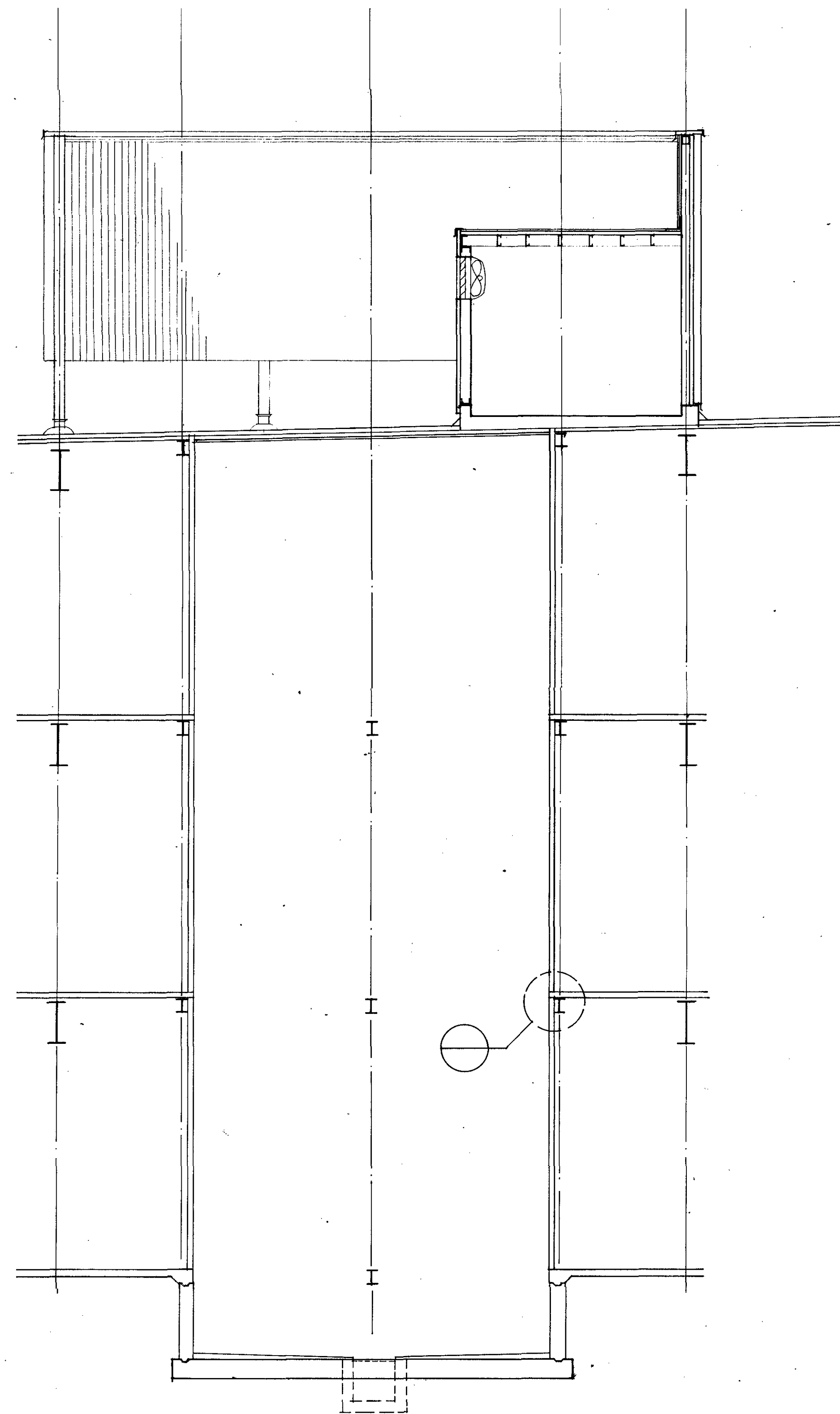
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issue date / revisions



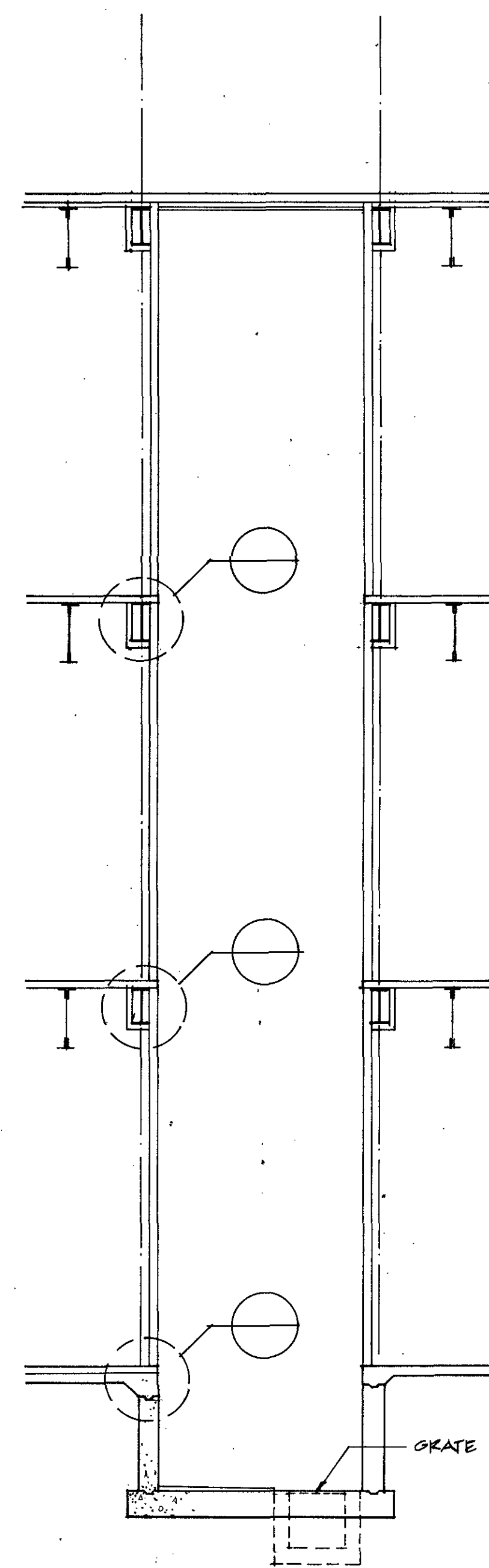
2 DETAIL @ STAIR NO. 1  
A5.1 3/4" = 1'-0"



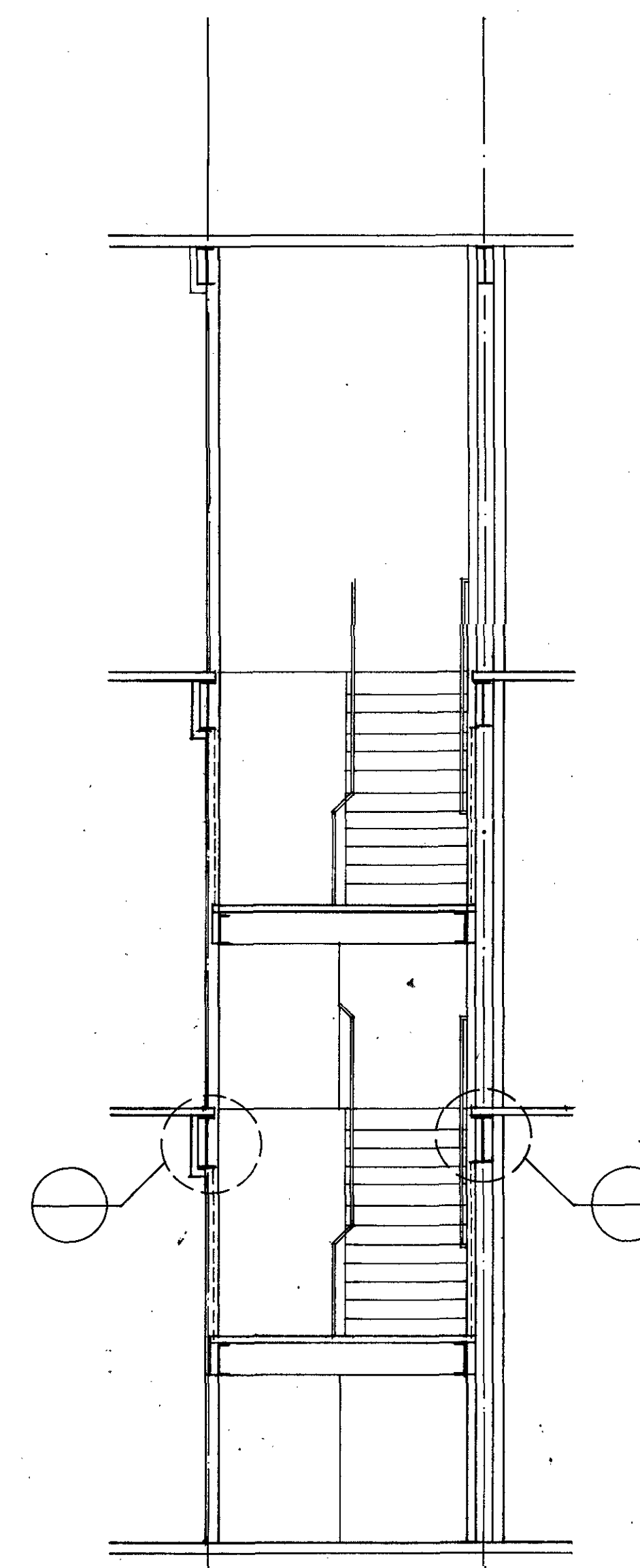
3 STAIR DETAIL  
A5.1 3/4" = 1'-0"



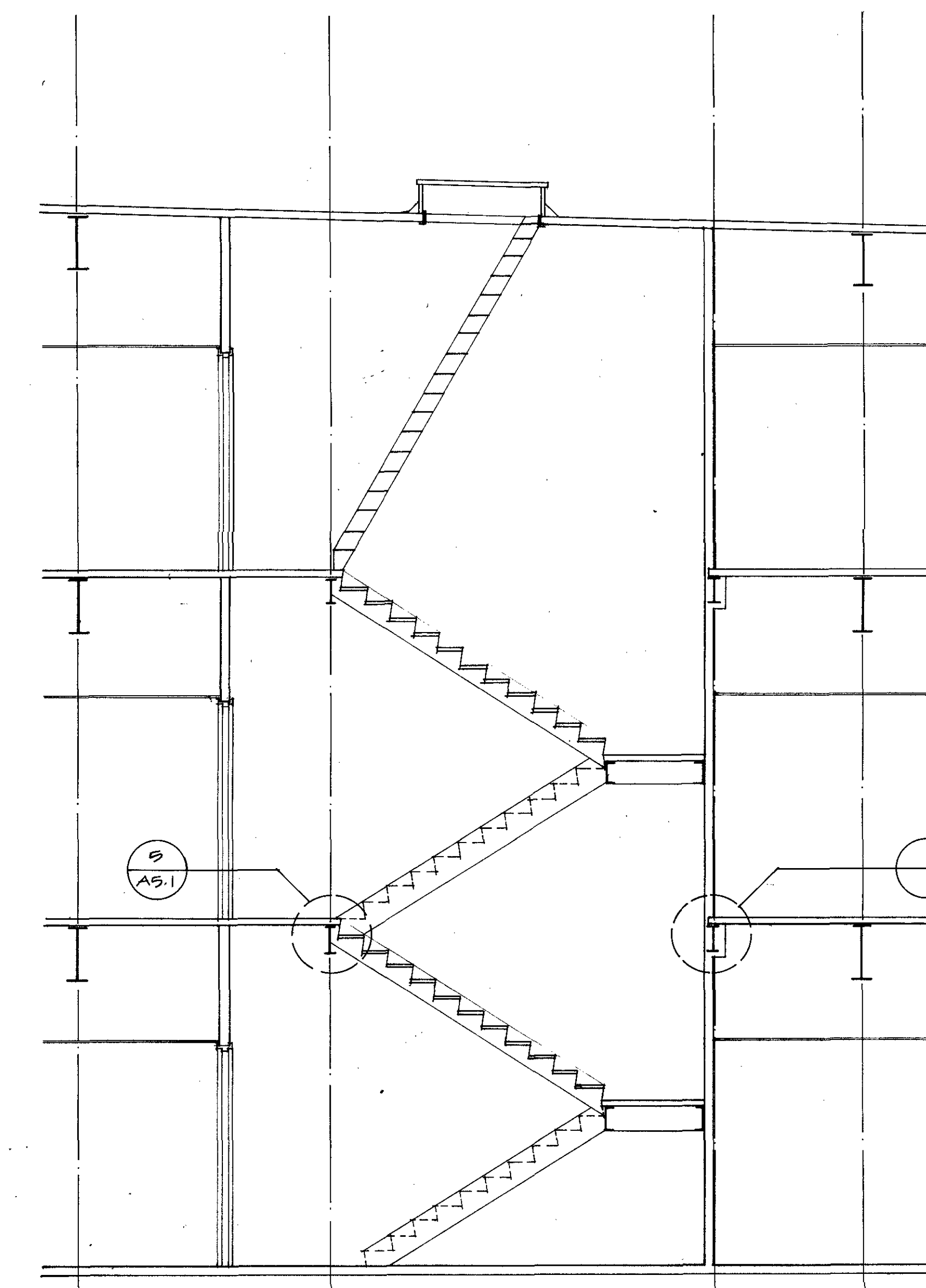
4 SECTION @ ELEVATOR SHAFT  
A5.1 1/4" = 1'-0"



3 SECTION @ ELEVATOR SHAFT  
A5.1 1/4" = 1'-0"

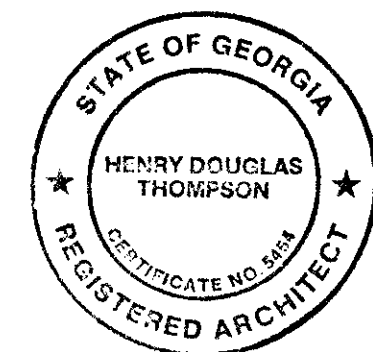


2 SECTION @ STAIR NO. 1  
A5.1 1/4" = 1'-0"  
(STAIR NO. 2 SAME BUT OPPOSITE)



1 SECTION @ STAIR NO. 1  
A5.1 1/4" = 1'-0"  
(STAIR NO. 2 SAME BUT OPPOSITE)

architect's seal



project name:

An Office Building

for  
Crossing Associates

Sams Street  
Decatur, Georgia

Developed by:  
The Canithers Company,  
Ltd.

sheet title

drawn

checked

project no.

