



Department of Purchasing &
Contracting
1300 Commerce Drive, 2nd Floor
Decatur, Georgia 30030
Fax: (404) 371-7006

Date: July 14, 2020

Request for Quotation No. [20-300164](#)

DeKalb County, Georgia is requesting a quotation for the following:

I. Proposed Term:

Thirty (30) calendar days

II. Attachments:

- A. Scope of Work/ Construction Drawings
- B. Quote Form
- D. Reference Form and Reference Check Release Statement
- E. Bidder Affidavit

III. Payment Terms:

Net 30

IV. Scope of Work:

See Attachment A

V. Federal Work Authorization Program:

All qualifying contractors and subcontractors performing work with DeKalb County, Georgia must register and participate in the federal work authorization program to verify the work eligibility information of new employees. In order for a Quotation to be considered, it is mandatory that the Bidders Affidavit, Attachment E, be completed with bidder's proposal.

VI. Due Date:

All questions are due to [Jervai McConico](mailto:jmcconico@dekalbcountyga.gov) via email at jmcconico@dekalbcountyga.gov on or before 5:00 p.m. EST on July 23, 2020.

Additional Information/Addenda

The County will issue responses to inquiries and any other corrections or amendments it deems necessary in written addenda issued prior to the due date. Bidders should not rely on any representations, statements or explanations other than those made in this RFQ or in any addendum to this RFQ. Where there appears to be a conflict between the RFQ and any addenda issued, the last addendum issued will prevail. It is the responsibility of the Bidder to ensure awareness of all addenda issued for this solicitation. Please acknowledge the addenda and submit to the DeKalb County Department of Purchasing and Contracting as requested. Bidders may contact the above listed contact person to verify the number of addenda prior to submission. Addenda issued for this RFQ will be posted on DeKalb County's website, <https://www.dekalbcountyga.gov/informalbids>. Bidder should regularly check the County's website for addenda.

Quotes are due on or before 5:00 p.m. EST on July 29, 2020. Bidder must complete and return the quote form, reference form, bidder affidavit and provide a copy of Bidder's valid business license to DeKalb County by email to the attention of [Jervai McConico](mailto:jmcconico@dekalbcountyga.gov) or email to jmcconico@dekalbcountyga.gov.

The County will hold a MANDATORY Site Visit and Conference on Monday, July 21, 2020 at 11:00 am. The meeting will be held at 1300 Commerce Dr., Decatur Ga, 30030, with all parties will meet in the lobby of the Maloof Administrative Building.


ATTENTION – DEKALB COUNTY PPE REQUIREMENT

Our Department has been advised to inform our consultants, contractors, technicians and vendors that they MUST wear PPE to include a mask and gloves when entering and working at any and all DeKalb County Facilities sites effective immediately. There will be no exceptions. Please disseminate to your teams as necessary.

All quotes are to be provided on Attachment B, Quote Form.

Thank you for your interest in doing business with DeKalb County.

Sincerely,



Jervai McConico
Procurement Agent
Department of Purchasing and Contracting

Attachments

ATTACHMENT A

PROJECT SCOPE OF WORK

The Law Department will be adding staff and will need to reconfigure an existing space (approximately 1,800 SF) to provide additional offices for legal staff and a conference room.

General Scope of Work:

The contractor will provide all work associated with the following general scope of work as outlined in the construction documents dated 06/02/2020.

- Create a new conference room at the entrance of suite.
- Reconfigure partitions to create 5 offices.
- Create an area to accommodate two cubicles.
- Provide Base and Wall Cabinets with solid surface countertop in a work area.
- Provide new carpet and paint in entire suite.

Work Conditions:

All work to be contained within the existing 1,800 SF suite.

The suite will be available for renovation during weekdays, evenings, and weekends.

It is assumed the remainder of the building will be occupied and accommodations will need to be made by the contractor not to impede the County's ability to conduct regular business.

The contractor will need to follow protocol to safeguard the health and safety of the employees, to be cognizant of noise level and be aware that there may be noise restrictions on certain days, and to limit the hauling of construction debris and materials to evenings and weekends.

HVAC registers and grilles will need to be shielded during construction to protect the remainder of the building.

The contractor will provide a dumpster on site and elevator protection.

Exclusions:

Fixtures, Furnishings and Equipment are excluded from the scope of this contract and are shown on the plans for information only.

Voice, Data and Cabling are excluded from the scope of work.

Permitting:

The contractor will need to submit plans and secure a building permit from the City of Decatur to include payment of permit fees.

Designer of record:

Southern Design Concepts of Atlanta

Architect: Jeffrey M. Cochran
jeffcochran@gmail.com

DeKalb County Law Offices Renovation

Maloof Building

1300 Commerce Drive, 4th Floor

Decatur, GA 30030

BUILDING CODE ANALYSIS / DESIGN CRITERIA

USE GROUP:	BUSINESS
CONSTRUCTION CLASS:	CLASS IIB, UNPROTECTED, SPRINKLERED
MINIMUM INTERIOR FINISH	CLASS B FOR EXIT ACCESS HALL AND OTHER EXIT-WAYS CLASS C FOR ROOMS AND ENCLOSED SPACES
CLASSIFICATION OF WORK:	ALTERATION - LEVEL 2 (IEBC 504) -RECONFIGURATION OF SPACE -ADDITION/ELIMINATION OF DOOR/WINDOWS -WORK AREA IS <50% OF THE AREA OF THE BUILDING
FBC/AC ACCESSIBILITY COMPLIANCE	COMPLIES WITH 2015 GEORGIA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

DRAWING INDEX

A0.0	COVER SHEET
A1.1	DEMOLITION PLAN
A1.2	DEMOLITION CEILING PLAN
A1.3	NEW WORK FLOOR PLAN
A1.4	NEW WORK CEILING PLAN
A1.5	LIFE SAFETY PLAN
A1.6	DETAILS / SCHEDULES
A1.7	PROPOSED FURNITURE LAYOUT

GOVERNMENTAL CODES & STANDARDS

BUILDING	2018 IBC (W/ 2020 GA AMENDMENTS)
ELECTRICAL	NFPA 70 - NATIONAL ELECTRICAL CODE 2017
PLUMBING	2018 IPC (W/ 2020 GA AMENDMENTS)
MECHANICAL	2018 IMC (W/ 2020 GA AMENDMENTS)
FIRE	IFC 2018
FUEL GAS	IFGC 2018 (W/ 2020 GA AMENDMENTS)
ENERGY CONSERVATION	IECC 2015 (W/ 2020 GA AMENDMENTS)
ACCESSIBILITY	GA ACCESSIBILITY CODE 2015 - GAC 120-3-20
LIFE SAFETY	2018 NFPA 101 LIFE SAFETY CODE (W/ 2020 GA AMENDMENTS)
ADA	U.S. DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA) - 2010 EDITION
FIRE STANDARDS	CHAPTER 120-3-3 RULES AND REGULATIONS FOR THE STATE MINIMUM FIRE STANDARDS IN GEORGIA
RESIDENTIAL	2018 IRC (W/ 2020 GA AMENDMENTS)

SCOPE OF WORK

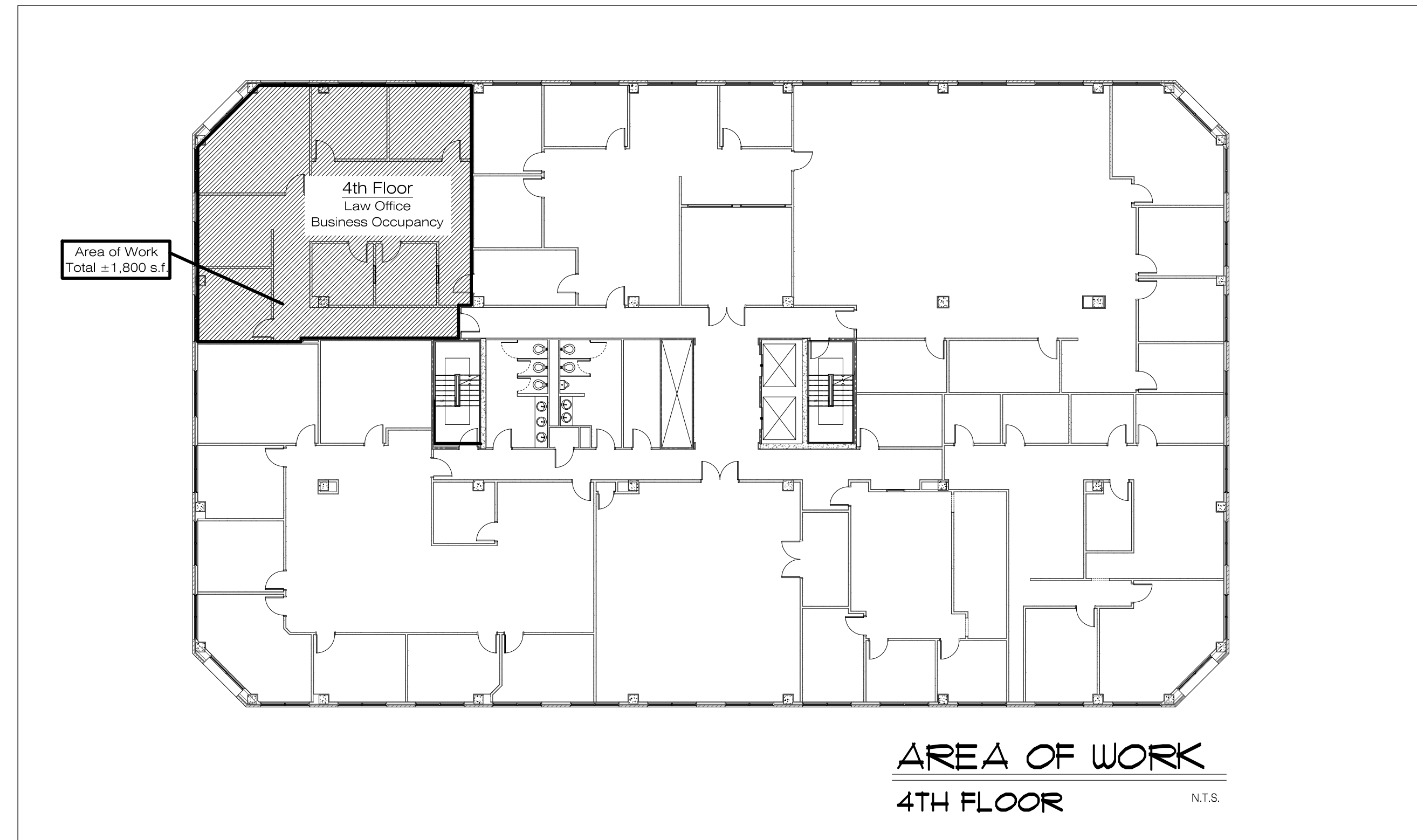
AREA OF WORK IS COMPLETELY CONTAINED WITHIN AN EXISTING SUITE.

WORK WILL INCLUDE RECONFIGURING OFFICES AND PROVIDING NEW WORK AREAS WITHOUT AFFECTING THE TOTAL NUMBER OF OCCUPANTS.

NEW CONFERENCE ROOM WILL BE PROVIDED WITHIN THE SUITE.

DOOR TO EXIT HALLWAY WILL NOT BE AFFECTED.

NO PLUMBING WORK IS INCLUDED. FIXTURE COUNT UNCHANGED.



