

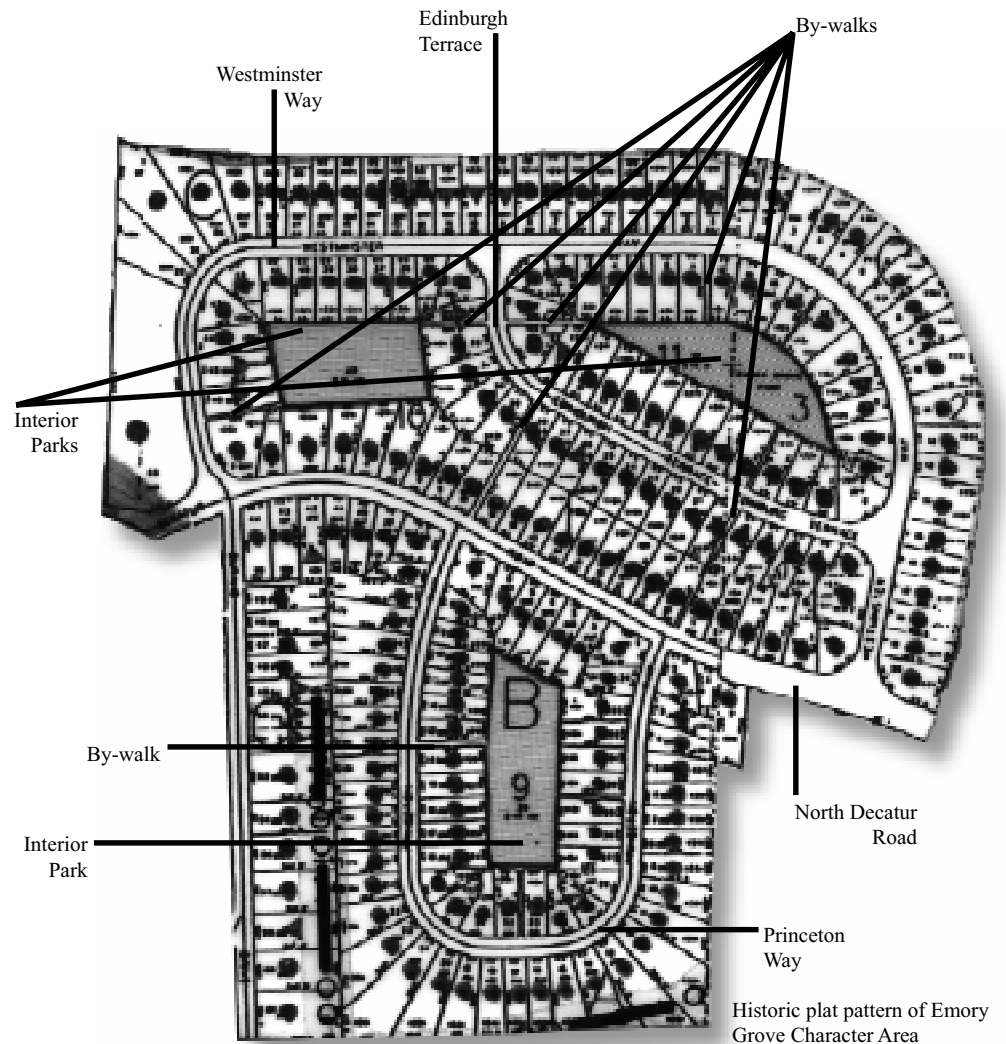
14.0 EMORY GROVE CHARACTER AREA

The neighborhood of Emory Grove is located in the northeast quadrant of the district along both sides of North Decatur Road and bounded to the east by the railroad. The area was platted in two sections: (1) Princeton Way south of North Decatur Road in 1939 and (2) Westminster Way and Edinburgh Terrace north of North Decatur Road in 1941. It was developed by a single builder, Neal Smith, resulting in the uniform appearance of its houses.

The development is small-scale with modest houses sitting fairly close together on small lots, reflecting a dense, early-1940s development pattern. The houses were constructed during the first half of the 1940s and consist of one basic house type with several variations. The basic house type is a one-story, rectangular form with side-gabled roof, interior ridgeline chimney, and smaller side-gabled wings. Variations include front-gabled porches, slightly projecting front-gabled wings, and various chimney placements. The houses are not high-style but are instead a minimal traditional design with Colonial Revival stylistic influences.

C. R. Roberts and Company, Engineers, was responsible for the layout of both sections of Emory Grove, again resulting in continuity of the neighborhood's design. Loop roadways connect with North Decatur Road. The interior roadways are lined with lots of uniform size, although lots situated along curves and at intersections are somewhat larger and houses tend to be oriented diagonally toward the corner. The roadway itself is narrow by Druid Hills' neighborhood standards. There is limited space for on-street parking.

Emory Grove contains three interior park spaces. Designated paths between residential lots provide access to these spaces. These park areas contain a variety of amenities, including tennis courts, open ballfields, and picnic shelters. Rear lot lines bordering these park spaces are typically fenced, providing clear separation between public and private spaces.