date

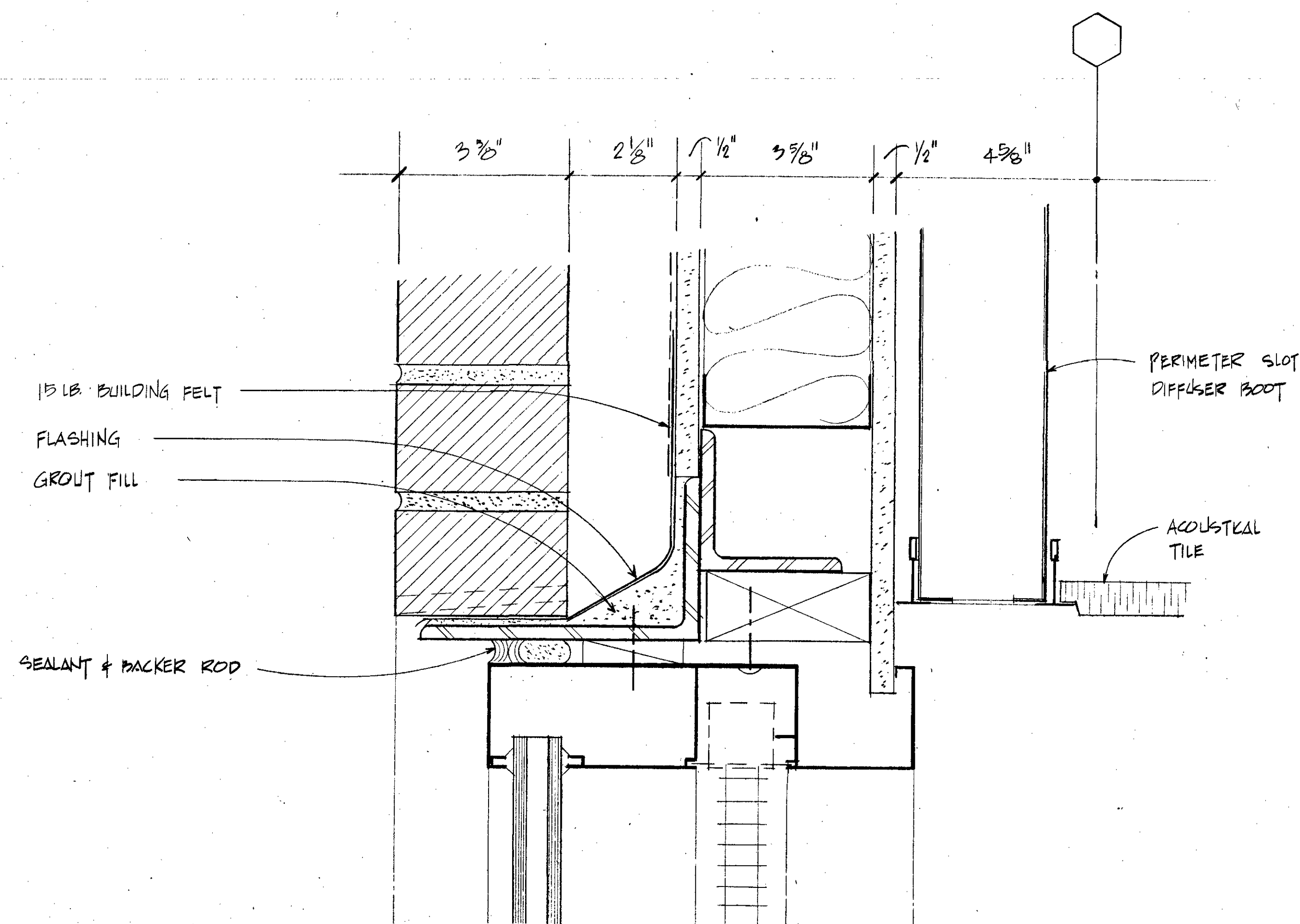
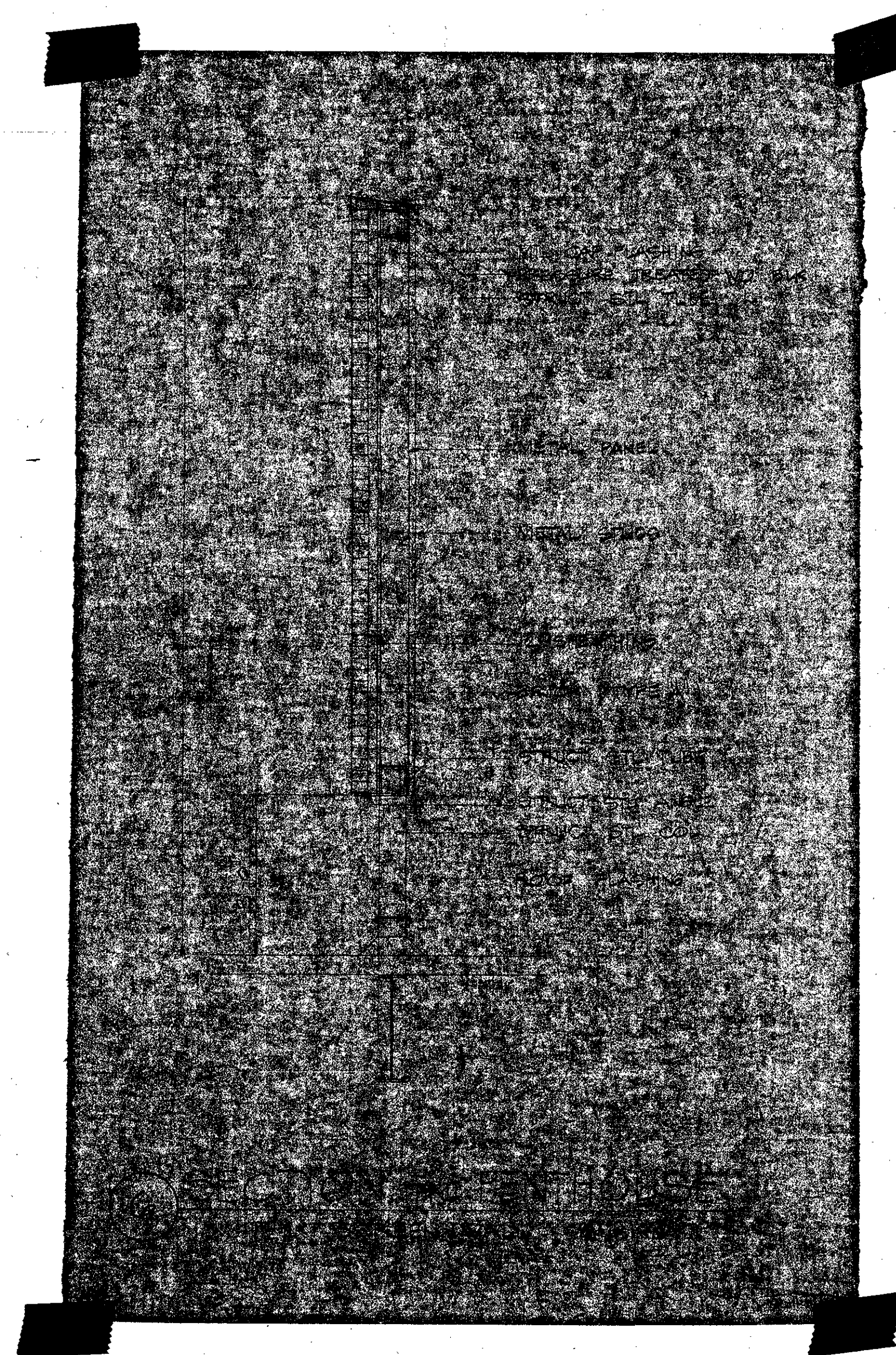
A5.1  
sheet no.



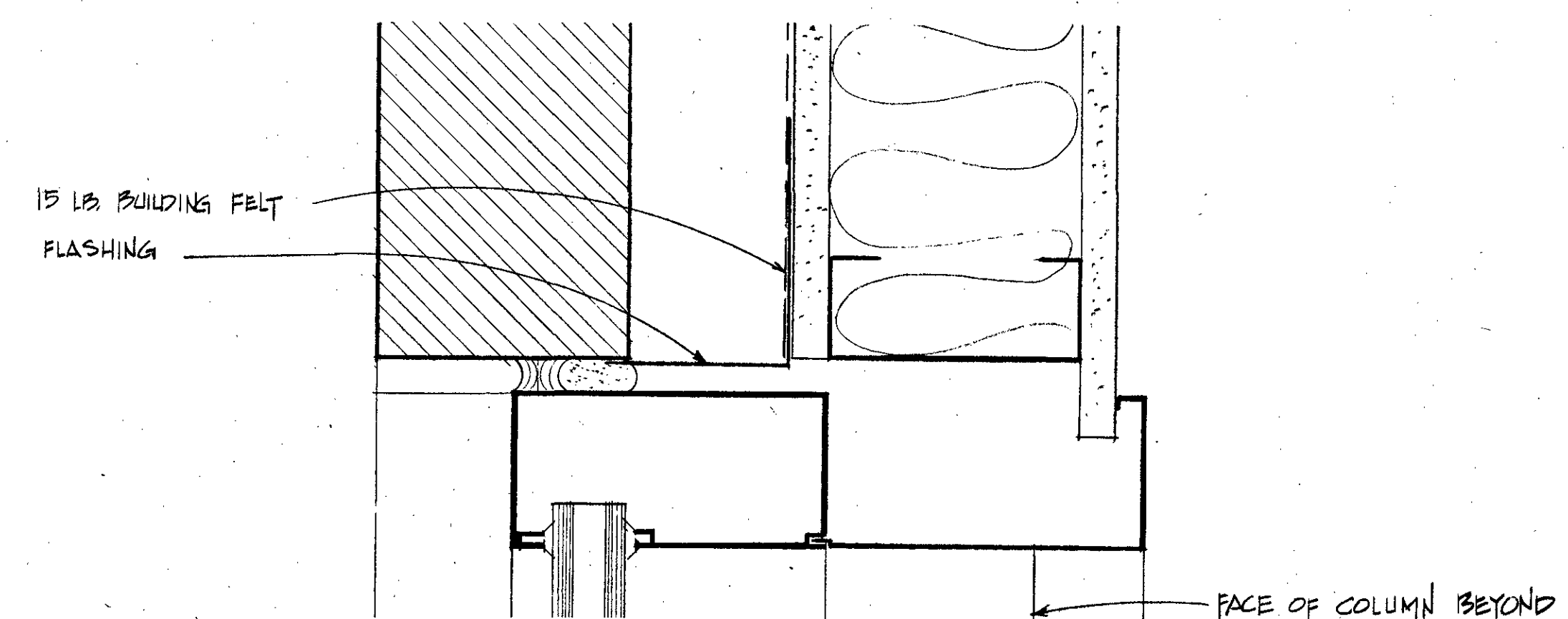
MSTSD

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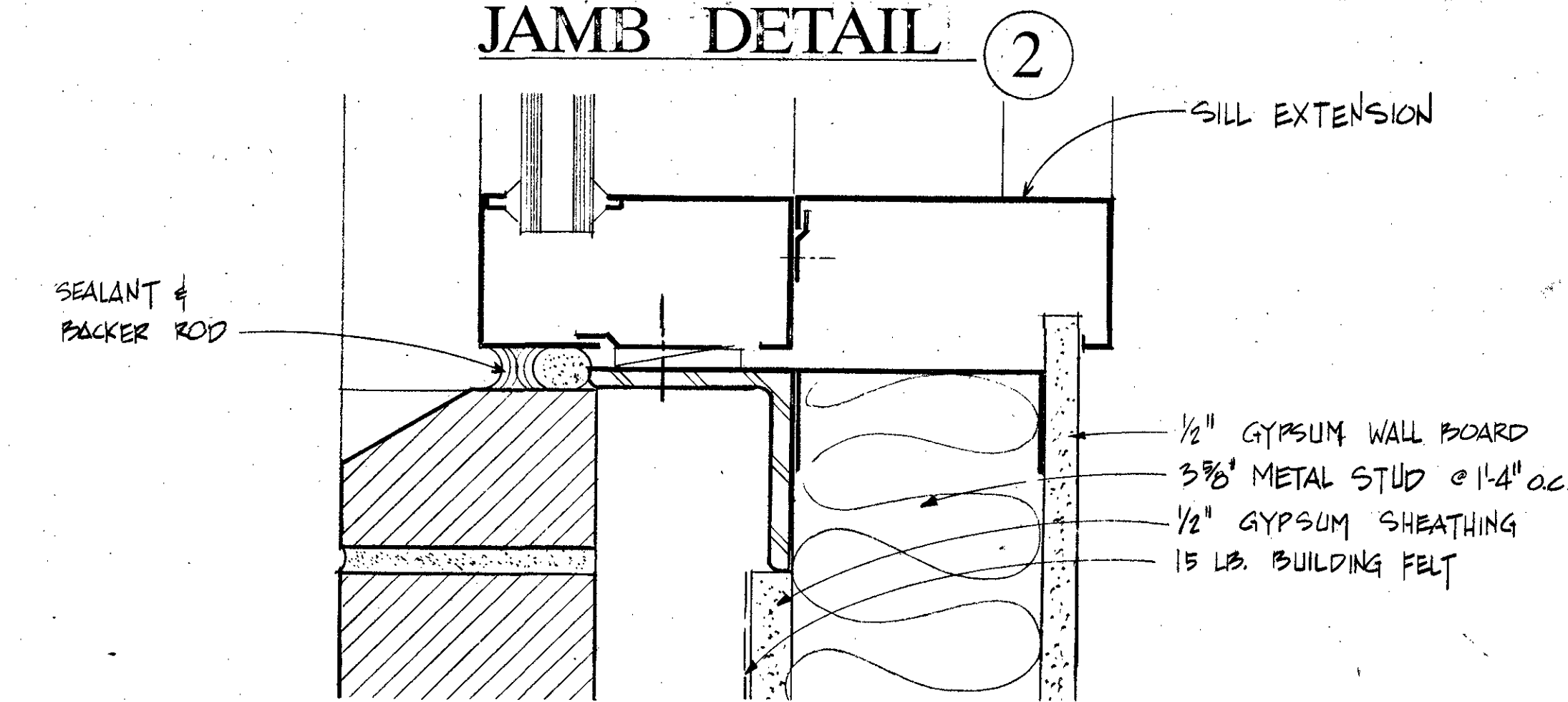
issue date/revisions  
3.20.89 - FOR SCOPE BID  
5.8.89 FOR BLDG. PERMIT