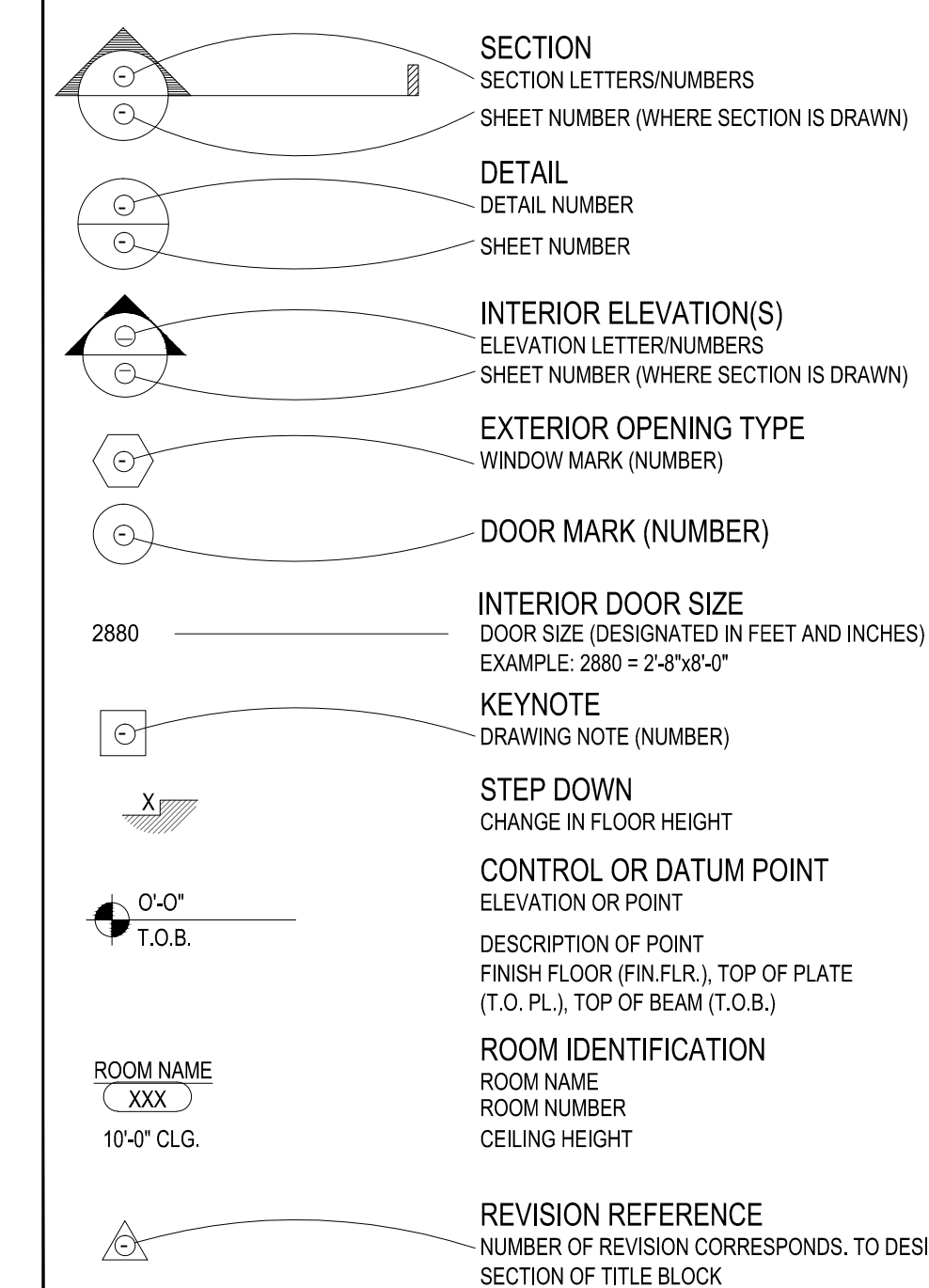
ABBREVIATIONS

ABV.	ABOVE	EA.	EACH	LT.	LIGHT	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISHED FLOOR	ELEC.	ELECTRICAL	LIN.	LINE	RM.	ROOM
A/C	AIR CONDITIONING	ELEV.	ELEVATION	LS.	LONG	R.O.	ROUGH OPENING
A.H.U.	HANDLING UNIT	EQ.	EQUAL	LOUV.	LOUVER	R/S	ROUGHSAWN
ALT.	ALTERNATE	EXH.	EXHAUST	MFR.	MANUFACTURER	SHTG.	SHEATHING
AL.	ALUMINUM	EXP.	EXPANSION	M.BTH.	MASTER BATH	SIM.	SIMILAR
AVG.	AVERAGE	JT. EXT.	JOINT EXTERIOR	M.BR.	MASTER BEDROOM	S.H.	SINGLE HUNG
BTH.	BATH	ETC.	ETCETERAS	MAX.	MAXIMUM	SGD	SLIDING GLASS DOOR
BM.	BEAM	FIN.	FINISH	M.C.	MEDICINE CABINET	SLP.CLG.	SLOPING CEILING
BR.	BEDROOM	F.G.	FINISH GRADE	MIN.	MINIMUM	S.C.	SOLID CORE
B.F.	BI FOLD	F.P.	FIREPLACE	MICRO.	MICROWAVE	SQ.FT.	SQUARE FOOT
B.P.	BI PASS	F.R.	FIRE RATED	MONO.	MONOLITHIC	TEMP.GL.	TEMPERED GLASS
BLKG.	BLOCKING	FLSHG.	FLASHING	N.I.C.	NOT IN CONTRACT	TEXT.	TEXTURED
BD.	BOARD	F.D.	FLOOR DRAIN	N.T.S.	NOT TO SCALE	T.B.	TIE BEAM
B.B.	BOND BEAM	FLR.	FLOOR	O.C.	ON CENTER	T & G	TONGUE AND GROOVE
BOT.	BOTTOM	FLR. JST.	FLOOR JOISTS	OPP.	OPPOSITE	T.O.B.	TOP OF BEAM
CLG.	CEILING	FLUOR.	FLUORESCENT	O.H.	OVERHANG	T.O.P.	TOP OF PLATE
CLG. JST.	CEILING JOIST	FTG.	FOOTING	O.H.D.	OVERHEAD DOOR	TRANS.	TRANSOM
CEM.	CEMENT	GALV.	GALVANIZED	P.TD.	PAINTED	TR.	TREAD
CL	CENTER LINE	GA.	GAUGE	PR.	PANTRY </td <td>TR.</td> <td>TYPICAL</td>	TR.	TYPICAL
CER. T.	CERAMIC TILE	GL.	GLASS	P.T.	PAINTED	U.N.O.	UNLESS NOTED OTHERWISE
CLR.	CLEAR	G.T.	GIRDER TRUSS	P.T.	PANTRY	U.L.	UNDERWRITERS LABORATORY
COL.	COLUMN	GRD.	GRADE	PART.	PARTITION	V.T.R.	VENT THRU ROOF
CONC.	CONCRETE	GYP. BD.	GYP. BOARD	PL.	PLATE	VERT.	VERTICAL
C.M.U.	CONC. MASONRY UNITS	HDR. HT.	HEADER HEIGHT	PLYWD.	PLYWOOD	V.C.T.	VINYL COMPOSITION
CONST.	CONSTRUCTION	H.B.	HOSE BIBB	PKT.	POCKET	W.I.C.	WALK IN CLOSET
C.W.	COLD WATER	H.C.	HOLLOW CORE	P.S.I.	POUNDS PER SQ. INCH	W.	WASHER WATER
DET.	DETAIL	HR.	HOUR	P.S.F.	POUNDS PER SQ. FOOT	W.C.	W.CLOSET
DIA.	DIAMETER	H.S.	HORIZONTAL	P.T.	PRESSURE TREATED	W.P.	WATERPROOFING
DISP.	DISPOSAL	INFO.	INFORMATION	P.L.	PROPERTY LINE	W.W.M.	WELDED WIRE
D.W.	DISHWASHER	INSUL.	INSULATION	RAD.	RADIUS	W.	WITH
DBL.	DOUBLE	INT.	INTERIOR	REF.	REFRIGERATOR	W/O	WITHOUT
DBL. PL.	DOUBLE PLATE	LAUND.	LAUNDRY	REQD.	REQUIRED	WD.	WOOD
DR.	DOOR	LAV.	LAVATORY	REV.	REVISION	W.I.	WROUGHT IRON
DN.	DOWN			R.	RISER		
D.S.	DOWN SPOUT			R. & S.	ROD & SHELF		
DWGS.	DRAWINGS						
DRY.	DRYER						

GENERAL NOTES

- THE CONTRACTOR OF WORK SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND COORDINATE WITH ALL TRADES.
- DEMOLISH SO THAT CONSTRUCTION, NEW AND EXISTING, CAN BE PERFORMED AND COMPLETED IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION AND CONSTRUCTION OPERATIONS.
- PROMPTLY PATCH AND REPAIR HOLES AND DAMAGE CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.
- EXISTING ELECTRICAL DEVICES AND EQUIPMENT, NOT SHOWN ON DRAWINGS ARE TO REMAIN UNLESS OTHERWISE NOTED.
- WRITTEN NOTIFICATION TO THE ARCHITECT OF RECORD OF ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND CERTIFICATES NECESSARY TO COMPLETE THE WORK DESCRIBED HEREIN, AND SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
- THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR SUPERVISION, CONSTRUCTION METHODS OR TEMPORARY BRACING DURING CONSTRUCTION.
- ALL EQUIPMENT, MATERIALS, AND FINISHES ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE FOR BUILDING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
- COORDINATE SELECTION OF FINISHES / MATERIALS / PAINT COLORS WITH DEKALB COUNTY PROJECT MANAGER AND PER FINISH SCHEDULE.

SYMBOLS



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DeKalb County Law Offices Renovation
Maloof Building
1300 Commerce Drive, 4th Floor
Decatur, GA 30030

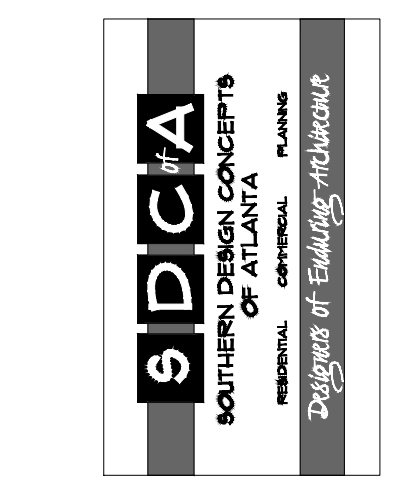
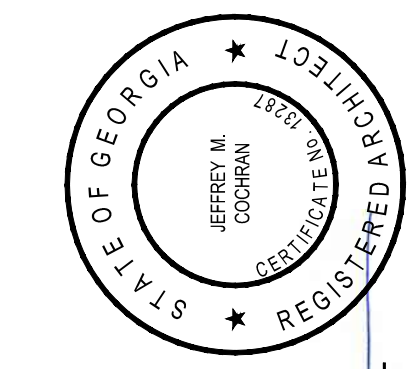
CONSTRUCTION SET: 06-02-20

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GENERAL NOTES:

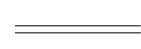

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES, REGULATIONS, AND THE CURRENT BUILDING CODE WITH ALL CURRENT ADOPTED EDITIONS.
- CONTRACTOR AND/OR SUB-TRADES SHALL PRIOR TO ANY SITE DISTURBANCE, VERIFY ALL SITE AND SOIL CONDITIONS AND REPORT AND DOCUMENT THE EXISTING CONDITIONS TO THE OWNER AND/OR HIS/HER REPRESENTATIVES.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE GENERAL CONTRACTOR AND/OR SUB-TRADES SHALL REPORT ANY PLAN OR DOCUMENT DISCREPANCIES TO SOUTHERN DESIGN CONCEPTS OF ATLANTA, JEFFREY M. COCHRAN (SEE TITLE BLOCK), THE GENERAL CONTRACTOR, HIS/HER SUB-TRADES AND REPRESENTATIVES WILL ASSUME ALL RESPONSIBILITIES FOR DISCREPANCIES NOT REPORTED IN WRITING TO AND FOR CLARIFICATION FROM SOUTHERN DESIGN CONCEPTS OF ATLANTA.
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- ALL DRAWINGS, DETAILS, SECTIONS, ETC. SHALL NEVER BE SCALED.
- STRUCTURAL FOOTINGS SHOULD ALWAYS BE BELOW THE REQUIRED LOCAL FROST LINE AND MUST REST ON UNDISTURBED OR ENGINEERED FILL VERIFIED BY A LICENSED ENGINEER. A LICENSED ENGINEER SHALL BE CONSULTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO VERIFY PROPOSED FOOTING SIZES, DEPTHS AND REBAR REQUIREMENTS BASED UPON THE PROJECT'S SITE CONDITIONS AND LOCAL CODES.
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- ALL FLOOR AND ROOF MEMBERS SHOWN ON THE DRAWINGS/DOCUMENTS SHALL BE ASSUMED TO BE A PRE-ENGINEERED SYSTEM UNLESS NOTED OTHERWISE.
- ALL WOOD FRAMING MEMBERS USED SHALL BE APPROVED FOR USE BY LOCAL/NATIONAL BUILDING CODES.

Jeffrey M. Cochran
334 Hooftest Trail
Kennesaw, Georgia 30144
404-333-1116
#13267



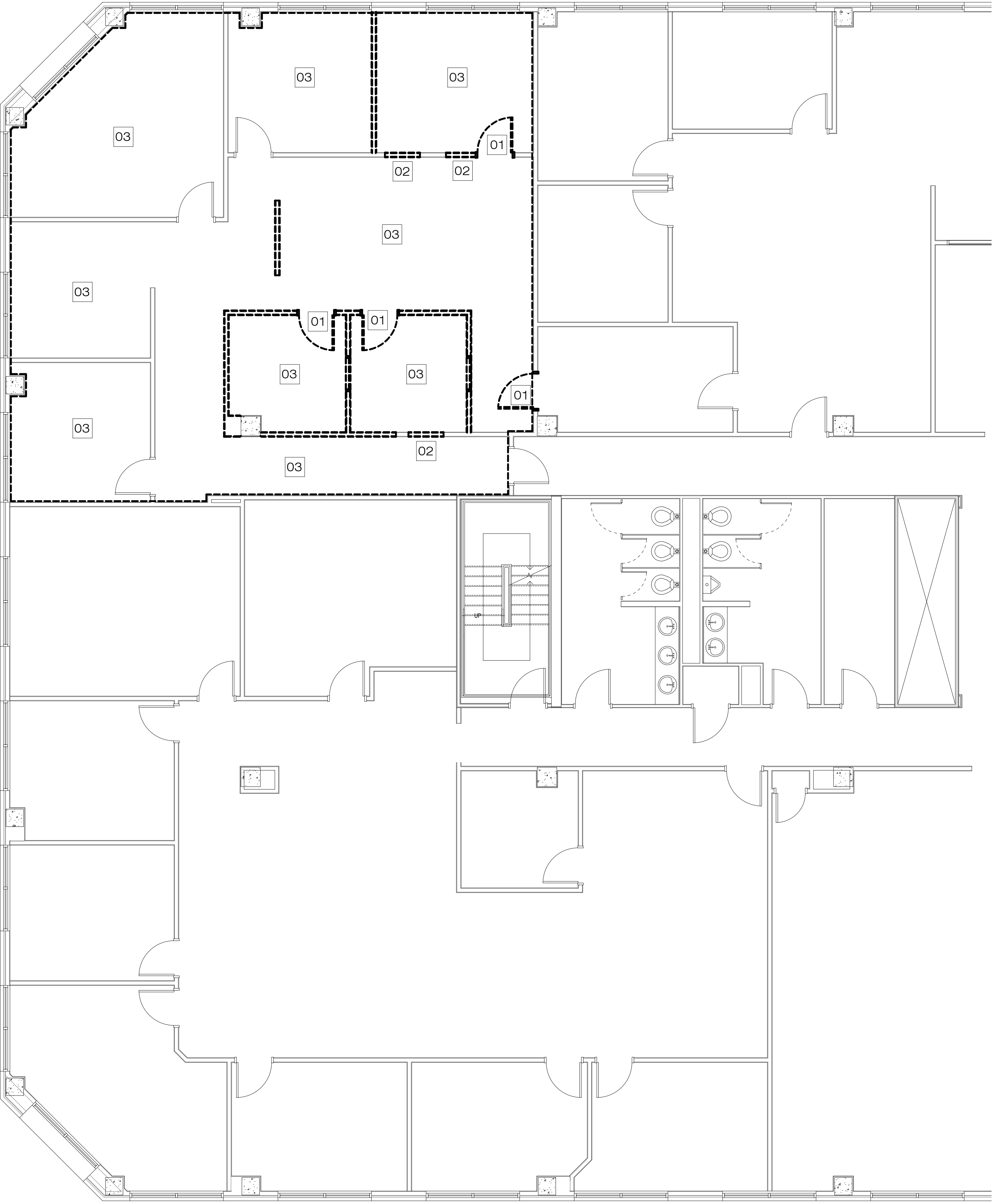
Disclaimer: These plans, designs and drawings have been prepared as an architectural guide and should be used for that purpose. These plans, designs and drawings should be reviewed prior to construction by a licensed General Contractor or Engineer. A final structural analysis should be completed prior to construction by a licensed General Contractor or Engineer.

DEMOLITION LEGEND:

	EXISTING WALLS/DOORS TO REMAIN
	EXISTING WALLS / DOORS TO BE REMOVED

SHEET NOTES

01	SALVAGE DOOR FOR REUSE IN NEW LOCATION
02	DEMO AS REQD FOR NEW DOOR ROUGH OPENINGS
03	REMOVE EXISTING FLOOR FINISH AND BASE THROUGHOUT ENTIRE SUITE



DEMOLITION PLAN

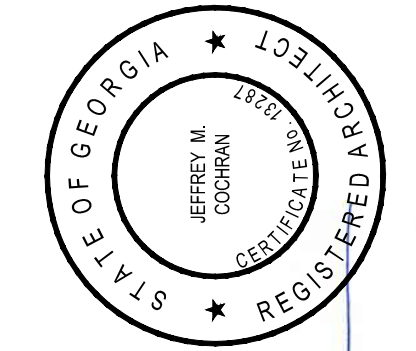
SCALE 3/16" = 1'-0"

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Jeffrey M. Cochran
 334 Hooftbeat Trail
 Kennesaw, Georgia 30144
 404-330-1116
 #73267



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Maloolf Building
1300 Commerce Drive, 4th Floor
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CONSTRUCTION SET: 06-02-20

A1.1

CEILING FINISH

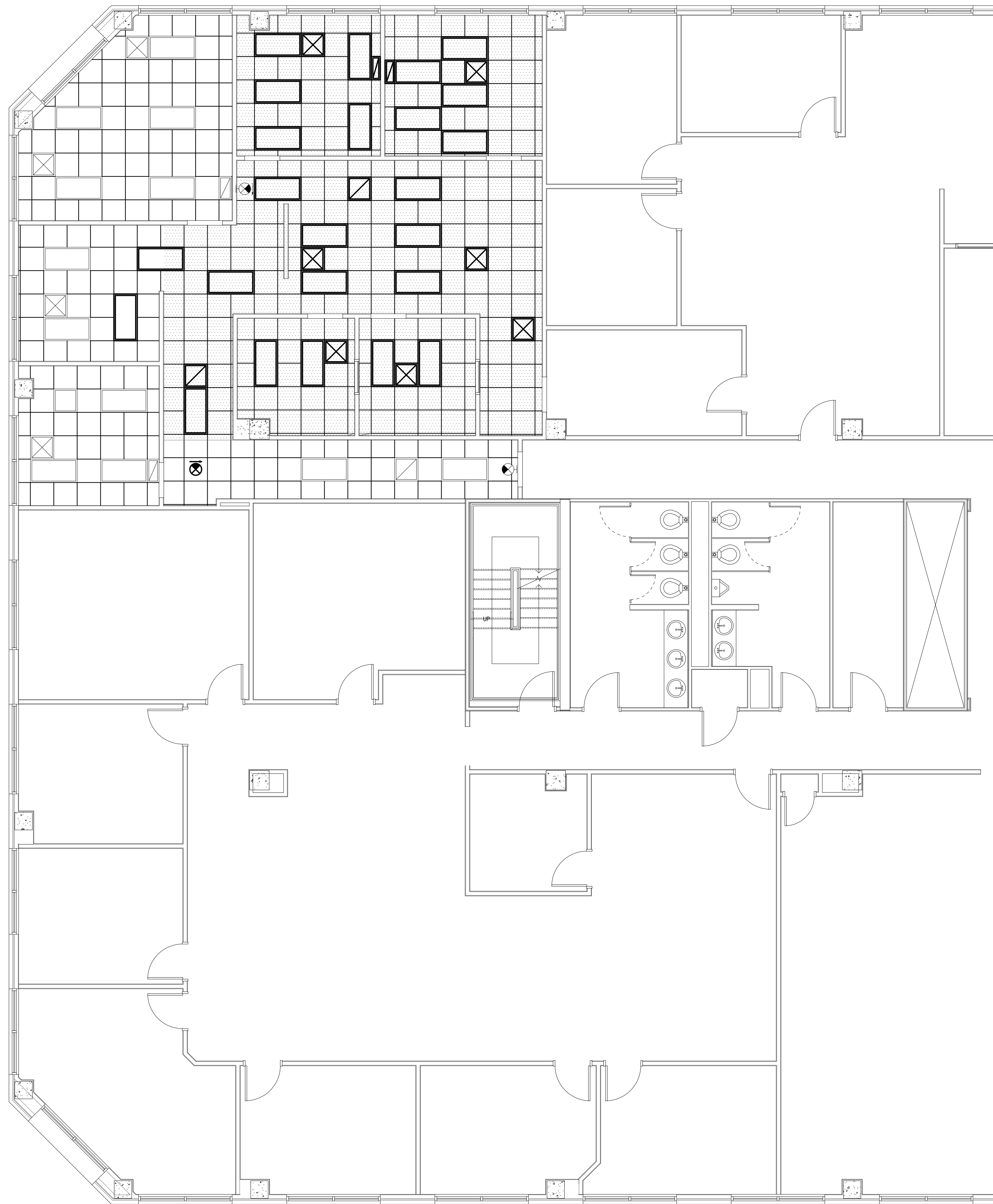
- A ACCOUSTICAL CEILING TILE
- B GYPSUM BOARD CEILING
- C PERFORATED METAL PANEL CEILING
- D SECURITY GYPSUM BOARD
- E SECURITY ACCOUSTICAL CEILING TILE
- F SUSPENDED EIFS SYSTEM
- G NO CEILING FINISH
- H ALUMINUM PANEL SYSTEM
- J GLASS FIBER REINFORCED GYPSUM

CEILING LEGEND:

- SPEAKER
- 2X4 FLOURESCENT LIGHT FIXTURE
- 2X2 FLOURESCENT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 2X2 DIFFUSER
- 2X2 SUPPLY
- PENDANT LIGHT FIXTURE
- CEILING HEIGHT XX'-X"
- CEILING FINISH