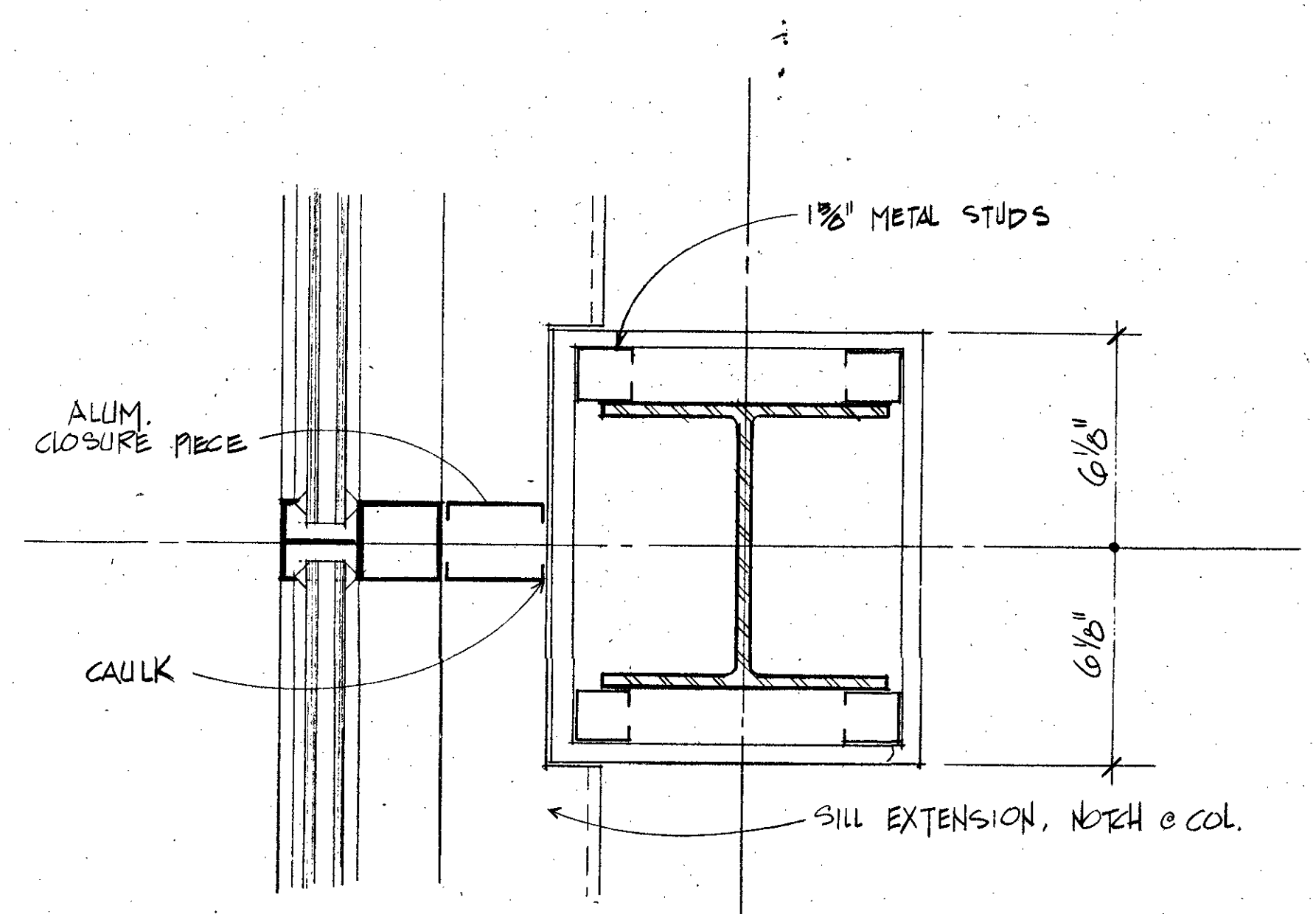
HEAD DETAIL ③



JAMB DETAIL ②



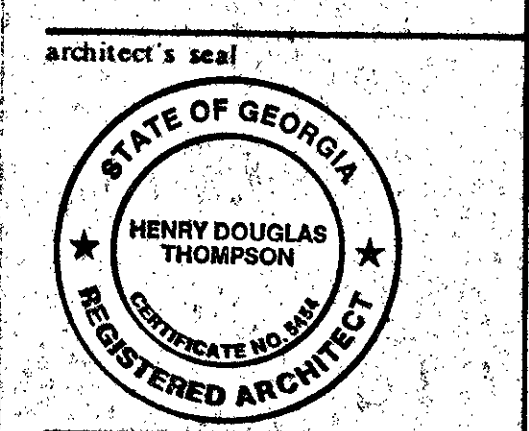
SILL DETAIL ①



TYP. MULLION DETAIL @ COL.

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Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

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Suite 460  
Atlanta, Georgia 30309  
404 876-6040



project name  
**An Office Building**  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by  
The Canthens Company,  
Ltd.  
sheet title

Exterior Details

drawn  
checked  
project no.  
89007  
date  
A6.1  
sheet A6.1 of 65



MOSELEY  
SWEAT  
THOMPSON  
STANDARD &  
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ARCHITECTS, INC.

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issue date / revisions  
5-3-87 FOR BLDG PERMIT

architect's seal

project name

An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by:  
The Carthers Company,  
Ltd.

sheet title

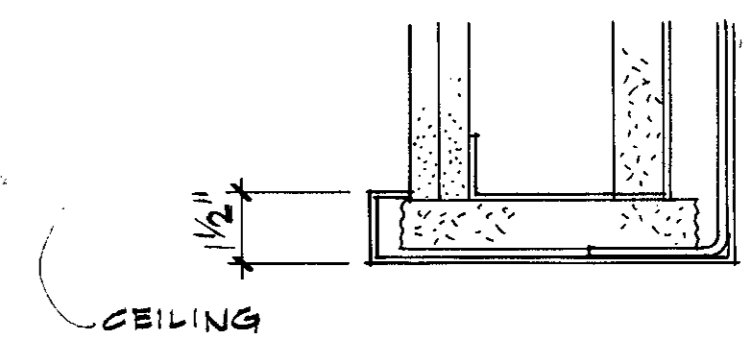
drawn

checked

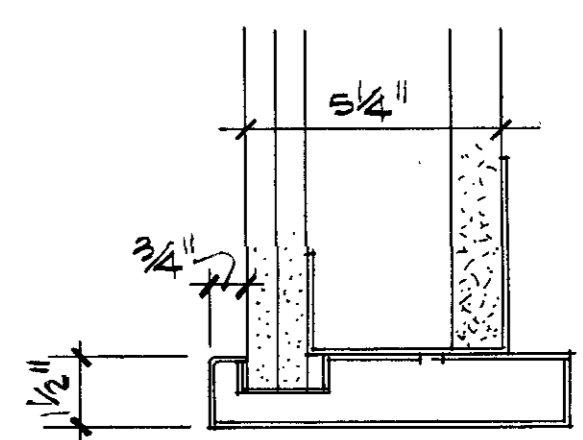
project no.

date

A7.1  
sheet no.



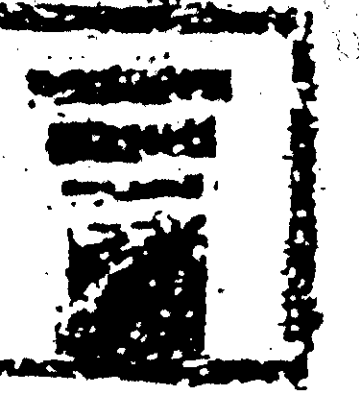
2 HEAD @ ELEVATOR  
3" = 1'-0"



1 JAMB @ ELEVATOR  
3" = 1'-0"

ATLANTA BUILDING PERMIT - 12/15/87

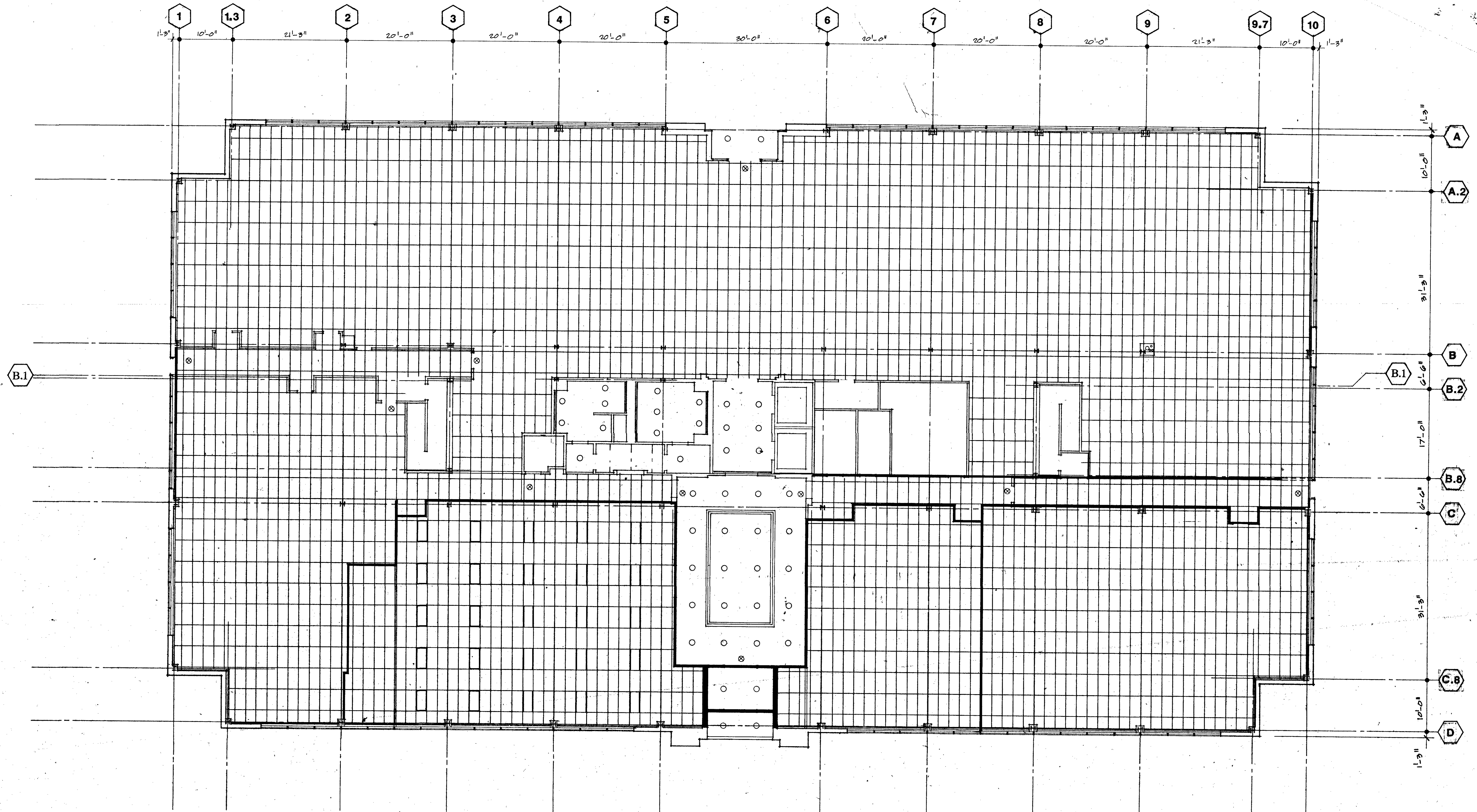




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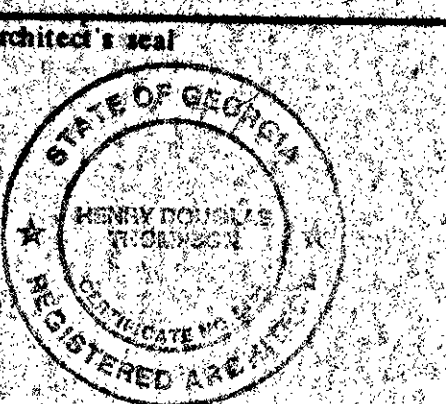
Issue date/revisions  
0.0.01 PER BLDG. PERMIT



LEGEND  
⊗ EXIT SIGN  
⊙ SMOKE DETECTOR  
⊕ FIRE ALARM SIGNAL DEVICE  
○ RECESSED LIGHT FIXTURE

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Thompson  
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Dines,  
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Suite 460  
Atlanta, Georgia 30309  
404 876-6040



project name  
An Office Building

for  
Crossing Associates  
Sams Street  
Decatur, Georgia

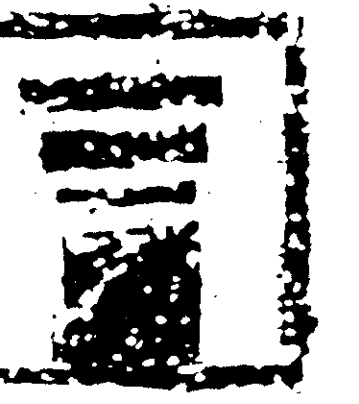
Developed by:  
The Carithers Company,  
Ltd.

sheet title  
First Floor  
Reflected Ceiling  
Plan

drawn  
checked

project no.  
89007  
date  
A8.1  
sheet no.