DEMOLITION LEGEND:

- EXISTING LIGHTS/VENTS TO REMAIN
- EXISTING LIGHTS/VENTS TO BE SALVAGED, CLEANED, AND REINSTALLED
- 2x2 SUSPENDED CEILING GRID SYSTEM AND TILE TO REMAIN
- 2x2 SUSPENDED CEILING GRID SYSTEM AND TILE TO BE REMOVED AS REQUIRED FOR THE WORK, SALVAGE AND REUSE TO INFILL AS NEEDED



DEMOLITION CEILING PLAN

SCALE 3/16" = 1'-0"

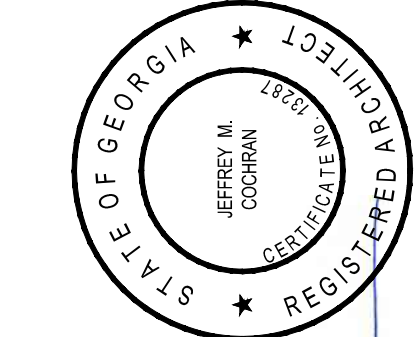
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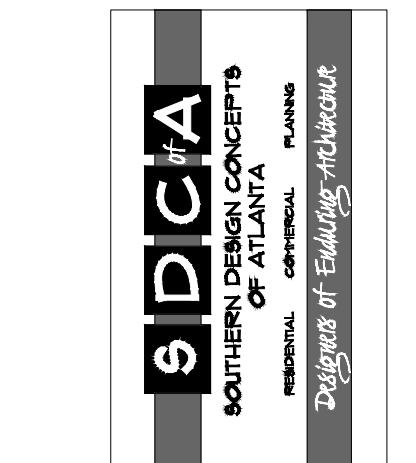
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Jeffrey M. Cochran
334 Hooftbeat Trail
Kennesaw, Georgia 30144
404-333-1116
P.E. 4/13/2011

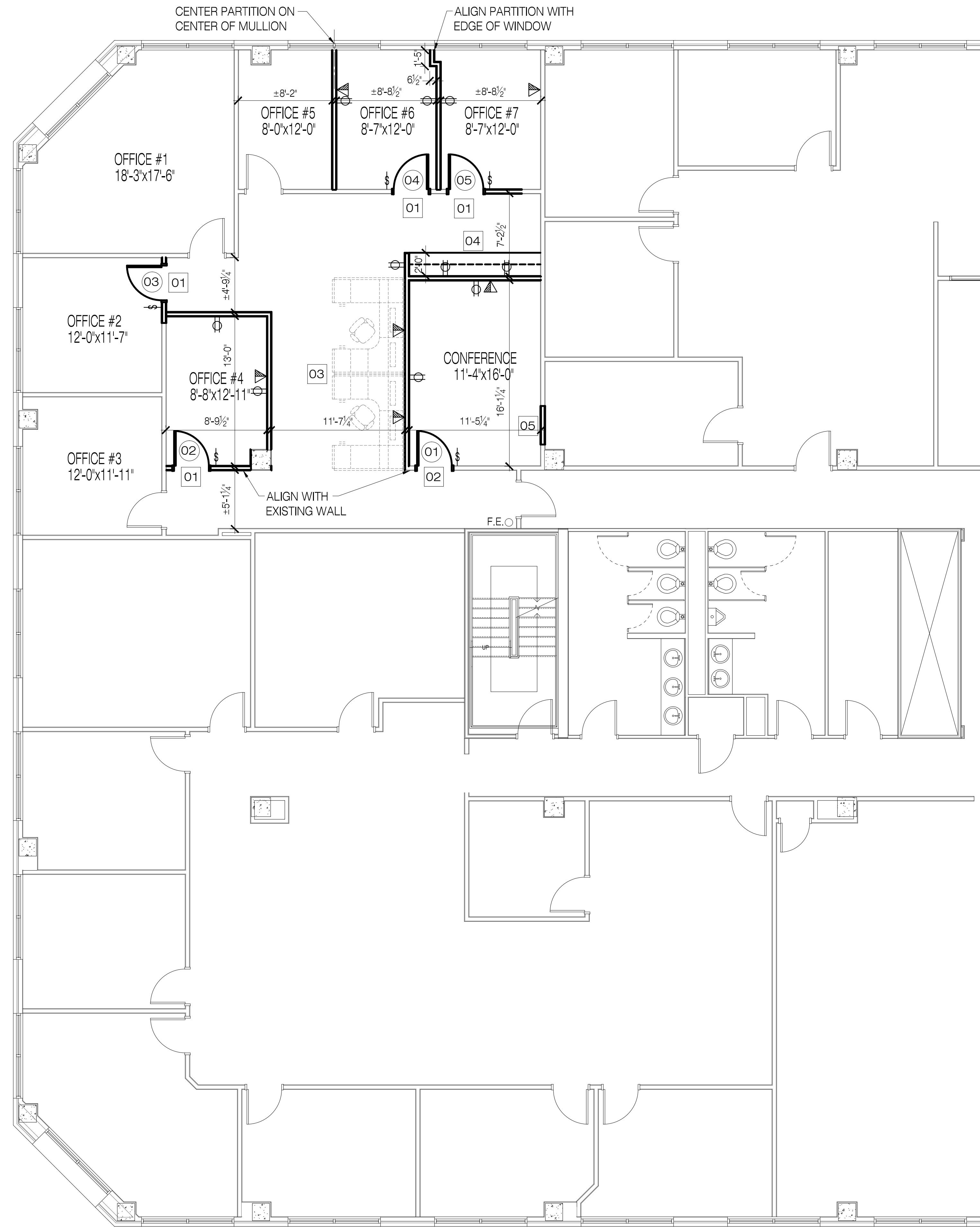


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DeKalb County Law Offices Renovation
Maloolf Building
1300 Commerce Drive, 4th Floor
Decatur, GA 30030

CONSTRUCTION SET: 06-02-20

A1.2



NEW WORK FLOOR PLAN
SCALE 3/16" = 1'-0"

NEW WORK LEGEND:

- EXISTING WALLS/DOORS
- PROPOSED WALLS/DOORS
- PROPOSED CUBICLES
- 01 SHEET NOTES
- 01 DOOR LABEL - SEE DOOR SCHED.

ELECTRICAL LEGEND:

- ⊕ DUPLEX OUTLET
- ⚡ WALL SWITCH
- ▽ PHONE / DATA

SHEET NOTES

01	REINSTALL EXISTING DOOR IN NEW LOCATION
02	PROVIDE NEW DOOR TO MATCH EXISTING
03	CUBICLES BY OWNER
04	PROVIDE NEW SOLID SURFACE COUNTER, BASE AND UPPER CABINETS. COORDINATE W/ DEKALB COUNTY PROJECT MANAGER. SEE DETAIL SHEET A1.6
05	CLOSE UP EXISTING DOOR. INFILL DOOR OPENING WITH METAL STUDS NAD INSULATION. FACE OF WALL TO MATCH EXISTING BOTH SIDES.
--	PROVIDE REQUIRED ELECTRICAL (SWITCHES, OUTLETS ETC) FOR NEW OFFICES SIMILAR TO EXISTING
--	PROVIDE NEW CARPET, COVE BASE, AND PAINT THROUGHOUT SUITE. REPAINT EXISTING WALLS AND DOOR FRAMES PER SCHEDULE
--	ALL FINISHES (PAINT, CARPET, TRIM ETC), DOORS, AND OTHER NEW WORK TO BE COORDINATED W/ DEKALB COUNTY PROJECT MANAGER. SEE DOOR AND FINISH SCHEDULES ON SHEET A1.6

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Jeffrey M. Cochran
334 Hooftbeat Trail
Kennesaw, Georgia 30144
404-333-1116
#73267

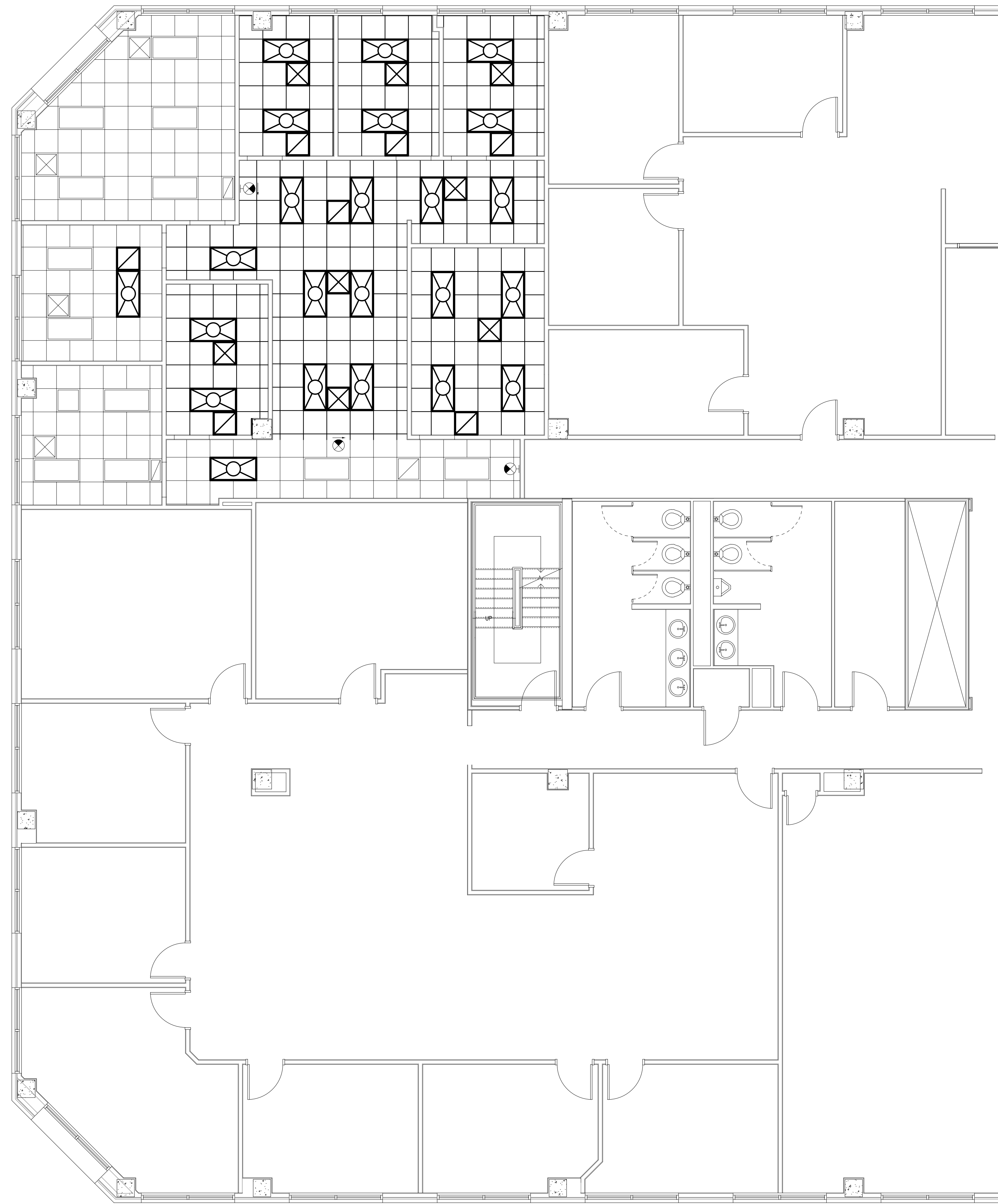
REGISTERED ARCHITECT
STATE OF GEORGIA
JEFFREY M. COCHRAN
02/2020

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ARCHITECTS
REGISTERED PROFESSIONAL ARCHITECTS

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CONSTRUCTION SET: 06-02-20
A1.3