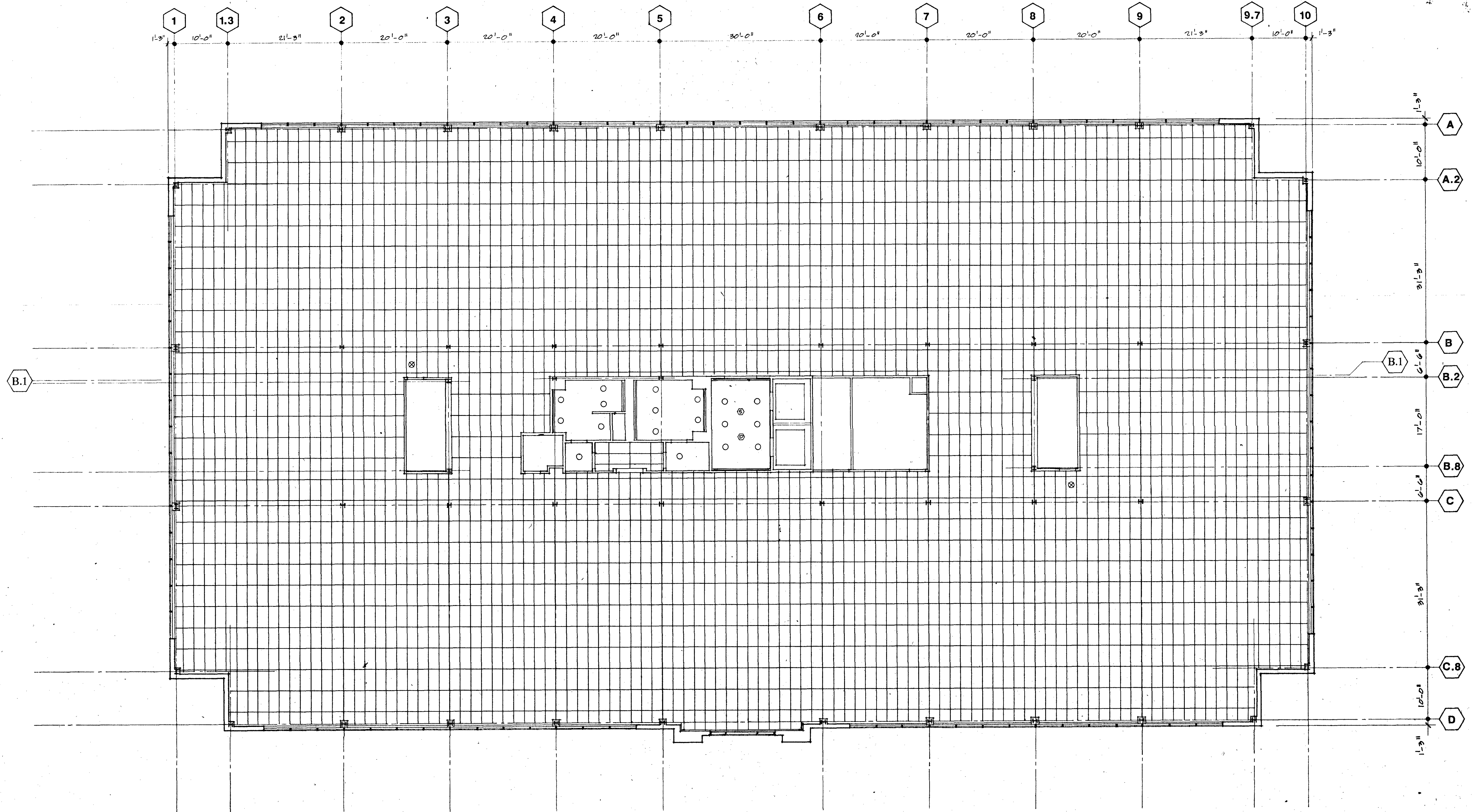
A1  
A1  
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issue date/revisions  
5-8-89 FOR BLDG PERMIT

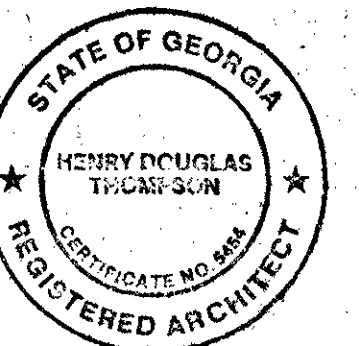


- LEGEND**
- ⊗ EXIT SIGN
  - ⊙ SMOKE DETECTOR
  - ⊕ FIRE ALARM SIGNAL DEVICE
  - RECESSED LIGHT FIXTURE

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

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Suite 460  
Atlanta, Georgia 30309  
404 876-6040

architect's seal



project name

An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by:  
The Carthers Company,  
Ltd.

sheet title

Second Floor  
Reflected Ceiling  
Plan

Drawn

Checked

project no.

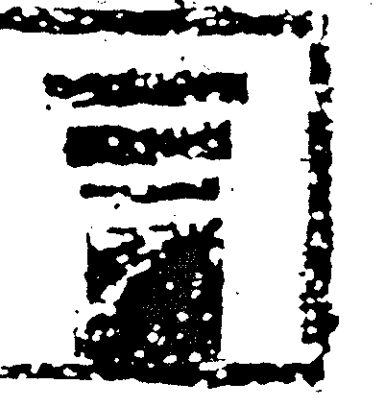
89007

date

A8.2

sheet no.

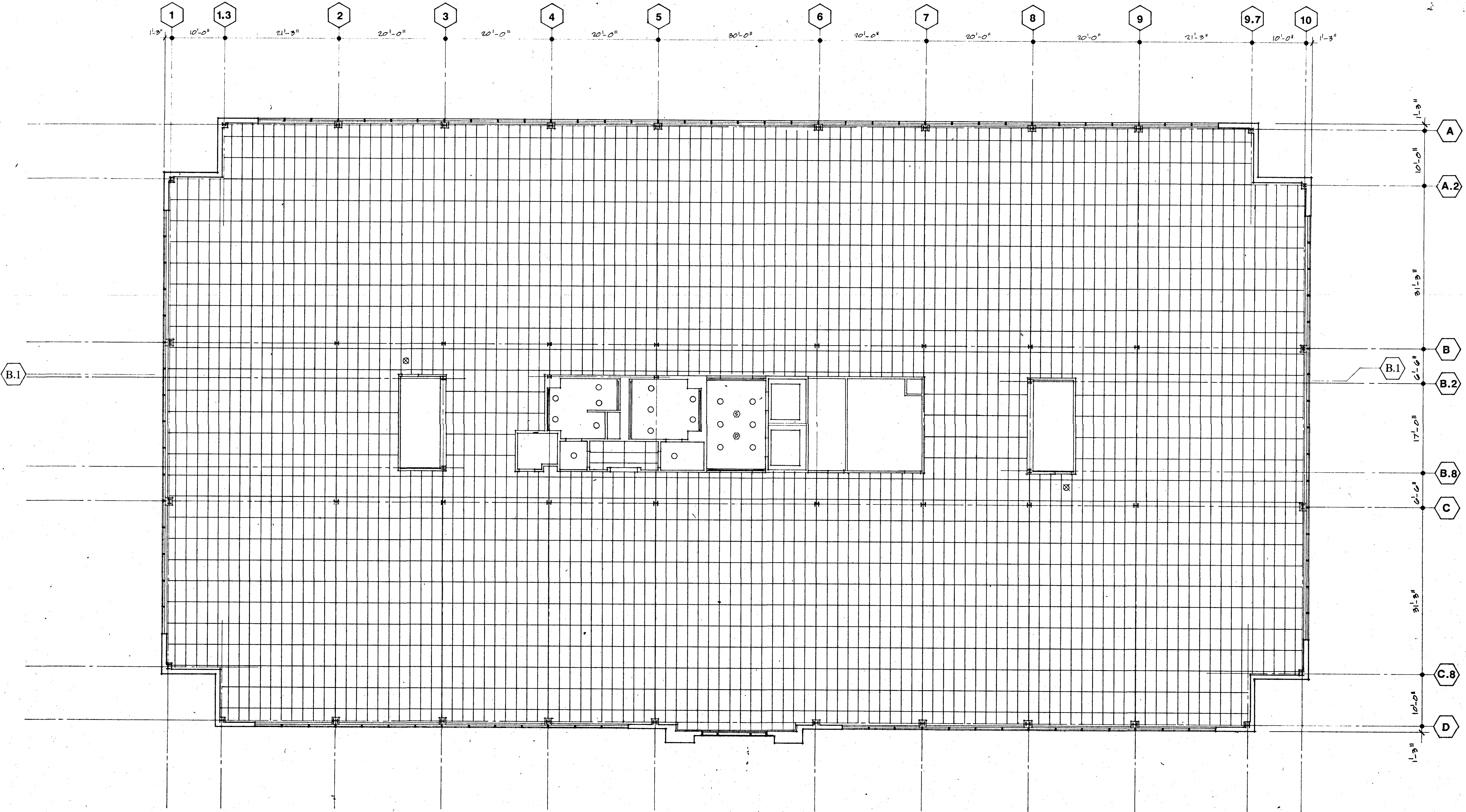
A2	C2
A2	C2



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issue date/revisions  
5-8-81 FOR BIDS, PERMIT

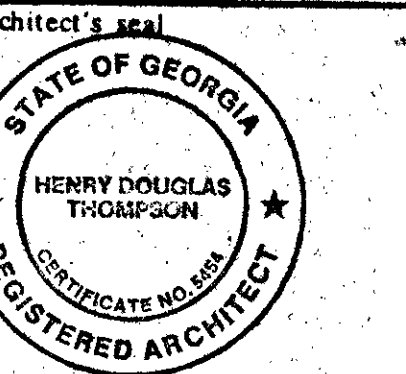


LEGEND  
⊗ EXIT SIGN  
⊙ SMOKE DETECTOR  
⊕ FIRE ALARM SIGNAL DEVICE  
○ RECESSED LIGHT FIXTURE

A3	CB
A3	CB

Moseley  
Sweat  
Thompson  
Standard &  
Dines,  
Architects, Inc.

1401 Peachtree Street N.E.  
Suite 460  
Atlanta, Georgia 30309  
404 876-6040



project name  
An Office Building  
for  
Crossing Associates  
Sams Street  
Decatur, Georgia

Developed by  
The Carthers Company,  
Ltd.

sheet title  
Third Floor  
Reflecter  
Plan  
draw

## ATTACHMENT L

### 178 SAMS STREET - BUILDING 2 - SHELL

**NOTE:** The attached documents represent copies of prints from the DeKalb County Facility Department's archives and are provided for reference only to illustrate the general extent of the building configuration. These documents are provided solely for the consultant's reference in documenting existing conditions. DeKalb County has not verified the accuracy of the drawings.

# TRUSSELL BUILDING ADDITION TENANT FIT-UP DOCUMENTS

## 178 SAMS STREET DECATUR, GEORGIA

### DRAWING INDEX

TOO COVER SHEET

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T12 FIRST FLOOR PLAN  
T13 SECOND FLOOR PLAN  
T14 THIRD FLOOR PLAN  
T21 GROUND FLOOR RCP  
T22 FIRST FLOOR RCP  
T23 SECOND FLOOR RCP  
T24 THIRD FLOOR RCP  
T31 INTERIOR DETAILS  
T32 INTERIOR DETAILS

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TM2 FIRST FLOOR PLAN - MECHANICAL  
TM3 SECOND FLOOR PLAN - MECHANICAL  
TM4 THIRD FLOOR PLAN - MECHANICAL  
TM5 SCHEDULES & DETAILS - MECHANICAL

#### ELECTRICAL

TE00 LEGEND AND NOTES  
TE1 GROUND FLOOR PLAN - ELECTRICAL  
TE2 FIRST FLOOR PLAN - ELECTRICAL  
TE3 SECOND FLOOR PLAN - ELECTRICAL  
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TE21 GROUND FLOOR PLAN - LIGHTING  
TE22 FIRST FLOOR PLAN - LIGHTING  
TE23 THIRD FLOOR PLAN - LIGHTING  
TE24 FOURTH FLOOR PLAN - LIGHTING

**MSTSD, INC.**

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1-9-98 BUILDING PERMIT

### BUILDING DATA

#### PROJECT DESCRIPTION

A SINGLE TENANT, FOUR STORY OFFICE BUILDING WITH A THREE LEVEL PEDESTRIAN ENCLOSED WALKWAY CONNECTOR TO AN EXISTING THREE STORY SINGLE TENANT OFFICE BUILDING. THE BUILDING AND WALKWAY ARE FULLY SPRINKLERED WITH A MASONRY VENEER AND GLASS FACADE.

#### APPLICABLE CODES

**BUILDING:** 1994 STANDARD BUILDING CODE, WITH THE 1995 GEORGIA AMENDMENTS  
**PLUMBING:** 1994 STANDARD PLUMBING CODE, WITH THE 1995 GEORGIA AMENDMENTS  
**MECHANICAL:** 1994 STANDARD MECHANICAL CODE, WITH THE 1995 GEORGIA AMENDMENTS  
**ELECTRICAL:** 1996 NATIONAL ELECTRIC CODE, WITH THE 1996 GEORGIA AMENDMENTS  
**FIRE SAFETY:** 1994 STANDARD FIRE PROTECTION CODE, WITH THE 1995 GEORGIA AMENDMENTS AND NFPA 101 - 1991 LIFE SAFETY CODE.  
**ENERGY:** 1995 MODEL ENERGY CODE, WITH 1996 GEORGIA AMENDMENTS AND SUPPLEMENTS  
**ACCESSIBILITY:** ANSI A117-1992

#### BUILDING AREA / EXITING CALCULATIONS

BUILDING FLOOR	GROSS FLOOR AREA	FLOOR POPULATION	REQUIRED EXIT WIDTH	PROVIDED EXIT WIDTH
3	15,850 SF	159 PERSONS	47.7 INCHES	72 INCHES
2	15,850 SF	159 PERSONS	47.7 INCHES	72 INCHES
1	15,790 SF	158 PERSONS	47.4 INCHES	72 INCHES
GROUND	11,670 SF	117 PERSONS	39.5 INCHES	144 INCHES
<b>TOTAL</b>	<b>59,160 SF</b>			

#### OCCUPANCY CLASSIFICATION

OFFICE BUILDING - BUSINESS (B), SINGLE-TENANT

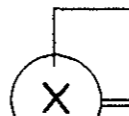
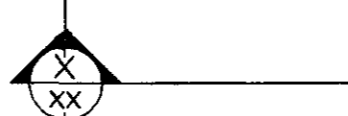
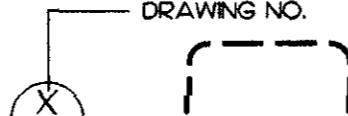
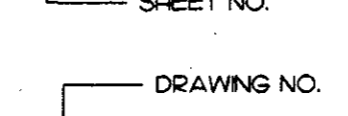
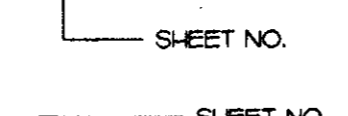



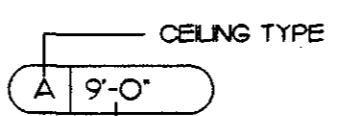
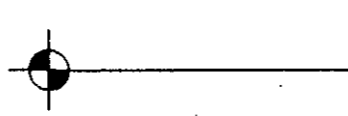
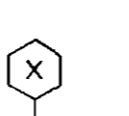
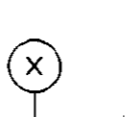
#### TYPE OF CONSTRUCTION

BUSINESS - TYPE V UNPROTECTED, SPRINKLERED

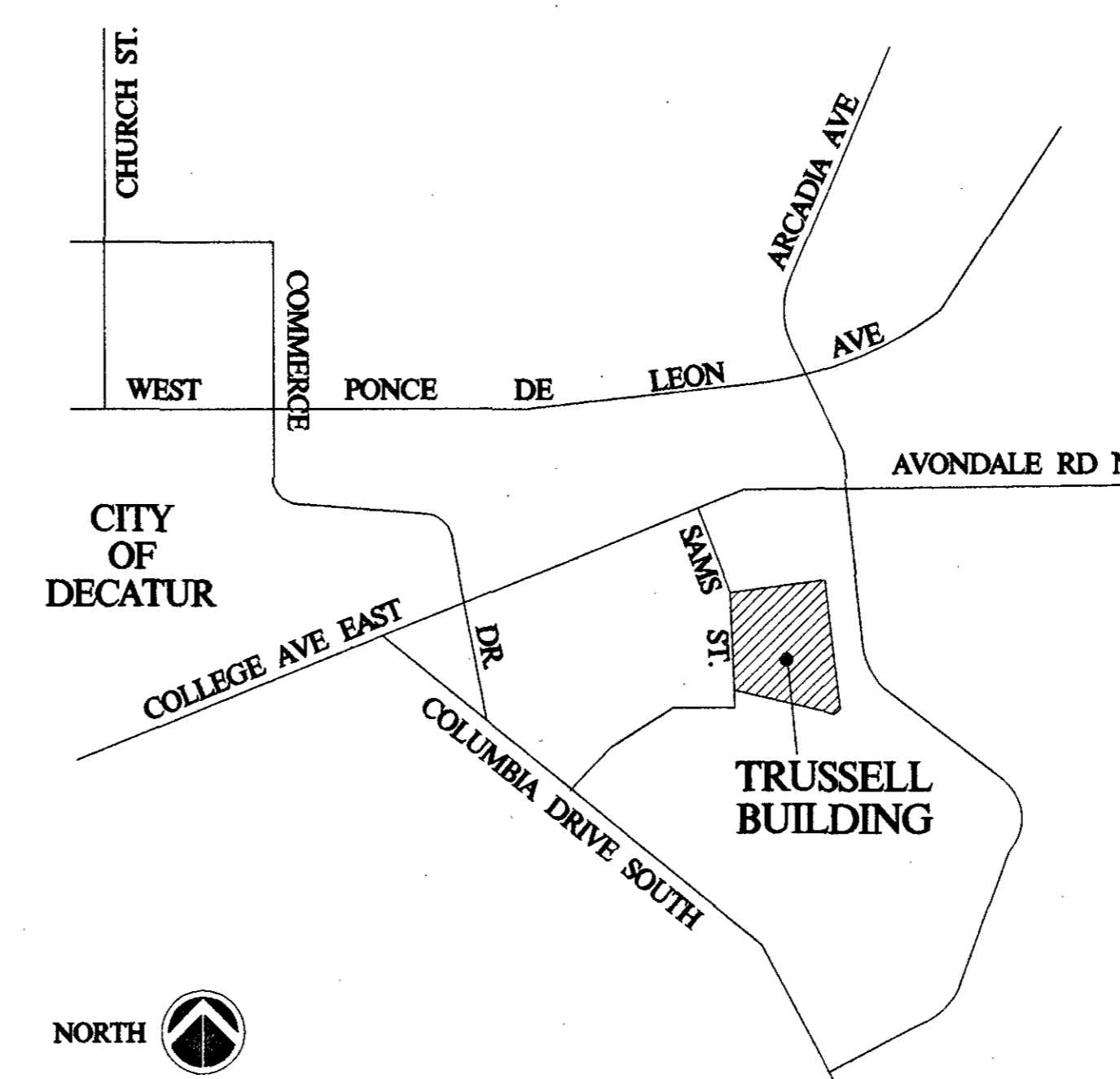
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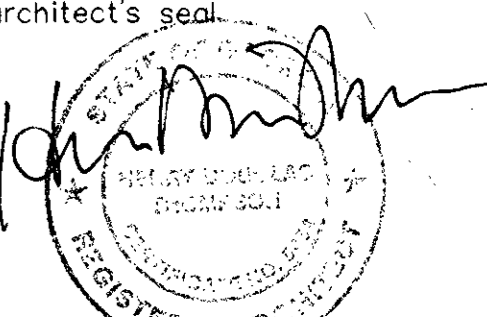
A. COLUMNS:	SUPPORTING MORE THAN 1 FLOOR	0 HOUR.
	SUPPORTING ONE FLOOR ONLY	0 HOUR.
	SUPPORTING ROOF ONLY	0 HOUR.
B. FLOOR CONSTRUCTION:		0 HOUR.
C. ROOF CONSTRUCTION:		0 HOUR.
D. VERTICAL SHAFT:	LESS THAN FOUR STORIES	NON-COMBUSTIBLE
	FOUR OR MORE STORIES	NON-COMBUSTIBLE

### ARCHITECTURAL SYMBOLS

	DRAWING NO. DRAWING TITLE SCALE	DRAWING TITLE
	DRAWING NO. SHEET NO.	SECTION SYMBOL
	DRAWING NO. SHEET NO.	DETAIL SYMBOL
	DRAWING NO. SHEET NO.	INTERIOR ELEVATION SYMBOL
	SHEET NO. DETAIL NO.	INTERIOR ELEVATION SYMBOL
		REVISION SYMBOL
		DOOR NUMBER
		RM. NAME / NUMBER
	CEILING TYPE CEILING HEIGHT AFF.	CEILING TYPE / HEIGHT
		ELEVATION SYMBOL (A.F.F.)
		NEW COLUMN GRID
		EXISTING COLUMN GRID

### LOCATION MAP



architect's seal  


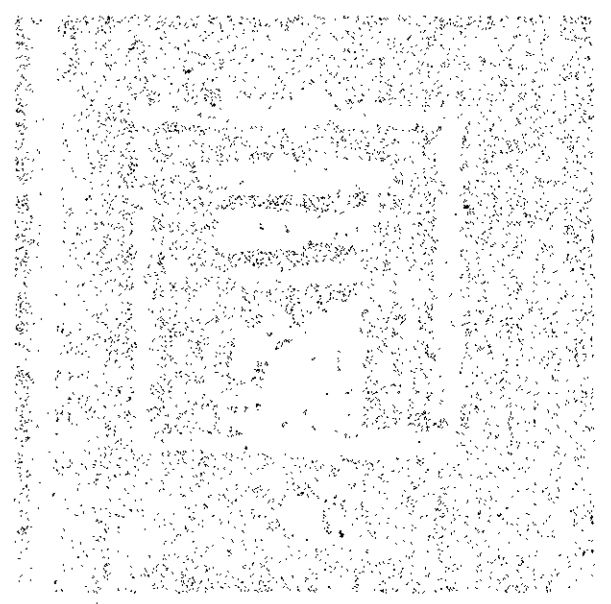
project name  
**TRUSSELL BUILDING ADDITION**  
DECATUR, GEORGIA

### CONSULTANT

MECHANICAL, ELECTRICAL & PLUMBING  
BARRETT, WOODYARD & ASSOC  
1320 CENTER DRIVE  
ATLANTA, GEORGIA 30338  
PHONE: (770) 392-1818

### BUILDING OWNER

CROSSING ASSOCIATES  
C/O TRIPPOINT DEVELOPMENT  
1615 HERITAGE DRIVE  
CUMMING, GEORGIA 30131  
PHONE: (770) 844-9900

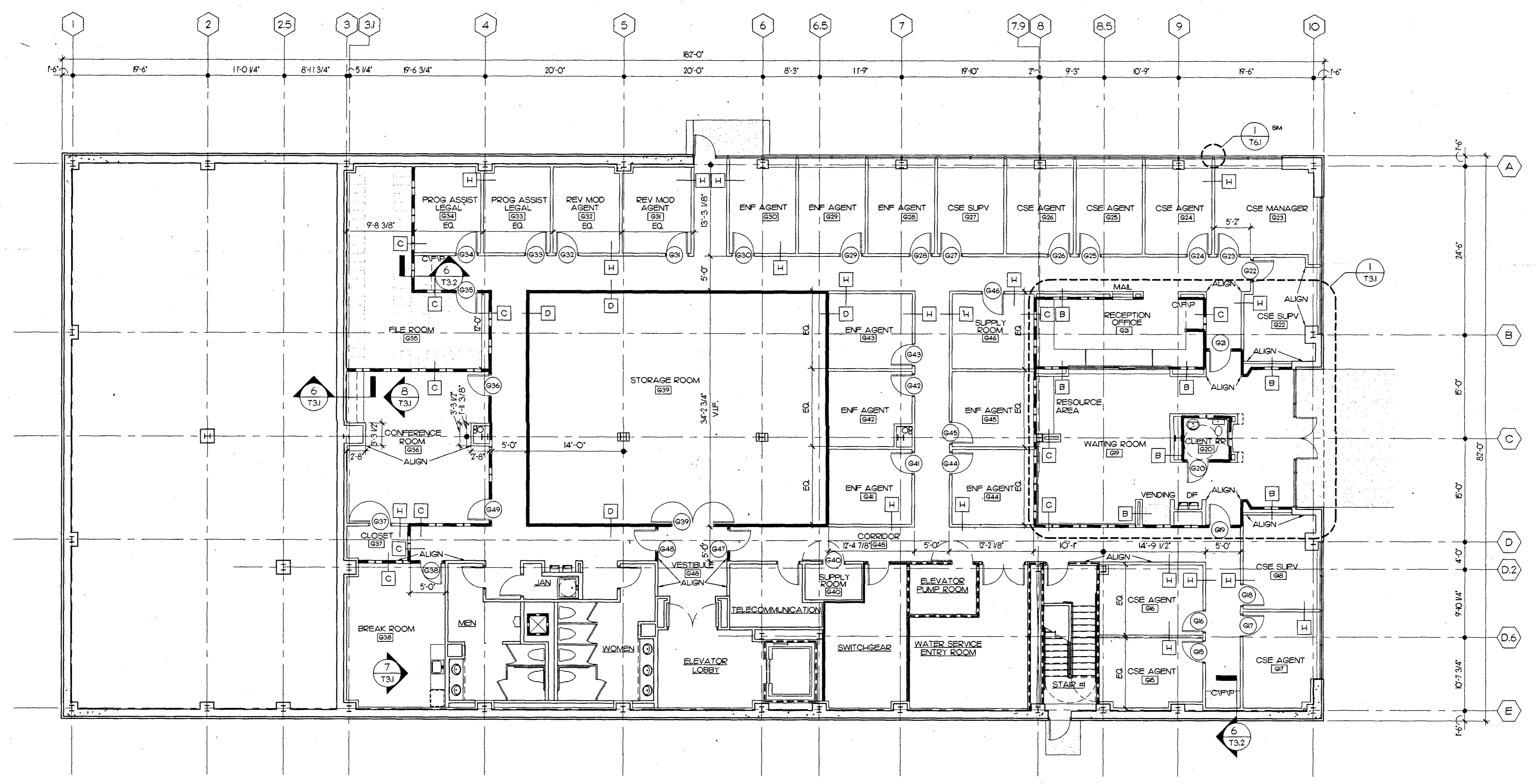


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404 231-5064

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issue date/revisions

12-10-97 OWNER REVIEW  
1-9-98 BUILDING PERMIT



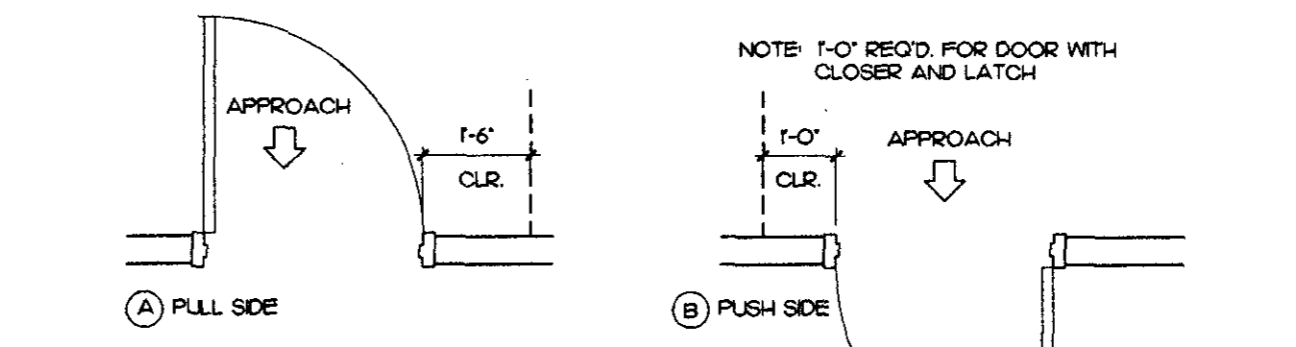
PARTITION SCHEDULE						
SYMBOL	DETAIL	DESCRIPTION	WALL THICKNESS	WALL HEIGHT	FIRE RATING	COMMENTS
A		ONE LAYER OF 5/8" G.W.B. ON ONE SIDE OF 2-1/2" METAL STUDS • 2'-0" O.C.	3-1/8"	TO STRUCT.	---	
B		ONE LAYER OF 5/8" G.W.B. ON ONE SIDE OF 3-5/8" METAL STUDS • 2'-0" O.C.	4-1/4"	TO STRUCT.	---	
C		ONE LAYER OF 5/8" G.W.B. ON EACH SIDE OF 3-5/8" METAL STUDS • 2'-0" O.C.	4-7/8" (7-1/4" • SIM. COND.)	TO STRUCT.	---	AT SIM. COND. USE 6" METAL STUDS • 2'-0" O.C.
D		ONE LAYER OF 5/8" G.W.B. TYPE "X" ON EACH SIDE OF 3-5/8" METAL STUDS • 2'-0" O.C.	4-7/8" (7-1/4" • SIM. COND.)	TO STRUCT.	1-HR.	FIRE TEST # U466 AT SIM. COND. USE 6" METAL STUDS • 2'-0" O.C.
E		TWO LAYERS OF 5/8" G.W.B. TYPE "X" ON EACH SIDE OF 2-1/2" CH. STUDS • 2'-0" O.C.	6 1/8"	TO STRUCT.	2-HR.	FIRE TEST UL # U41 2-LAYERS 5/8" TYPE "X" ONE SIDE OF STUDS • PARTITION SYMBOL [E]
F		TWO LAYERS OF 5/8" G.W.B. TYPE "X" ON ONE SIDE OF 2-1/2" CH. STUDS • 2'-0" O.C. WITH 1" SHAFT WALL LINER	3-3/4"	TO STRUCT.	2-HR.	FIRE TEST UL #U438
G		TWO LAYERS OF 5/8" G.W.B. TYPE "X" ON ONE SIDE OF 4" CH. STUDS • 2'-0" O.C. WITH 1" SHAFT WALL LINER	5 1/4"	TO STRUCT.	2-HR.	FIRE TEST UL #U438
H		ONE LAYER OF 5/8" G.W.B. ON EACH SIDE 3-5/8" METAL STUDS • 2'-0" O.C.	4-7/8" (7-1/4" • SIM. COND.)	8'-6"	---	AT SIM. COND. USE 6" METAL STUDS • 2'-0" O.C. • SEE NOTE 5

NOTES:  
1. REFER TO FINISH SCHEDULE FOR WALL FINISHES.  
2. WALL HEIGHT DESIGNATION 'TO STRUCTURE' MEANS UNDERSIDE OF CONCRETE FLOOR SLAB WITH ALL CRACKS, OPENINGS, ETC. SEALED.  
3. WALL CONSTRUCTION DESCRIPTIONS HAVE BEEN ABBREVIATED. CONSULT THE UL GUIDE OR OTHER APPROPRIATE REFERENCE FOR COMPLETE FIRE RATED WALL CONSTRUCTION REQUIREMENTS.  
4. PROVIDE SOUND ATTENUATION BLANKETS IN ALL TOILET ROOM PERIMETER WALLS.  
5. WALL TYPE [H] HEIGHT 9'-0" AT GROUND FLOOR, 8'-6" AT FLOORS ONE, TWO, AND THREE.