CEILING FINISH		CEILING LEGEND:	
A	ACOUSTICAL CEILING TILE	⊙	SPEAKER
B	GYPSON BOARD CEILING	○	2X4 FLOURESCENT LIGHT FIXTURE
C	PERFORATED METAL PANEL CEILING	⊖	2X2 FLOURESCENT LIGHT FIXTURE
D	SECURITY GYPSUM BOARD	○	RECESSED LIGHT FIXTURE
E	SECURITY ACOUSTICAL CEILING TILE	⊗	2X2 DIFFUSER
F	SUSPENDED EIFS SYSTEM	⊠	2X2 SUPPLY
G	NO CEILING FINISH	○	PENDANT LIGHT FIXTURE
H	ALUMINUM PANEL SYSTEM		
J	GLASS FIBER REINFORCED GYPSUM		
	CEILING HEIGHT	⌢	XX'-X"
	CEILING FINISH		

NEW WORK LEGEND:	
⊠	EXISTING LIGHTS/VENTS
⊠	SALVAGED LIGHTS/VENTS REINSTALLED IN NEW LOCATIONS OR NEW LIGHTS/VENTS TO MATCH EXISTING AS NEEDED
⊠	EXISTING 2x2 SUSPENDED CEILING GRID SYSTEM
⊠	NEW 2x2 SUSPENDED CEILING GRID SYSTEM AND TILE. MATCH EXISTING AND/OR INFILL WITH SALVAGED TILES AS NEEDED

SHEET NOTES	
--	PROVIDE REQUIRED ELECTRICAL (SWITCHES, OUTLETS ETC) FOR NEW OFFICES SIMILAR TO EXISTING
--	ALL FIXTURES, CEILING GRIDS, TILES AND OTHER NEW WORK TO MATCH EXISTING U.N.O.

NEW WORK CEILING PLAN

SCALE 3/16" = 1'-0"

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Jeffrey M. Cochran
 334 Hootbeast Trail
 Kennesaw, Georgia 30144
 404-333-1116
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 JEFFREY M. COCHRAN
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SDCA
 SOUTHERN DESIGN CONCEPTS OF ATLANTA
 ARCHITECTURAL
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 Atlanta, GA 30329
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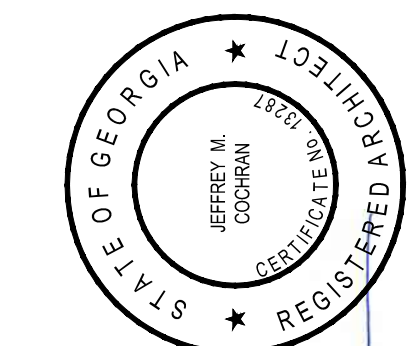
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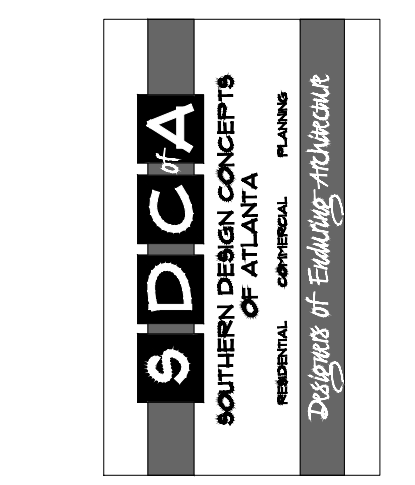
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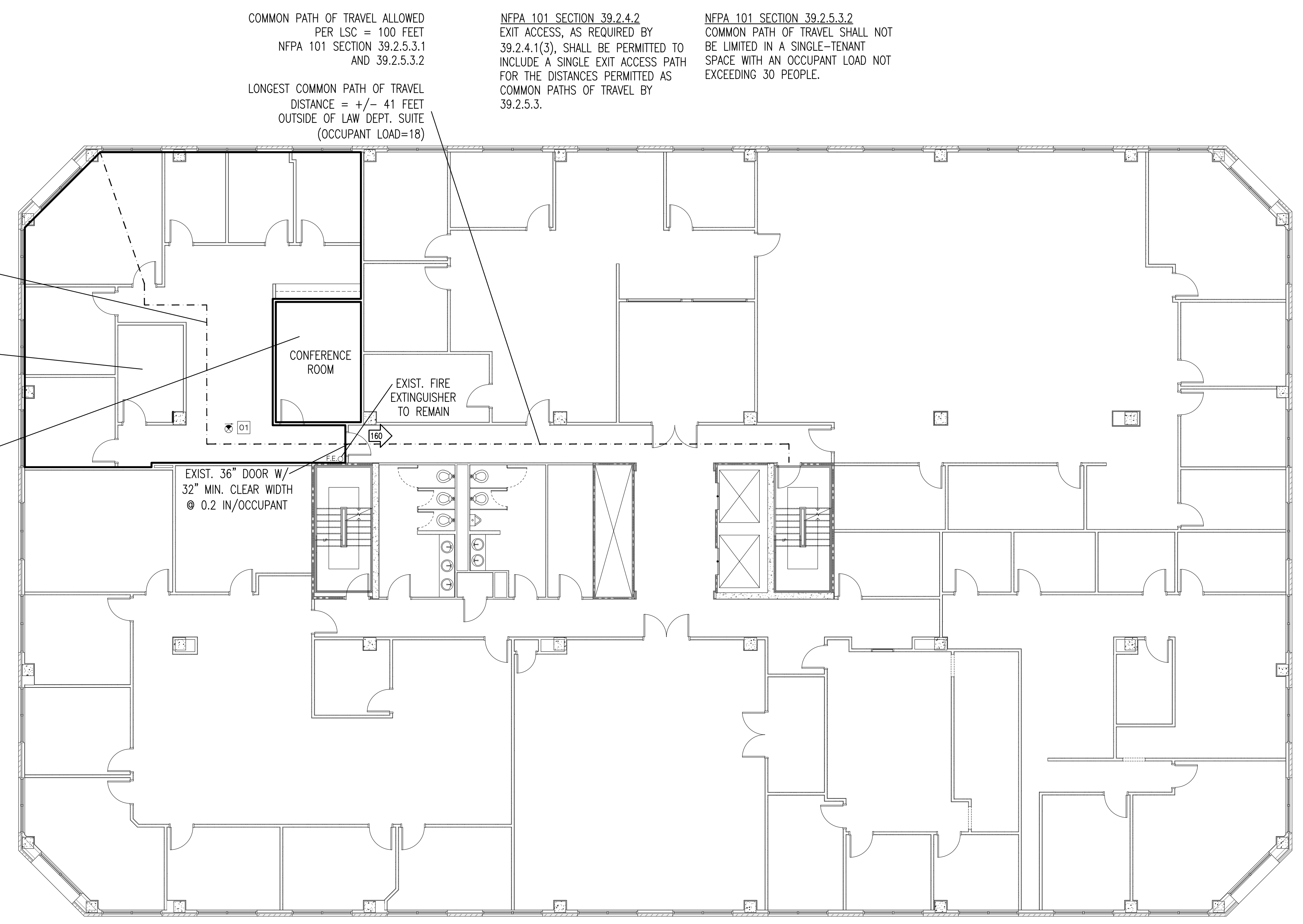
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LIFE SAFETY PLAN

N.T.S.



COMMON PATH OF TRAVEL ALLOWED PER LSC = 100 FEET
 NFPA 101 SECTION 39.2.5.3.1 AND 39.2.5.3.2

LONGEST COMMON PATH OF TRAVEL DISTANCE = +/- 41 FEET OUTSIDE OF LAW DEPT. SUITE (OCCUPANT LOAD=18)

NFPA 101 SECTION 39.2.4.2 EXIT ACCESS, AS REQUIRED BY 39.2.4.1(3), SHALL BE PERMITTED TO INCLUDE A SINGLE EXIT ACCESS PATH FOR THE DISTANCES PERMITTED AS COMMON PATHS OF TRAVEL BY 39.2.5.3.

NFPA 101 SECTION 39.2.5.3.2 COMMON PATH OF TRAVEL SHALL NOT BE LIMITED IN A SINGLE-TENANT SPACE WITH AN OCCUPANT LOAD NOT EXCEEDING 30 PEOPLE.

TRAVEL DISTANCE ALLOWED PER LSC = 300 FEET

LONGEST PROPOSED TRAVEL DISTANCE = +/- 128 FEET

LAW DEPARTMENT BUSINESS USE OCCUPANT LOAD	1,616
	150
	11

LAW DEPARTMENT COLLABORATION ROOM OCCUPANT LOAD	181
	30
	7

USE/OCCUPANT LOAD PER LSC
 NFPA 101 TABLE 7.3.1.2
 TOTAL OCCUPANT LOAD = 18

NOTE: ALL PROPOSED NEW DOORS ARE 36" WIDE WITH A MIN. 32" CLEAR WIDTH AND SHALL COMPLY WITH NFPA SECTION 7.2.1

LIFE SAFETY LEGEND:

- PATH OF EGRESS MAXIMUM TRAVEL DISTANCE PER NFPA 101 SECTION 39.2.6.3 IS 300 FEET
- 1,000 AREA OF ROOM OR SPACE IN SQUARE FEET
- 50 SF PER OCCUPANTS
- 20 TOTAL NUMBER OF OCCUPANTS IN ROOM OR SPACE
- * INDICATES OCCUPANT LOAD AS CALCULATED PER NFPA 101 TABLE 7.3.1.2
- 180 CAPACITY OF DOOR, CORRIDOR OR STAIR IN NUMBER OF OCCUPANTS BASED ON CLEAR WIDTH

SHEET NOTES

01	RELOCATE EXISTING EXIT SIGN TO NEW LOCATION
--	ALL OTHER EXIT SIGNS, EMERGENCY LIGHTING, AND FIRE EXTINGUISHERS TO REMAIN IN EXISTING LOCATIONS
--	ALL FIRE/SMOKE ALARMS ARE UNAFFECTED AND ARE TO REMAIN IN EXISTING LOCATIONS
--	OCCUPANT LOAD, PATHS OF EGRESS, AND EXIT ACCESS WILL REMAIN UNCHANGED