**GROUND FLOOR PLAN**  
SCALE 1/8" = 1'-0"

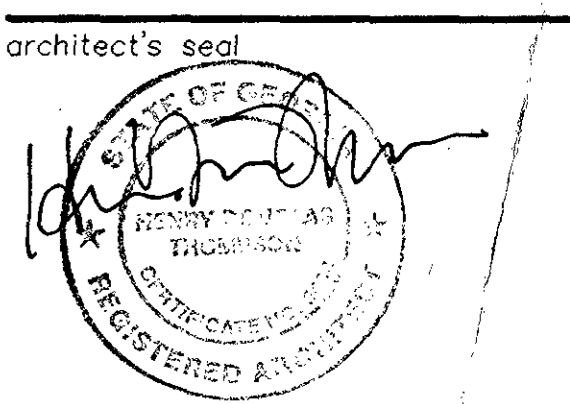
NOTES:  
1. DIMENSIONS TO FINISH FACE OF PARTITION UNLESS NOTED OTHERWISE  
2. PERIMETER PARTITIONS PERPENDICULAR TO WINDOW WALL TO BE CENTERED ON MULLION UNLESS NOTED OTHERWISE

PARTITION LEGEND	
	NON-RATED PARTITION
	NON-RATED PARTITION TO UNDERSIDE OF FLOOR SLAB
	1-HR. RATED PARTITION TO UNDERSIDE OF FLOOR SLAB
	2-HR. RATED PARTITION TO UNDERSIDE OF FLOOR SLAB



MINIMUM REQUIRED CLEARANCES • DOORS

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project name  
**TRUSSELL BUILDING ADDITION**  
DECATUR, GEORGIA

A  
C  
sh.  
GR



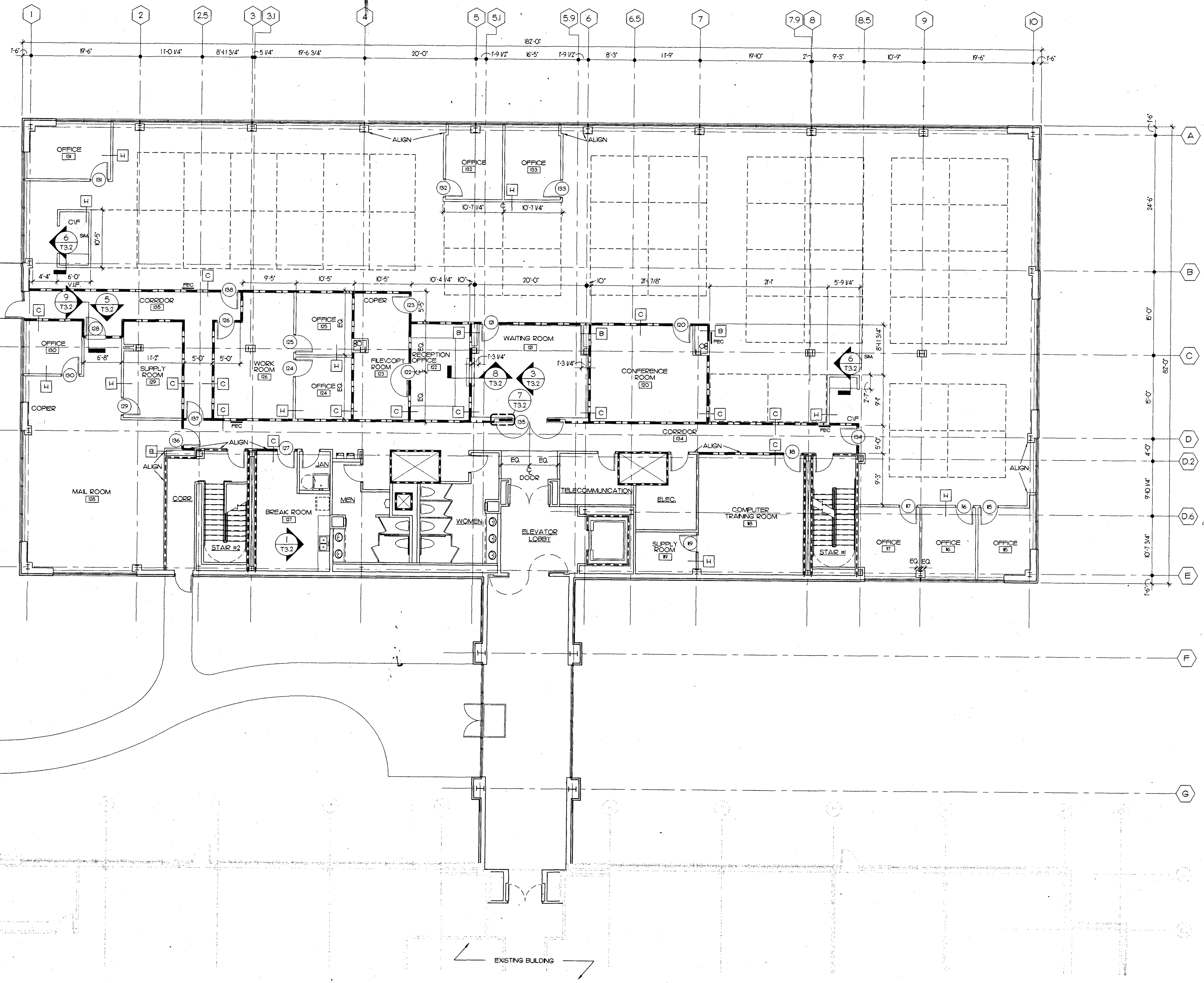
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3424 Peachtree Road  
Suite C-100  
Atlanta, Georgia 30326  
404 231-5064

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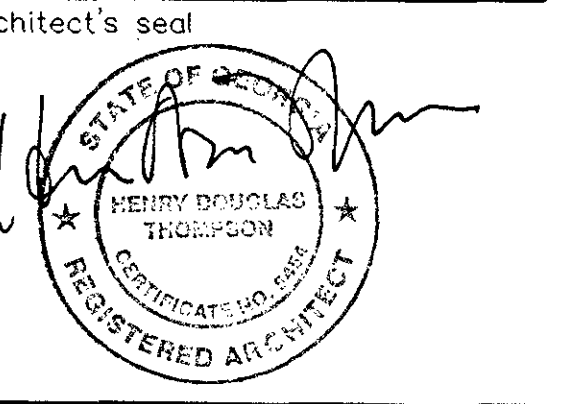
issue date/revisions

12-10-97 OWNER REVIEW  
1-9-98 BUILDING PERMIT



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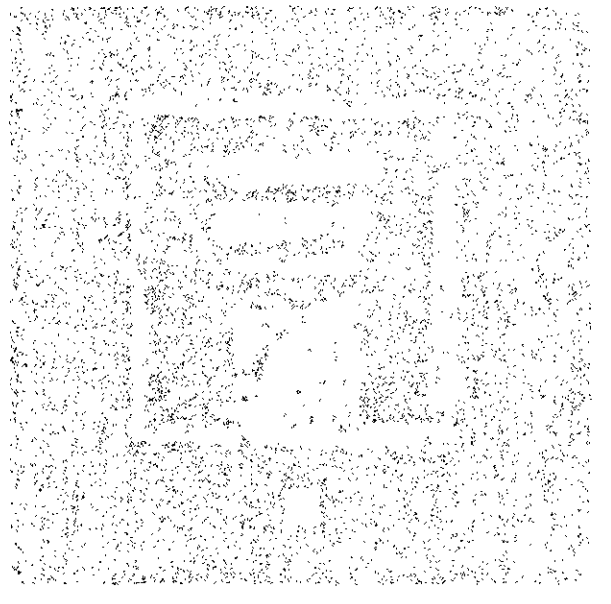
**FIRST FLOOR PLAN**  
1/8" = 1'-0"  
FIN. FLOOR ELEV. = 1047'-0"



project name  
**TRUSSELL BUILDING ADDITION**  
DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES  
sheet title  
**FIRST FLOOR PLAN**

drawn  
JLH  
checked  
D.W.  
project no.  
97081  
date  
1-9-98  
sheet no.  
**T1.2**  
Page 79 of 85



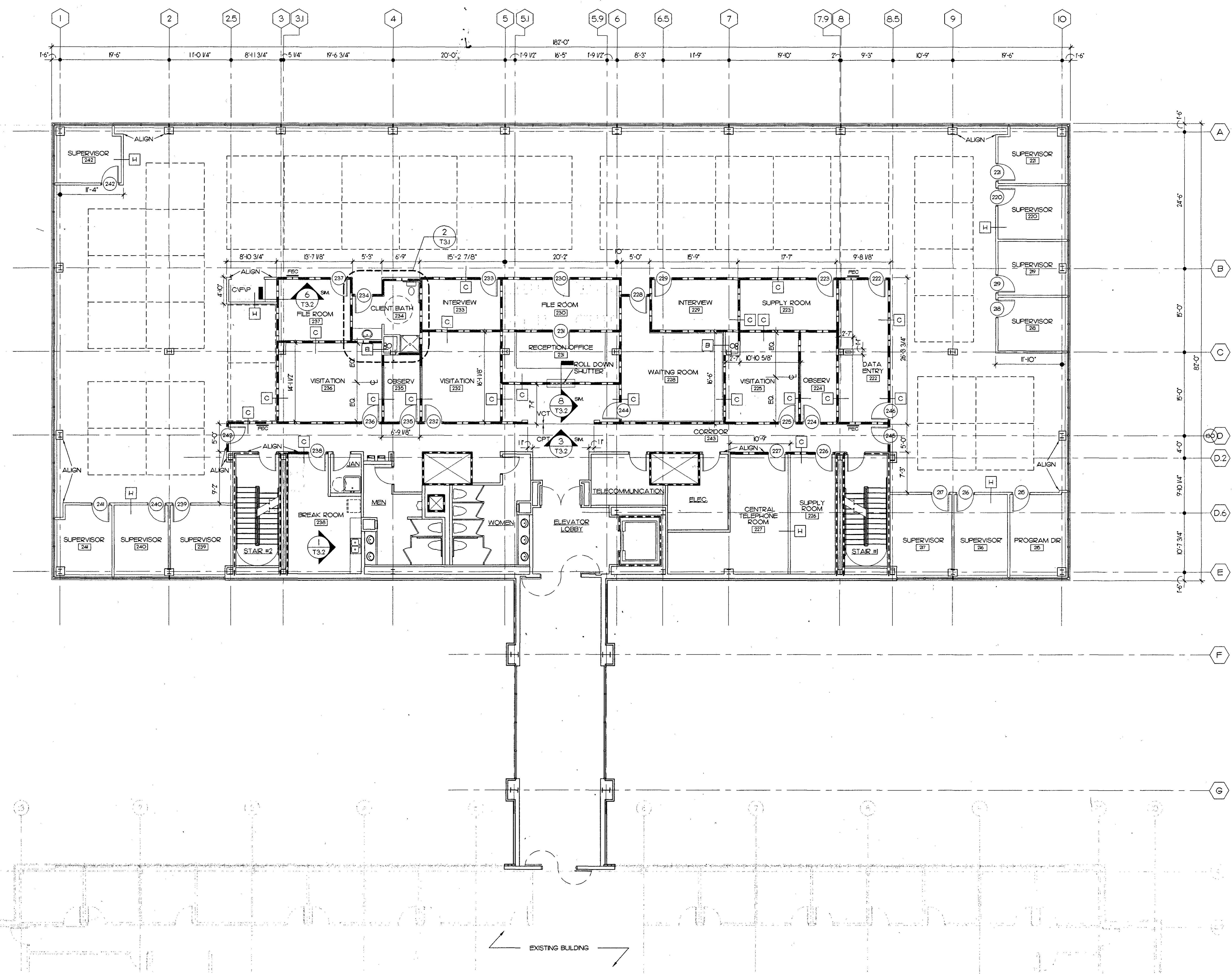
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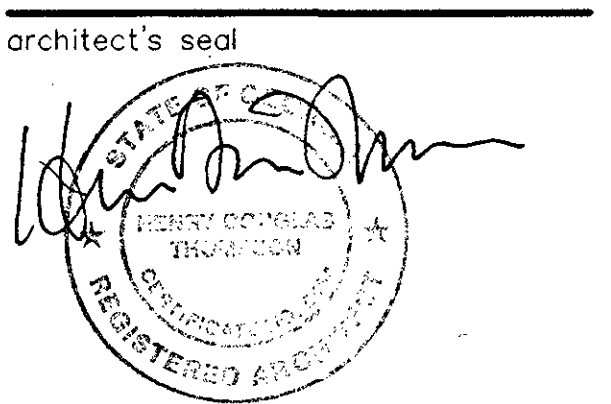
12-10-97 OWNER REVIEW  
1-9-98 BUILDING PERMIT



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## SECOND FLOOR PLAN

1/8" = 1'-0" FIN. FLOOR ELEV. = 106'-4"



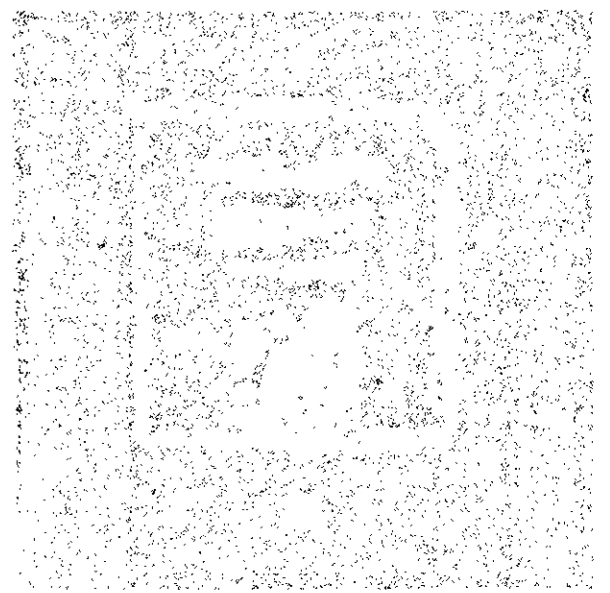
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**TRUSSELL  
BUILDING  
ADDITION**  
DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES  
sheet title  
**SECOND FLOOR PLAN**

drawn  
**JLH**  
checked  
**PWW**  
project no.  
**97081**  
date  
**1-9-98**