DOOR SCHEDULE

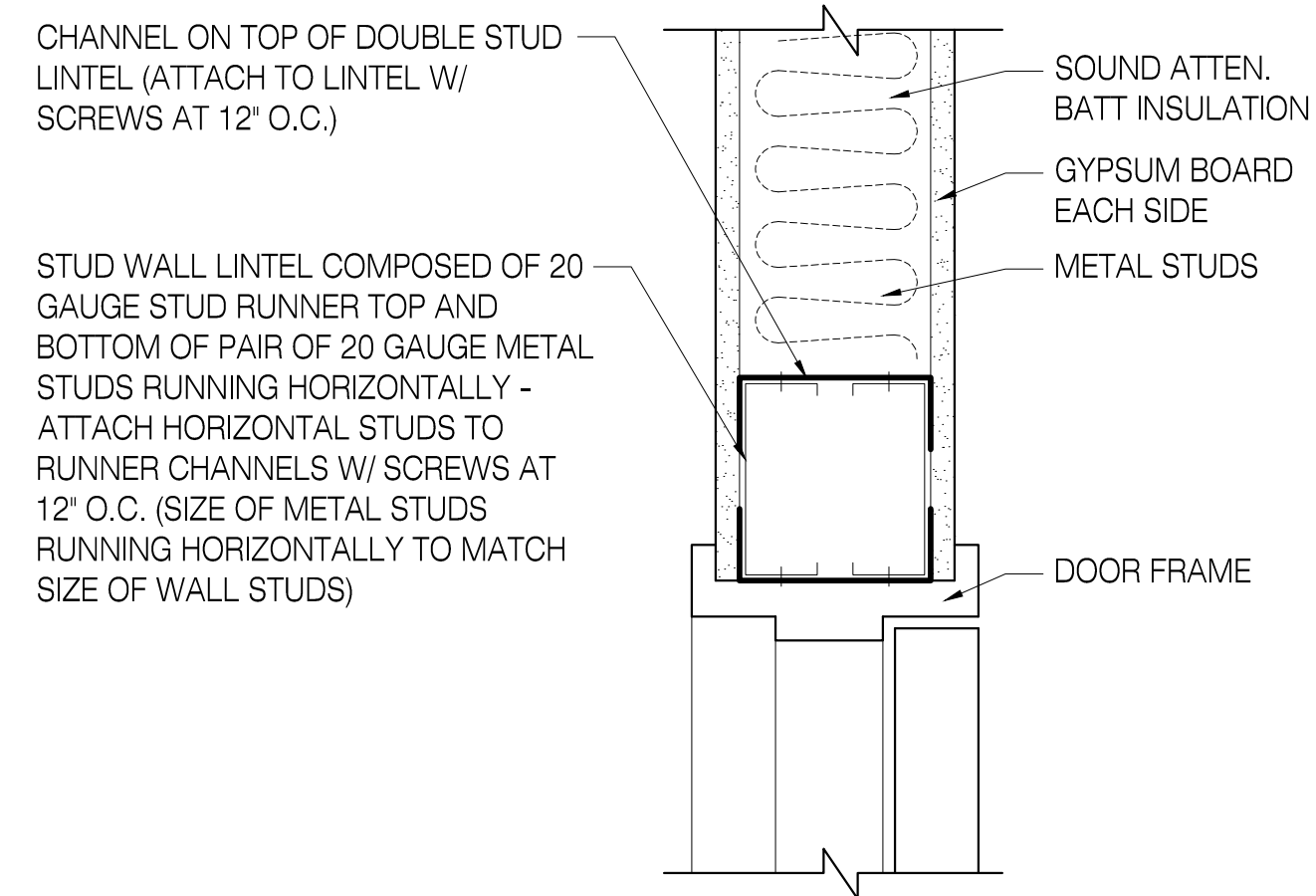
MARK	WIDTH	HEIGHT	CONSTRUCTION TYPE	FINISH	FRAME TYPE	HARDWARE	COMMENTS
01	3'-0"	7'-0"	WOOD	POLY	METAL	(3) 4.5"x4.5" HINGES, (1) LOCKSET (OFFICE/ENTRY) - BEST (1) CYLINDER, (1) WALL STOP, (1) SILENCER	RELOCATED
02	3'-0"	7'-0"	WOOD	POLY	METAL	(3) 4.5"x4.5" HINGES, (1) LOCKSET (OFFICE/ENTRY) - BEST (1) CYLINDER, (1) WALL STOP, (1) SILENCER	PROVIDE NEW DOOR
03	3'-0"	7'-0"	WOOD	POLY	METAL	(3) 4.5"x4.5" HINGES, (1) LOCKSET (OFFICE/ENTRY) - BEST (1) CYLINDER, (1) WALL STOP, (1) SILENCER	PROVIDE NEW DOOR
04	3'-0"	7'-0"	WOOD	POLY	METAL	(3) 4.5"x4.5" HINGES, (1) LOCKSET (OFFICE/ENTRY) - BEST (1) CYLINDER, (1) WALL STOP, (1) SILENCER	PROVIDE NEW DOOR
05	3'-0"	7'-0"	WOOD	POLY	METAL	(3) 4.5"x4.5" HINGES, (1) LOCKSET (OFFICE/ENTRY) - BEST (1) CYLINDER, (1) WALL STOP, (1) SILENCER	PROVIDE NEW DOOR

NOTES:

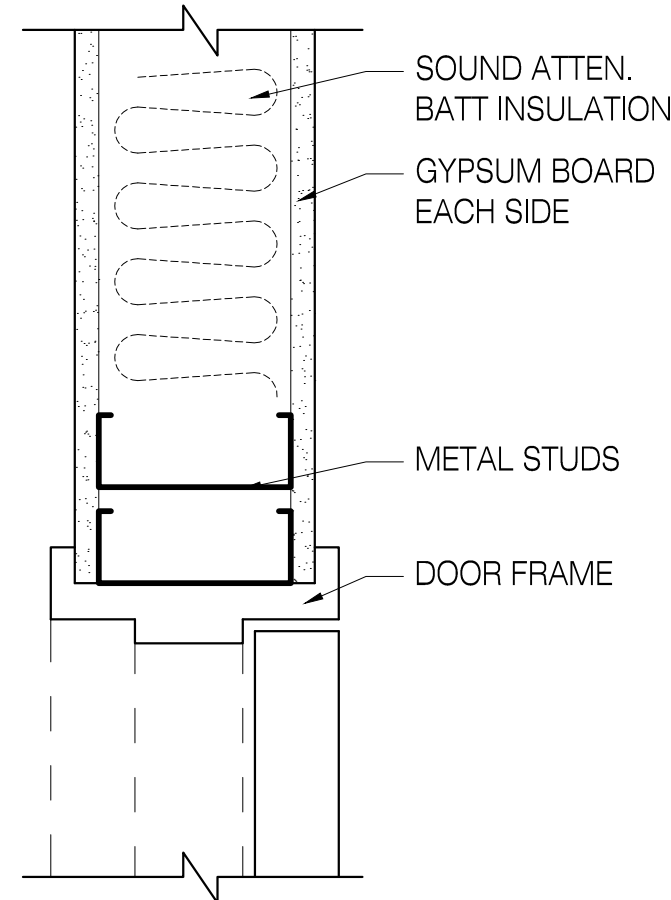
1. MATCH FINISH ON NEW DOORS TO EXISTING
2. REPAINT EXISTING DOOR FRAMES TO MATCH NEW

FINISH SCHEDULE

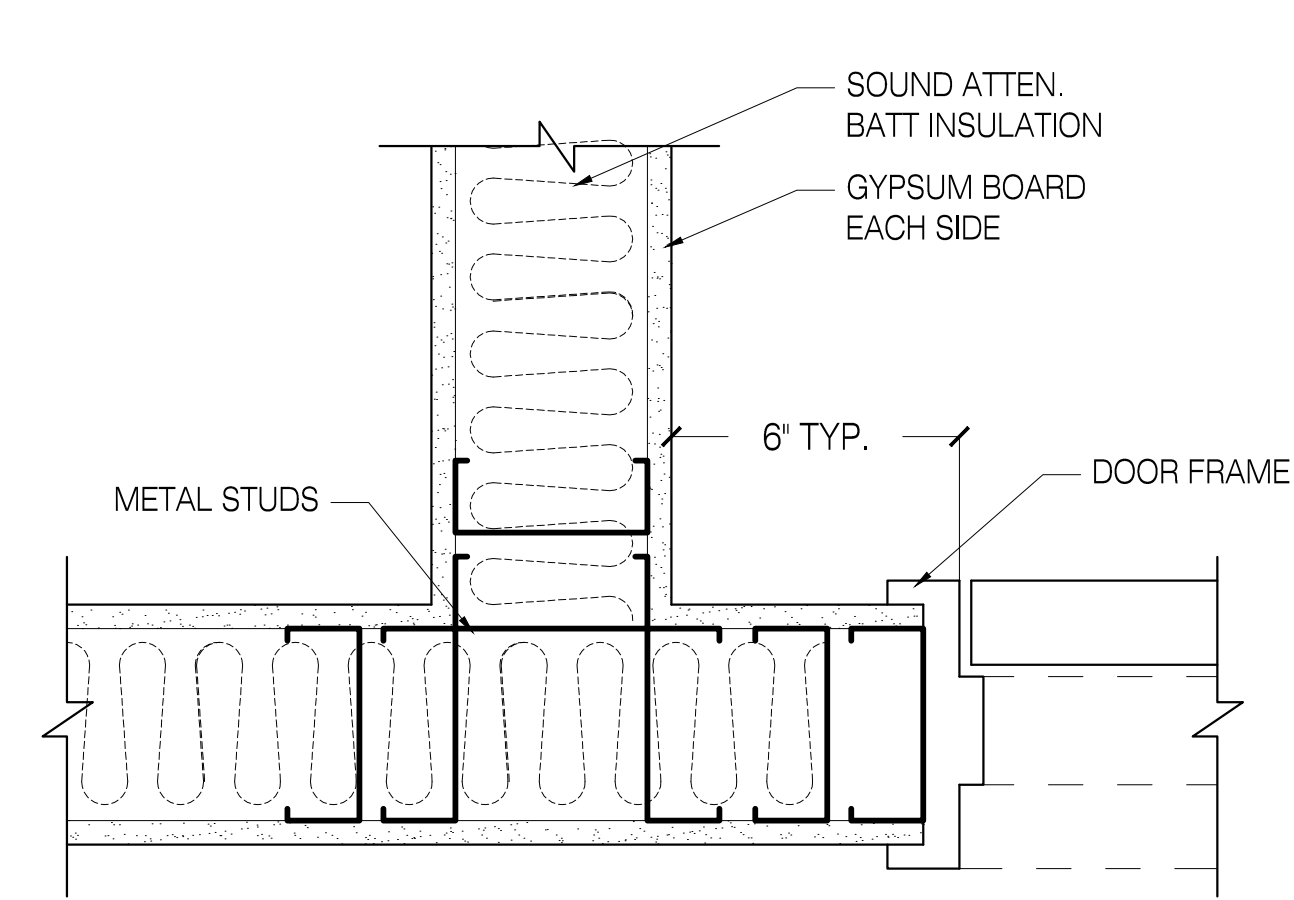
ITEM	BRAND	COLOR/PATTERN	COMMENTS
WALL PAINT	SHERWIN WILLIAMS	SW7029 AGREEABLE GRAY	EGGSHELL FINISH
HM DOOR FRAME PAINT	SHERWIN WILLIAMS	SW7031 MEGA GREIGE	SEMI-GLOSS FINISH
CARPET	MOHAWK	BENDING EARTH COLLECTION CALIBER / BT282 7927 SHALE	24"x24" CARPET TILE COLORSTRAND SD NYLON TUFTED CONSTRUCTION
WALL BASE	JOHNSONITE	40 BLACK B	4" COVE BASE
SOLID SURFACE COUNTERTOP	DUPONT	CORIAN SANDSTONE	
PLASTIC LAMINATE	WILSONART	CANYON ZEPHYR 4842	MATTE FINISH