**T1.3**  
sheet no.  
Page 80 of 85





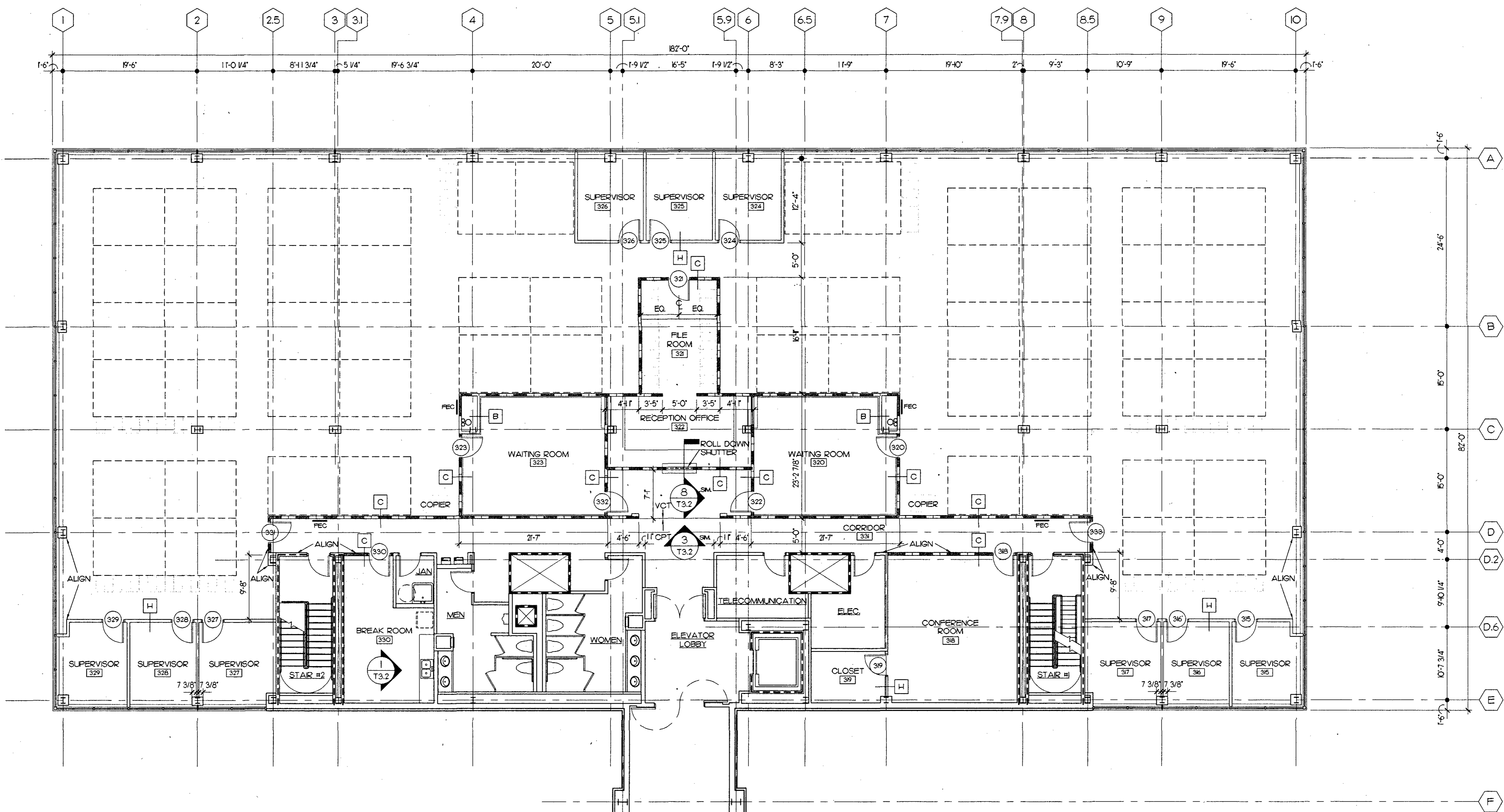
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**THIRD FLOOR PLAN**  
1/8" = 1'-0" FIN. FLOOR ELEV. = 1073'-8"

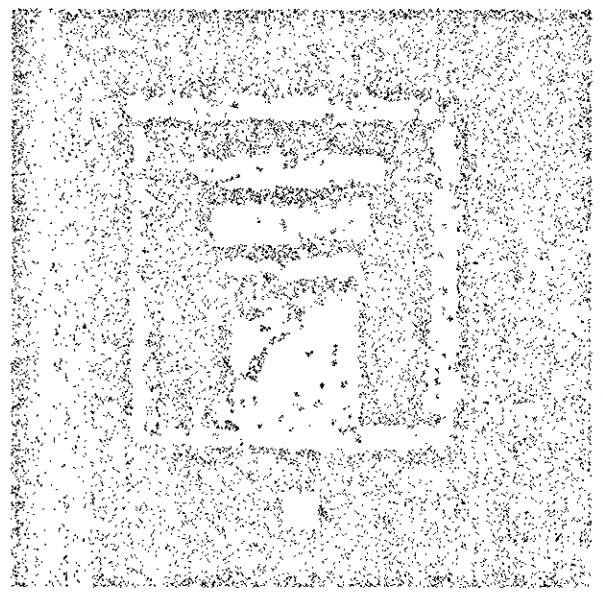
architect's seal

project name  
**TRUSSELL  
BUILDING  
ADDITION**  
DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES  
sheet title  
**THIRD FLOOR PLAN**

drawn  
**JLH**  
checked  
**PLW**  
project no.  
**97081**  
date  
**1-9-98**

**T1.4**  
sheet no.



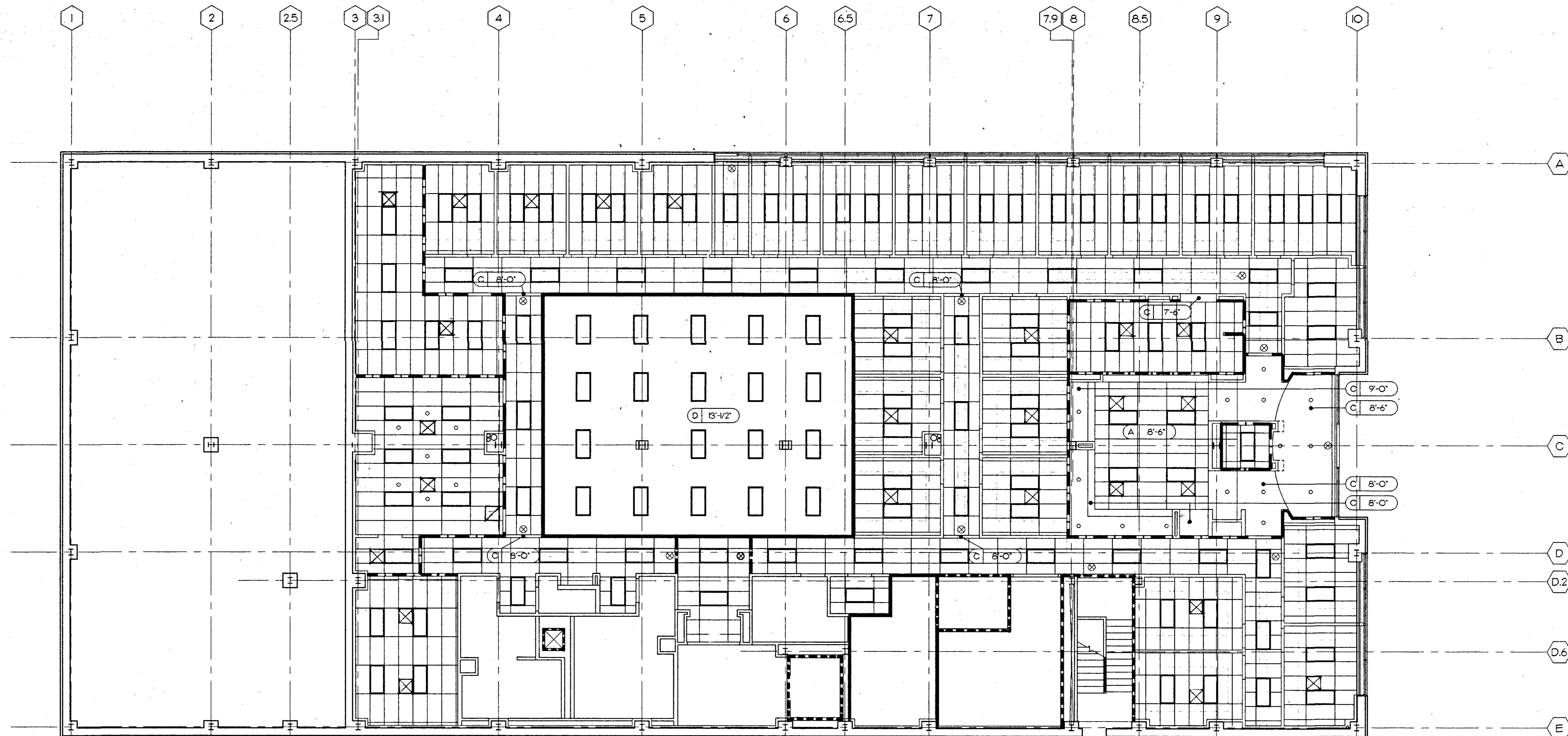
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R.C.P. SYMBOLS LEGEND	
	2' X 2' LAY-IN LIGHT FIXTURE
	2' X 4' LAY-IN LIGHT FIXTURE
	RECESSED DOWNLIGHT
	EXIT LIGHT
	RETURN AIR GRILLE
	SUPPLY AIR DIFFUSER
	SMOKE DETECTOR
	FIRE ALARM SIGNAL
	SPRINKLER HEAD
	SOUND ATTENUATION INSULATION 4'-0" TO EITHER SIDE OF PARTITIONS

CEILING SCHEDULE	
A	2' X 4' LAY-IN ACOUSTICAL CEILING TILE
B	2' X 2' LAY-IN ACOUSTICAL CEILING TILE
C	1/2" GYPSUM BOARD SUSPENDED CEILING
D	EXPOSED STRUCTURE
E	3/4" EIFS, SUSPENDED CEILING



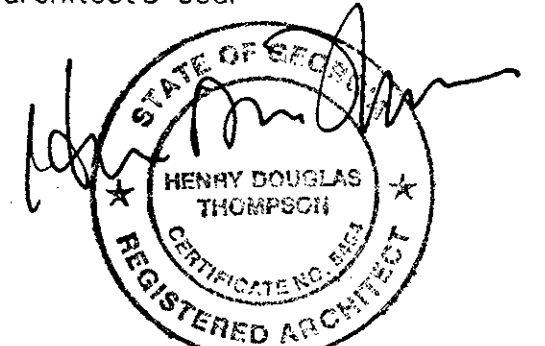
**1 GROUND FLOOR RCP**  
SCALE 1/8" = 1'-0" FIN. FLOOR ELEV. = 1033'-8"

PARTITION FIRE RATING LEGEND	
	PARTITION TO UNDERSIDE OF FLOOR SLAB ABOVE
	2 HOUR RATED WALL TO UNDERSIDE OF FLOOR SLAB
	1 HOUR RATED WALL TO UNDERSIDE OF FLOOR SLAB
	NON-RATED WALL

NOTE: ALL CEILING HEIGHTS 8'-6" AFF UNLESS OTHERWISE NOTED

p:\97046\97081\DWG\12-1 1-8-98 7:32:40 pm EST

architect's seal



project name

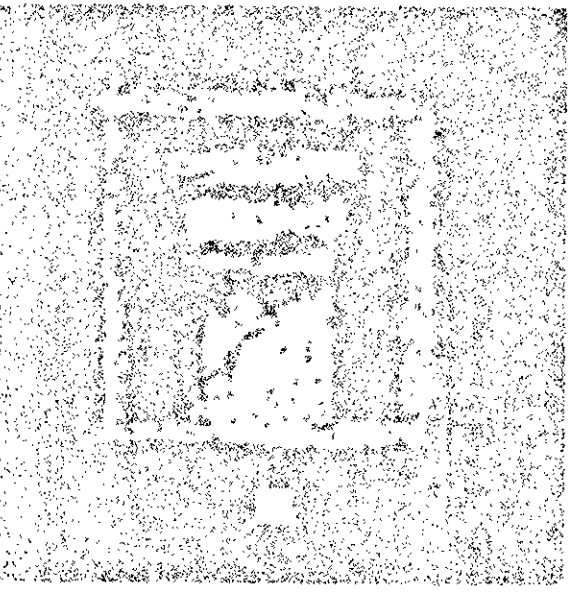
**TRUSSELL  
BUILDING  
ADDITION**  
DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES

sheet title  
**GROUND FLOOR  
REFLECTED CEILING PLAN**

drawn  
**JLH**  
checked  
**PLW**  
project no.  
**97081**  
date  
**1-9-98**

**T2.1**  
sheet no.



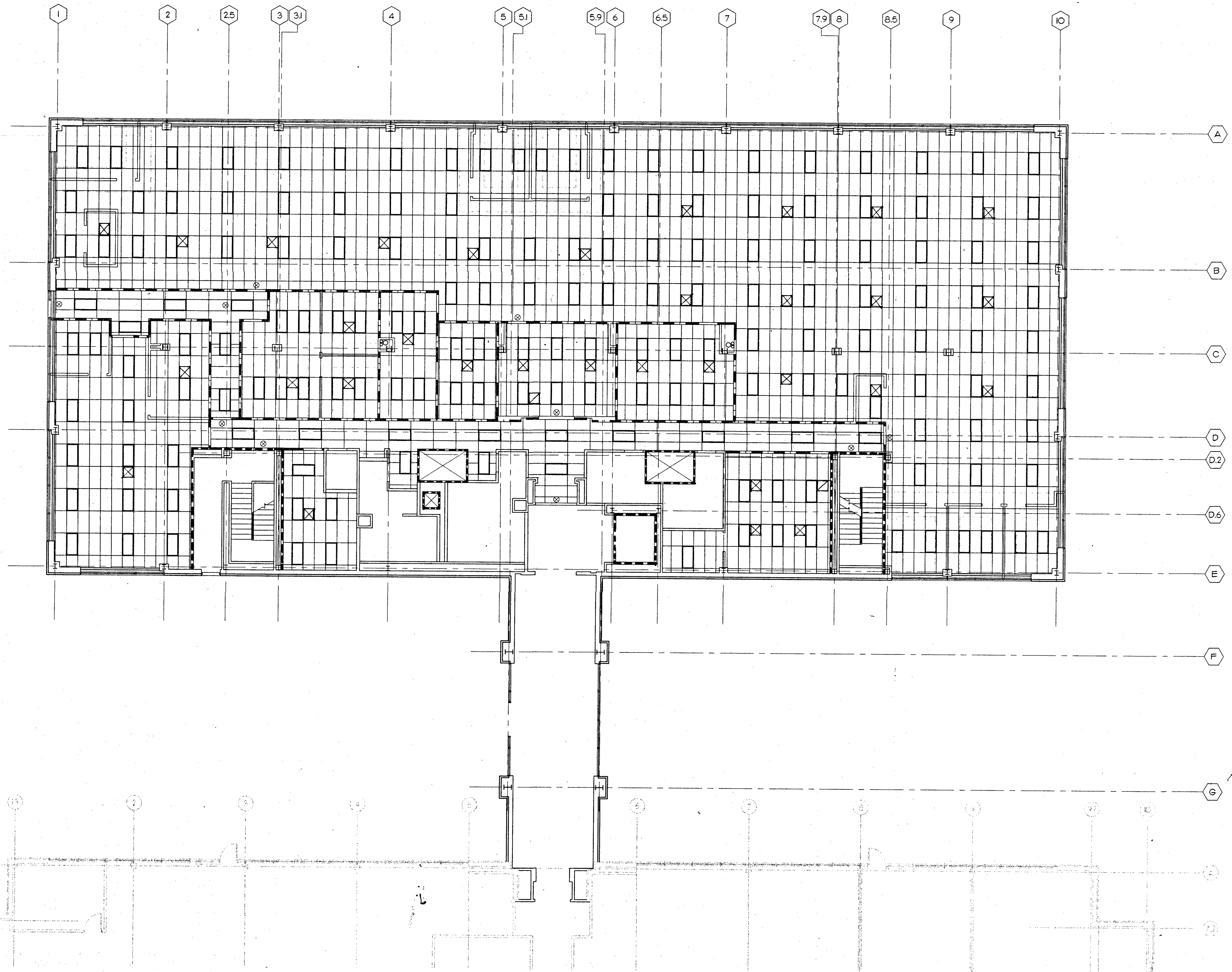
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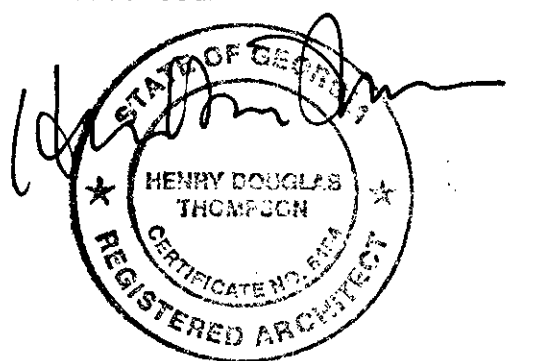
issue date/revisions