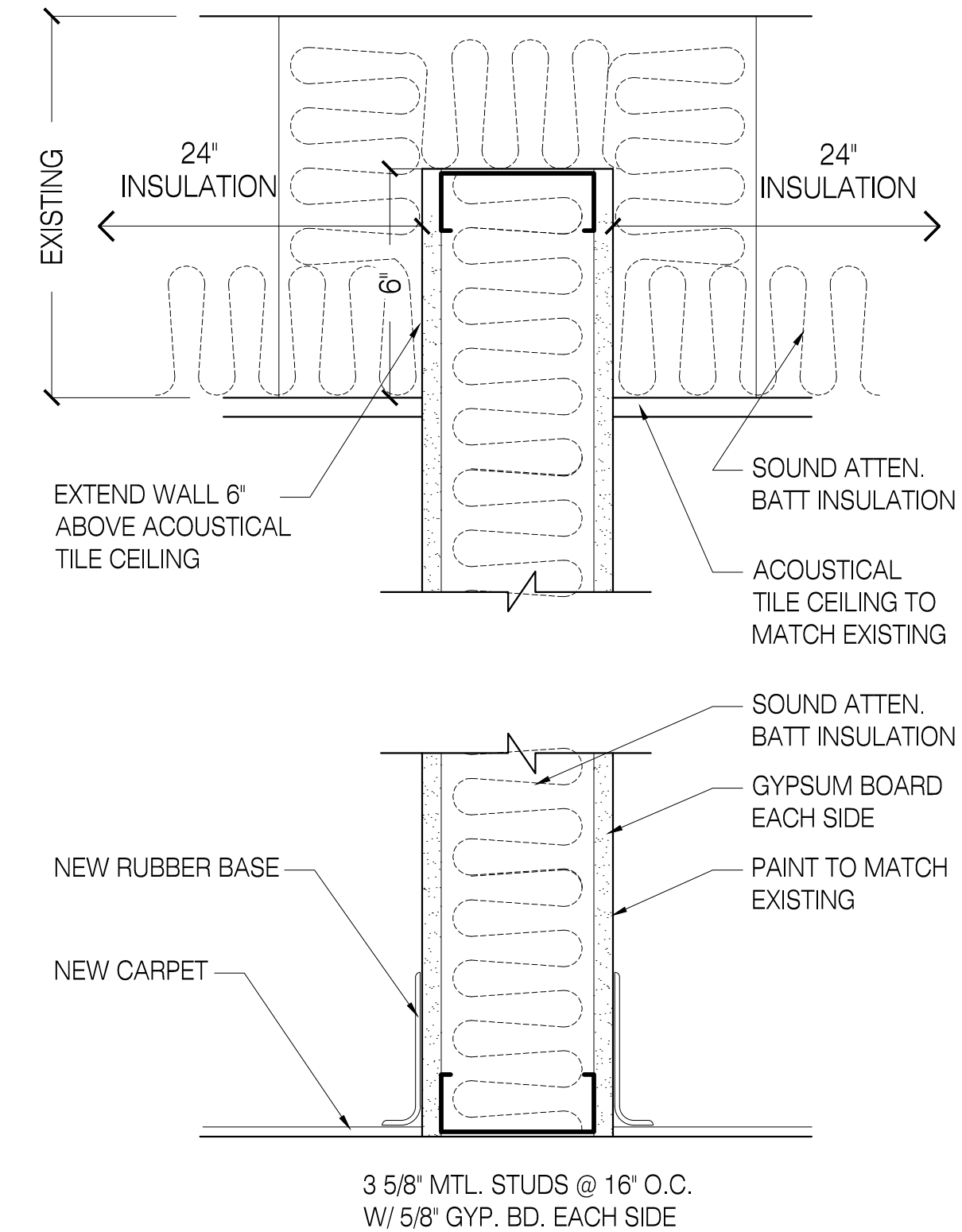
1 Door Head Detail
3" = 1'-0"



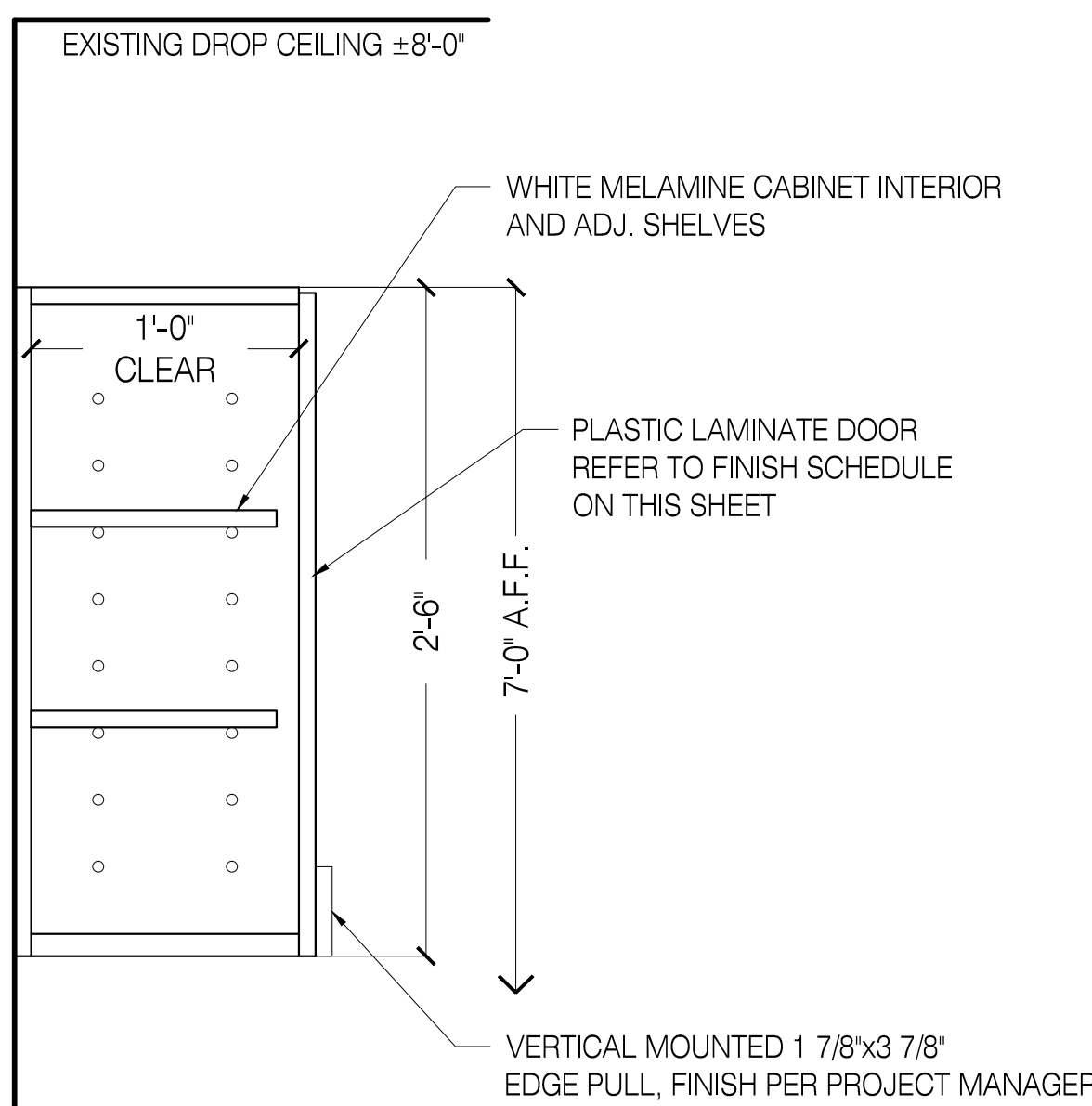
2 Door Jamb Detail
3" = 1'-0"



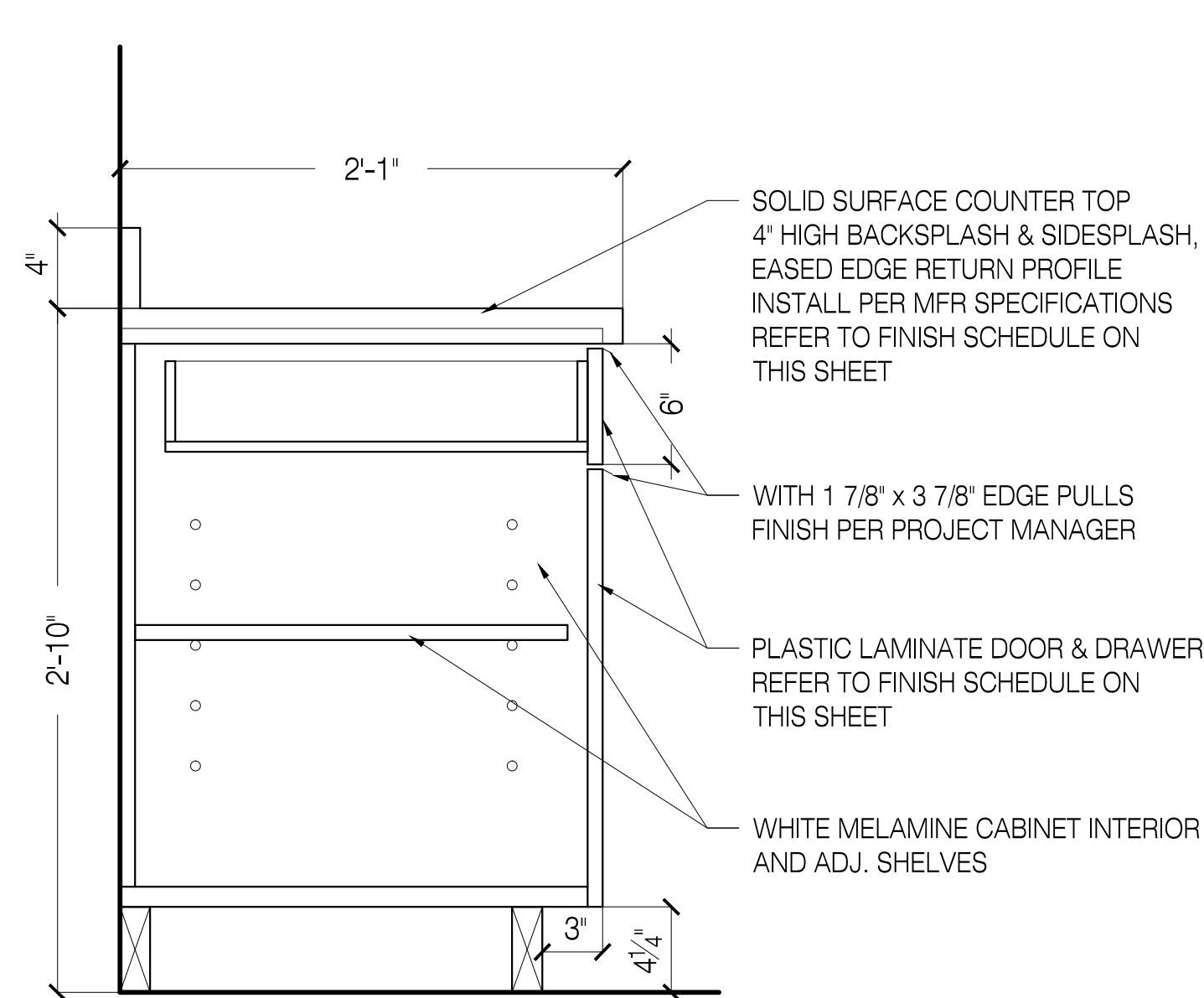
3 Door Jamb Detail
3" = 1'-0"