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1-9-98 BUILDING PERMIT



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architect's seal



project name

**TRUSSELL  
BUILDING  
ADDITION**

DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES

sheet title  
**FIRST FLOOR  
REFLECTED CEILING PLAN**

drawn

JLH

checked

DGW

project no.

97081

date

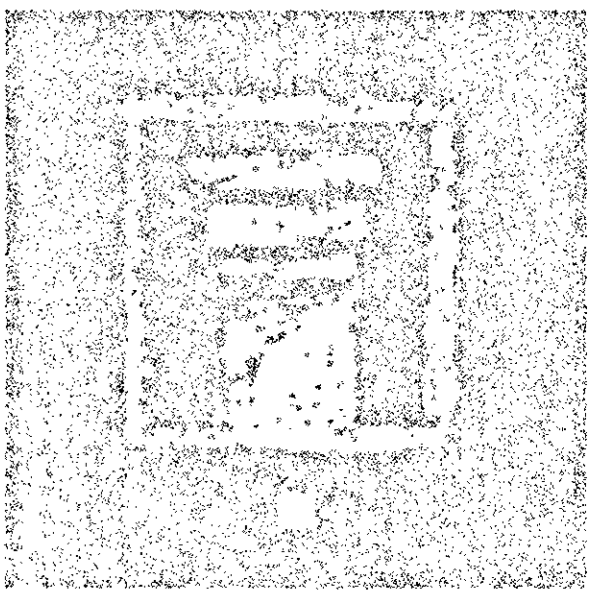
1-9-98

**T2.2**

sheet no.

Page 83 of 85

**FIRST FLOOR RCP**  
1/8" = 1'-0" FIN. FLOOR ELEV. = 1047'-0"



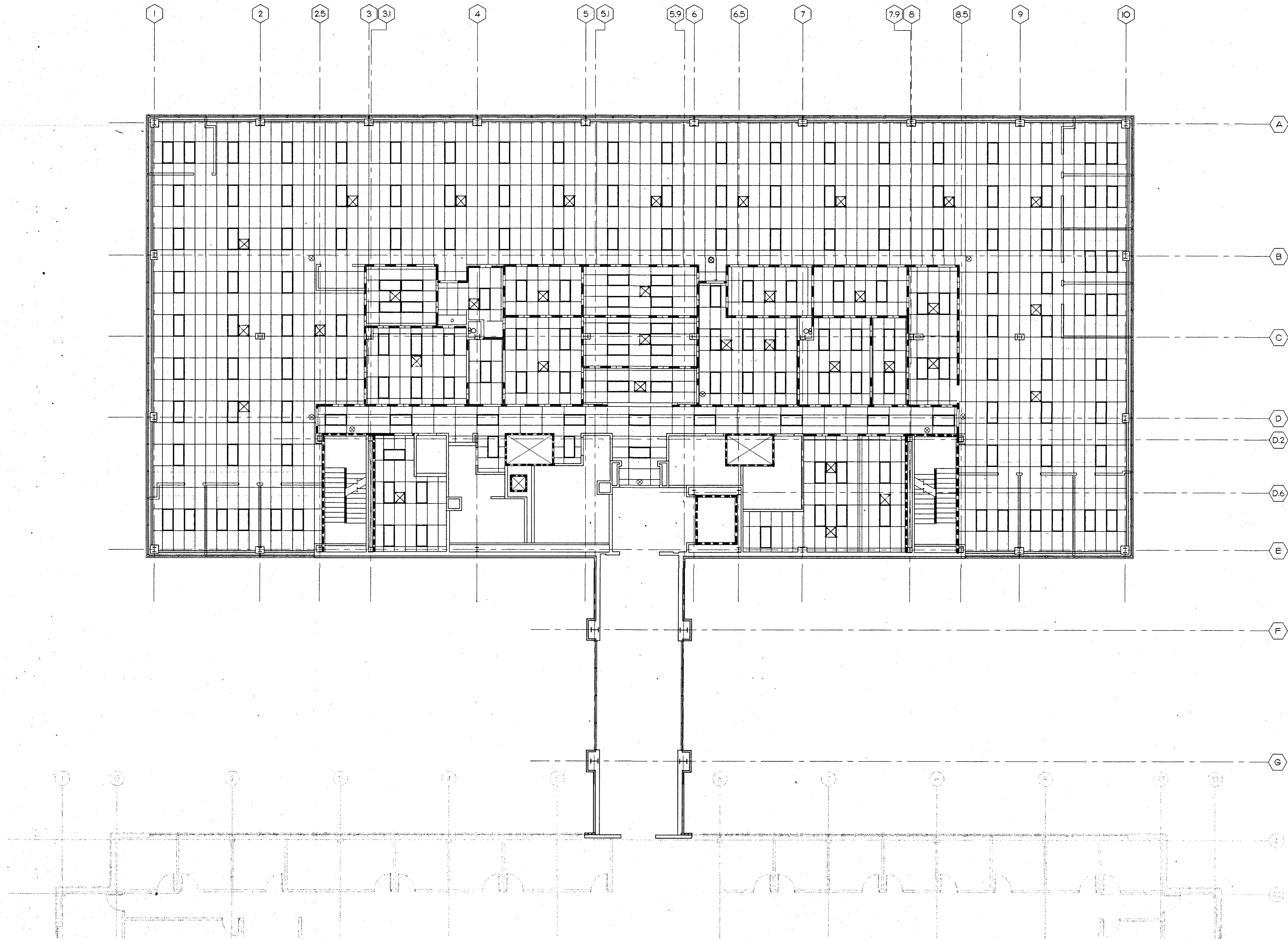
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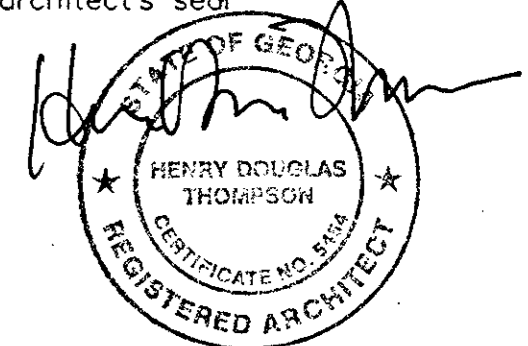
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project name

**TRUSSELL  
BUILDING  
ADDITION**

DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES

sheet title  
**SECOND FLOOR  
REFLECTED CEILING PLAN**

drawn

JLH

checked

DW

project no.

9708

date

1-9-98

**T2.3**

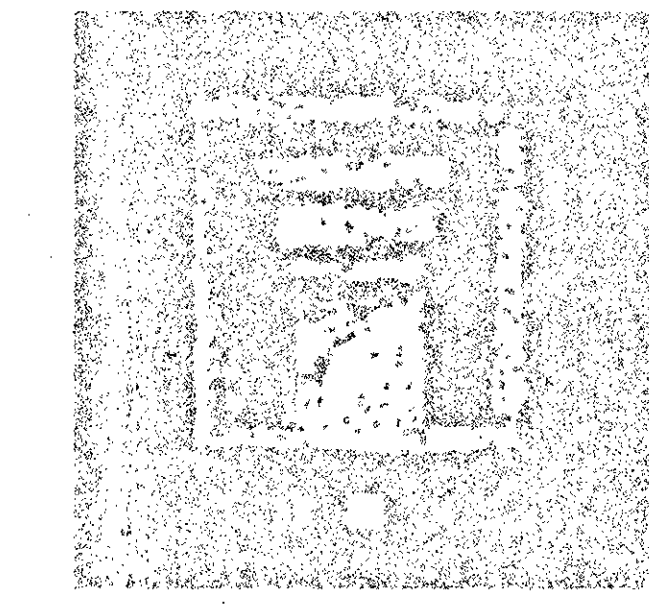
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**SECOND FLOOR RCP**

1/8" = 1'-0" FIN. FLOOR ELEV. = 106'-4"

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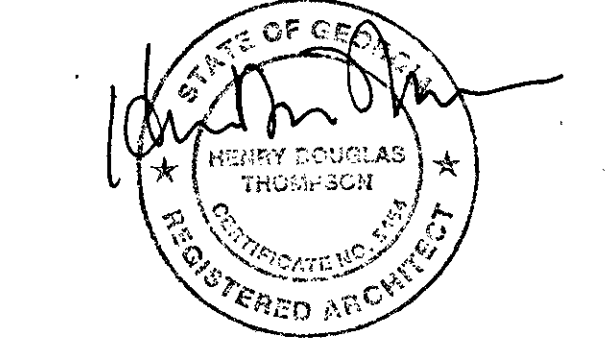
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project name

**TRUSSELL  
BUILDING  
ADDITION**

DECATUR, GEORGIA

A DEVELOPMENT OF  
CROSSING ASSOCIATES

sheet title

**THIRD FLOOR  
REFLECTED CEILING PLAN**

drawn

JLH

checked

PLW

project no.

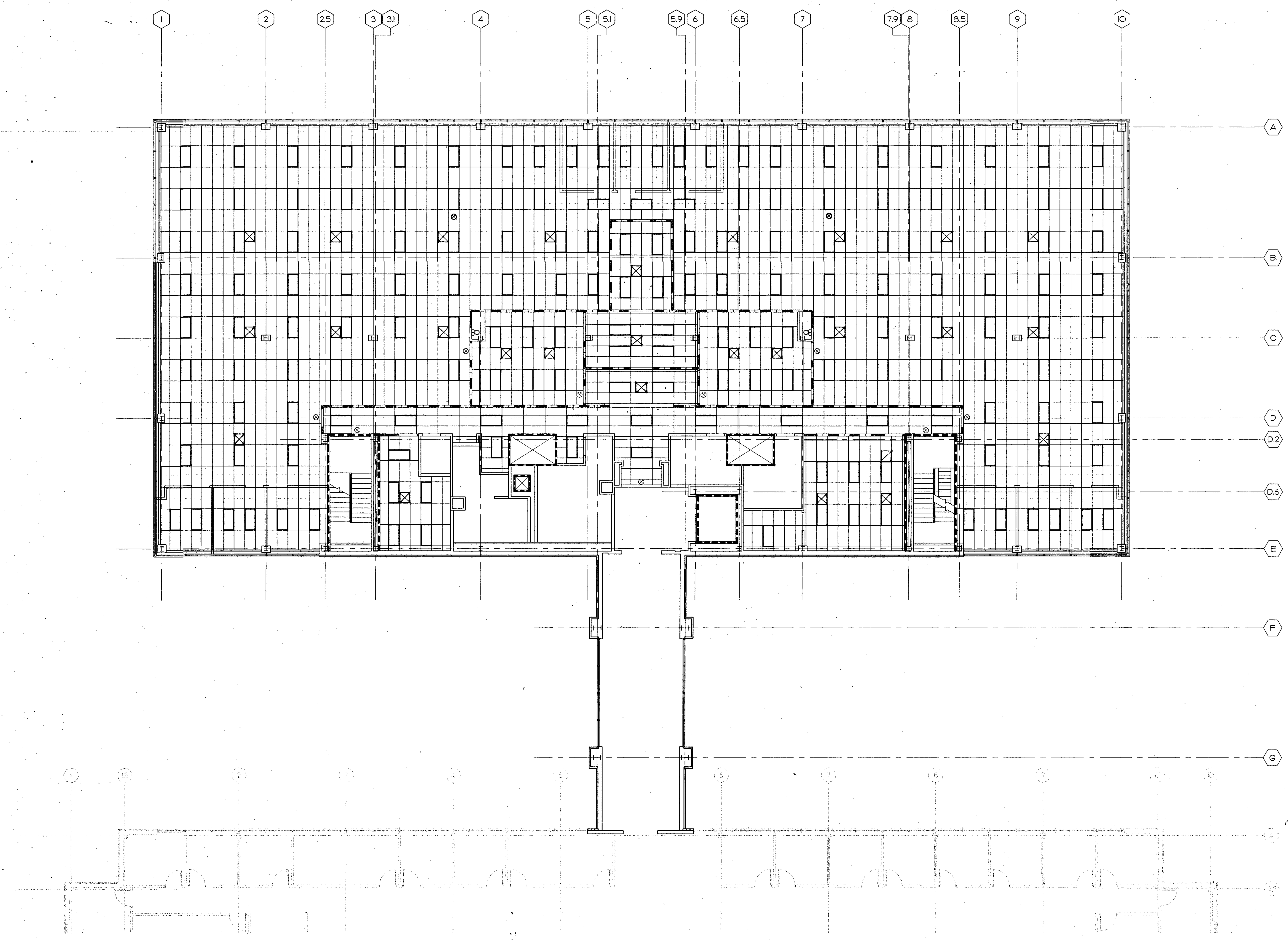
97081

date

1-9-98

**T2.4**

sheet no.



**1** THIRD FLOOR RCP  
1/8" = 1'-0" FIN. FLOOR ELEV. = 1073'-8"

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