4 Typ. Wall Section
3" = 1'-0"



5 Wall Cabinet
1 1/2" = 1'-0"



6 Typical Base Cabinet
1 1/2" = 1'-0"

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES, REGULATIONS AND THE CURRENT BUILDING CODE WITH ALL CURRENT ADOPTED EDITIONS.
2. CONTRACTOR AND OR SUBCONTRACTORS SHALL PRIOR TO ANY SITE DISTURBANCE, VERIFY ALL SITE AND SOIL CONDITIONS AND REPORT AND DOCUMENT THE EXISTING CONDITIONS TO THE OWNER AND OR HISHER REPRESENTATIVES.
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE GENERAL CONTRACTOR AND OR SUBCONTRACTORS SHALL REPORT ANY PLAN OR DOCUMENT DISCREPANCIES TO SOUTHERN DESIGN CONCEPTS OF ATLANTA, JEFFREY M. COCHRAN (SEE TITLE BLOCK). THE GENERAL CONTRACTOR, HISHER SUBCONTRACTORS AND REPRESENTATIVES WILL ASSUME ALL RESPONSIBILITIES FOR DISCREPANCIES NOT REPORTED IN WRITING TO AND FOR CLARIFICATION FROM SOUTHERN DESIGN CONCEPTS OF ATLANTA.
4. ALL DRAWINGS AND DOCUMENT DIMENSIONS, NOTES, DETAILS, SECTIONS, ETC. SHALL BE REVIEWED, CALCULATED AND VERIFIED BY THE GENERAL CONTRACTOR, HISHER SUBCONTRACTORS AND REPRESENTATIVES PRIOR TO COMMENCEMENT OF CONSTRUCTION OR HE/SHE WILL ASSUME ALL RESPONSIBILITIES FOR DISCREPANCIES NOT REPORTED IN WRITING TO AND FOR CLARIFICATION TO SOUTHERN DESIGN CONCEPTS OF ATLANTA.
5. ALL DRAWINGS, DETAILS, SECTIONS, ETC. SHALL NEVER BE SCALED.
6. STRUCTURAL FOOTINGS SHOULD ALWAYS BE BELOW THE REQUIRED LOCAL FROST LINE AND MUST REST ON UNDISTURBED OR ENGINEERED FILL VERIFIED BY A LICENSED ENGINEER. A LICENSED SOILS OR STRUCTURAL ENGINEER SHALL BE CONSULTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO VERIFY PROPOSED FOOTING SIZES, DEPTHS AND REBAR REQUIREMENTS BASED UPON THE PROJECT'S SITE CONDITIONS AND LOCAL CODES.
7. ALL FOUNDATIONS AND FOOTINGS SHALL BE REINFORCED PER LOCAL CODES AND VERIFIED BY A LICENSED ENGINEER PRIOR TO CONSTRUCTION.
8. ALL FOUNDATION, WALLS, FLOOR AND ROOF STRUCTURAL MEMBERS SHALL BE DESIGNED AND SEALED BASED UPON LOCAL CODES BY A LICENSED ENGINEER.
9. TO ENSURE A SAFE AND WELL CONSTRUCTED STRUCTURE AND OR DWELLING THE GENERAL CONTRACTOR, HISHER SUBCONTRACTORS AND REPRESENTATIVES SHALL VERIFY AND PROVIDE ADJUSTMENTS TO ANY PROPOSED STRUCTURAL MEMBERS OR MATERIALS TO MEET ALL LOCAL AND OR NATIONAL CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. ALL CONCRETE, STEEL, WOOD AND OR COMPOSITE MATERIALS SHALL MEET ALL LOCAL/NATIONAL CODES.
11. ALL STRUCTURAL MEMBERS SUCH AS CONCRETE, STEEL, WOOD AND OR COMPOSITE MATERIALS USED AS PILLARS, COLUMNS, BEAMS AND FRAMING SHALL BE DESIGNED TO CARRY/TRANSFER ALL REQUIRED SEPARING LOADS THROUGH THE ENTIRE STRUCTURE AND SHALL TERMINATE THOSE LOADS TO THE STRUCTURAL FOUNDATION/FOOTINGS ON UNDISTURBED SOIL OR ENGINEERED FILL.
12. ALL FLOOR AND ROOF MEMBERS SHOWN ON THE DRAWINGS/DOCUMENTS SHALL BE ASSUMED TO BE A PRE-ENGINEERED SYSTEM UNLESS NOTED OTHERWISE.
13. ALL WOOD FRAMING MEMBERS USED SHALL BE APPROVED FOR USE BY LOCAL/NATIONAL BUILDING CODES.

Licensing Agreement:

These plans may only be used for the captioned project. They cannot be given to any other Builder, Contractor or third party for their use without consent by Southern Design Concepts of Atlanta.

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Jeffrey M. Cochran
334 Hooftest Trail
Kennesaw, Georgia 30144
404-333-1116
#13287

REGISTERED ARCHITECT
STATE OF GEORGIA

SDCA
SOUTHERN DESIGN CONCEPTS
OF ATLANTA
ARCHITECTS
REGISTERED PROFESSIONAL ENGINEERS

Disclaimer:
These plans, designs and drawings have been prepared as an architectural guide and should be used for that purpose. These plans, designs and drawings should be reviewed prior to construction by a licensed General Contractor or Engineer. A final structural analysis should be completed prior to construction by a licensed General Contractor or Engineer.

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Released for Construction and Permitting

DeKalb County Law Offices Renovation
Maloolf Building
1300 Commerce Drive, 4th Floor
Decatur, GA 30030

CONSTRUCTION SET: 06-02-20

A1.6

ATTACHMENT B

Quote Form	
Quoter Information	
Company Name:	
Company Address:	
Quoter Name/Title:	Phone Number:
Quoter Email Address:	
The responder declares that he/she carefully examined the Scope of Work/Drawings within RFQ 20-300164 Maloof Administrative Building Fourth Floor Renovations. He/she proposed and agrees that if his/her quote is accepted, they will provide the necessary services and will furnish all materials and labor specified in the RFQ to complete the work in a manner therein specified within the time specified, as therein set forth for the following Total Quoted Price.	
Total Quoted Price. _____ (In Figures)	
Quote Statement:	
I, the undersigned, certify that this quote is made without prior understanding, agreement or connection with any corporation, firm, or person submitting a quote for the same materials, supplies, equipment, or services, and is in all respect fair and without collusion or fraud. I agree to abide by all conditions of this quote and certify that I am authorized to sign this quote for the Quoter.	
_____ Authorized Signature	_____ Date
_____ Name of Authorized Signer (Typed or Printed)	

RFQ# 20-300164

ATTACHMENT D

REFERENCE FORM AND REFERENCE CHECK RELEASE STATEMENT

List below at least three (3) references, including company name, contract period, contact name, email address, telephone numbers and project name of individuals who can verify your experience and ability to perform the type of service listed in the solicitation.

Company Name		Contract Period
Contact Person Name and Title	Telephone Number (include area code)	
Email Address		
Project Name		
Company Name		Contract Period
Contact Person Name and Title	Telephone Number (include area code)	
Email Address		
Project Name		
Company Name		Contract Period
Contact Person Name and Title	Telephone Number (include area code)	
Email Address		
Project Name		

REFERENCE CHECK RELEASE STATEMENT

You are authorized to contact the references provided above for purposes of this RFQ.

Signed _____ Title _____

(Authorized Signature of Proposer)

Company Name _____ Date _____

ATTACHMENT E

QUOTER AFFIDAVIT

By executing this affidavit, the undersigned verifies its compliance with O.C.G.A. § 1310-91, as amended, stating affirmatively that the bidder submitting a bid, contractor, firm or corporation which is contracting with DEKALB COUNTY, GA, a political subdivision of the State of Georgia, has registered with and is participating in a federal work authorization program* [any of the electronic verification of work authorization programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603, in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91, as amended]. The affiant agrees to continue to use the federal work authorization program throughout the contract period.

The undersigned further agrees that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services pursuant to this contract with the COUNTY, contractor will secure from such subcontractor(s) similar verification of compliance with O.C.G.A. § 13-10-91, as amended, on the Subcontractor Affidavit form. Contractor further agrees to maintain records of such compliance and provide a copy of each such verification to the COUNTY, within five (5) days from when the subcontractor(s) is retained to perform such service.

BY: Authorized Officer or Agent
Authorization

Federal Work
Identification Number

(Bidder's Name)

Enrollment Date

Title of Authorized Officer or Agent of Bidder

Name of Authorized Officer or Agent Printed

Company Name & Address (do not include a post office box)

SUBSCRIBED AND SWORN
BEFORE ME ON THIS THE

_____ DAY OF _____, 20__

Notary Public
My Commission Expires: _____

ATTACHMENT F

INSURANCE REQUIREMENTS

Insurance must meet the County's requirements and will be furnished by the successful Bidder(s) upon award.

1. Successful Bidder(s) will advise their insurance agent of the County's requirements as listed below and that they may not proceed with any work until insurance is provided that is in compliance with these requirements.

2. Contractor's insurance company or agent must mail, email, or bring an original certificate of insurance and applicable declarations or endorsements to the DeKalb County address listed within this Insurance provision. Insurance must be from companies able to do business in Georgia and acceptable to the County as follows:

- a. Certificates must cover:
 - i. Statutory Workers Compensation
 - ii. Employer's liability insurance by accident, each accident
\$1,000,000
 - iii. Employer's liability insurance by disease, policy
limit \$1,000,000
 - iv. Employer's liability insurance by disease, each employee
\$1,000,000
 - v. Business Auto Liability Insurance with a minimum \$1,000,000
Combined Single Limit/Each Occurrence (Including operation of non-
owned, owned, and hired automobiles).
 - vi. Commercial General Liability
Insurance
 1. Each Occurrence - \$1,000,000
 2. Fire Damage - \$250,000
 3. Medical Expense - \$10,000
 4. Personal & Advertising Injury - \$1,000,000
 5. General Aggregate - \$2,000,000
 6. Products & Completed Operations - \$1,500,000
 7. Contractual
Liability where applicable
- b. DeKalb County, GA shall be named as Additional Insured under any General Liability, Business Auto and Umbrella Policies. Coverage shall apply as Primary and non-contributory with Waiver of Subrogation in favor of DeKalb County, Georgia. Such additional insured coverage shall be endorsed to Contractor's policy by attachment of ISO Additional Insured Endorsement forms CG 20 10 10 01 (ongoing operations) and CG 20 37 10 01 (products-completed operations), or form(s) providing equivalent coverage.
- c. This insurance for the County as the additional insured shall be as broad as the coverage provided for the named-insured Contractor. It shall apply as primary insurance before any other insurance or self-insurance, including any

deductible, non-contributory, and waiver of subrogation provided to the County as the additional insured.

- d. Contractor agrees to waive all rights of subrogation and other rights of recovery against the County and its elected officials, officers, employees or agents, and shall cause each Subcontractor to waive all rights of subrogation for all coverages.
- e. Certificates shall state that the policy or policies shall not expire, be cancelled or altered without at least sixty (60) days prior written notice to the County.
- f. Contractor understands and agrees that the purchase of insurance in no way limits the liability of the Contractor.
- g. The insurance carrier must have a minimum A.M. Best's rating of not less than "A" (Excellent) with a Financial Size Category of VII or better.
- h. Certificates to contain policy number, policy limits and policy expiration date of all policies issued in accordance with this contract.
- i. Certificates to contain the location and operations to which the insurance applies.
- j. Certificates to contain successful contractor's protective coverage for any subcontractor's operations. If this coverage is included in General Liability, please indicate on the Certificate of Insurance.
- k. Certificates to contain successful contractor's contractual insurance coverage. If this coverage is included in the General Liability, please indicate this on the Certificate of Insurance.
- l. Certificates shall be issued and delivered to the County and must identify the "Certificate Holder" as follows:
- m. The successful contractor shall be wholly responsible for securing certificates of insurance coverage as set forth above from all subcontractors who are engaged in this work.

DeKalb County, Georgia
Director of Purchasing & Contracting
The Maloof Center, 2nd Floor
1300 Commerce Drive
Decatur, Georgia 30030