CHARACTER-DEFINING FEATURES

LANDSCAPE CHARACTERISTICS:

FRONT SETBACK

- * 45'-50'

SIDE SETBACK

- * 10+'

TYPICAL LOT SIZE

- * 65' x 175' (approximately .3 acre)

TYPICAL BUILDING SIZE

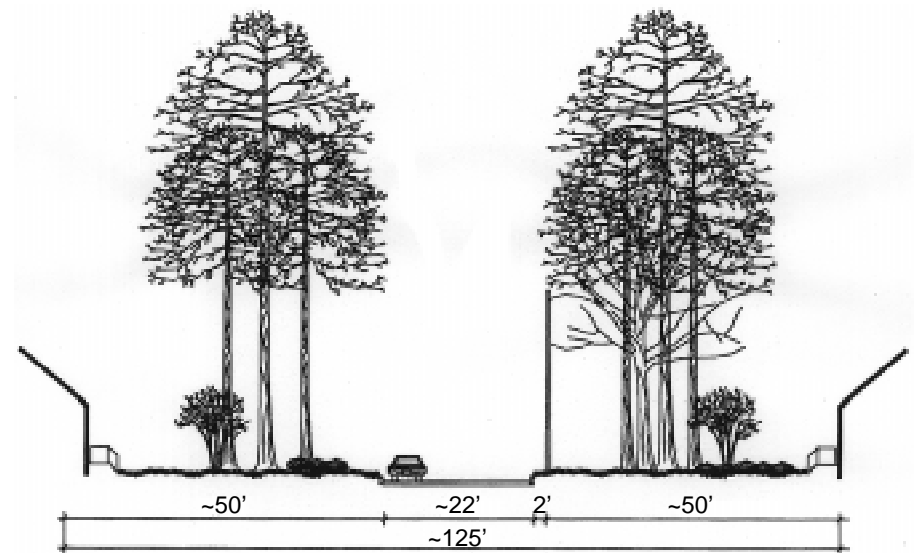
- * 1,100-1,800 square feet

STREETSCAPE

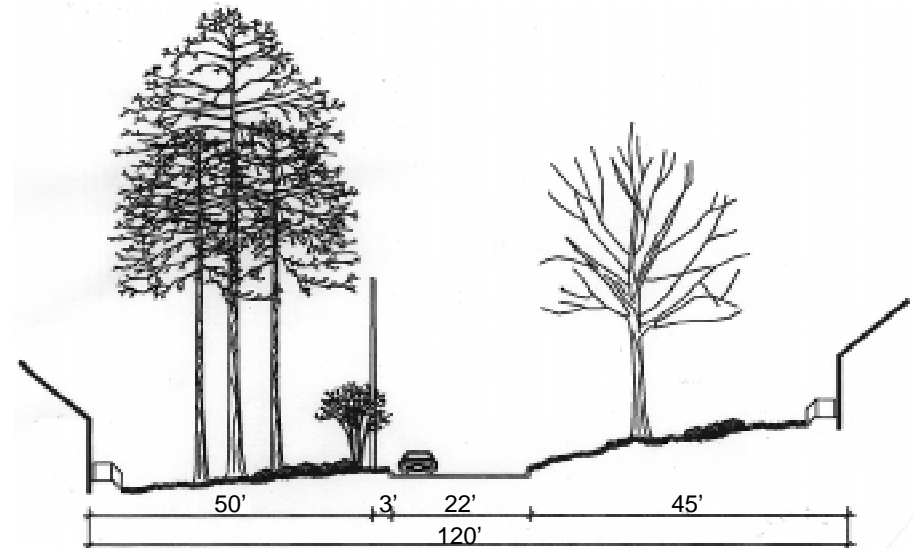
- * streetscape cross section illustrates the typical patterns and dimensions: asphalt street, granite curb, front grassed yard
- * front yards contain large hardwoods and in a few areas, pine groupings; shrub plantings at most house foundations
- * no sidewalks

OTHER

- * drives & parking- lots typically contain paved access drives with parking on-site; limited area for on-street parking due to narrow width of street
- * walls and fences- The section of Emory Grove situated south of North Decatur Road has topography requiring the use of retaining walls; fences in a variety of design and materials are used in rear yards as separation from interior park spaces.
- * traffic islands- approximately four traffic islands within character area; large island situated at intersection of Westminster Way and Edinburgh Terrace is grassed.



Edinburgh Terrace
Emory Grove



Princeton Way
Emory Grove

Building CHARACTERISTICS:

SCALE

- * predominantly 1 story structures north; limited 1 1/2 story structures south of N. Decatur Rd.

TYPE

- * single-family detached dwellings

STYLE

- * minimal traditional design with Colonial Revival stylistic influences

MATERIAL

- * predominantly brick veneer exteriors

Roof FORM

- * principal side gable roof with smaller side and front gable extensions

Roof Pitch

- * low to moderate pitches main side gable (south side more steeply pitched) with minimal or no overhang

MASSING

- * asymmetrical facade with minimal building elements - 2/3 solid wall surface to 1/3 openings

Characteristic side gable house form shown in these photographs. The streetscape view illustrates the rhythm created by the repetition of form and elements.



DIRECTIONAL Emphasis

- * main mass has horizontal emphasis; other building elements reflect or do not diminish this emphasis



DETAILS

- * raised foundations - solid granite foundations in section

south of N. Decatur

- * chimneys - ridgeline and exterior-end brick—placed between porch and main body of house; an important feature of the house type

garages an important feature south of N. Decatur with limited presence on Edinburgh

- * garages - "basement"

garages an important feature south of N. Decatur with limited presence on Edinburgh

- * porches - small side porches significant feature on Edinburgh and south of N. Decatur

entrances - door and trim are modest

- * wood trim - used modestly as door and window trim, cornice line, gable ends

windows - double-hung sash, 6/6 and 8/8; multi-paned casement also present, more common south of N. Decatur

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These photographs depict the characteristic raised granite foundations, exterior-end chimney placements, small side porches, and basement garages.



SPECIAL AREA FEATURES:

INTERIOR PARKS

- * three interior parks, approximately two acres in size; one appears to be a passive-use space; one has benches, playground equipment, picnic tables and shelters; one space contains tennis courts & informal ballfield; access to park spaces through designated pedestrian routes, some more defined than others; each park space contains a minimum of two, and in one case three, access paths; parks are maintained by DeKalb County Parks and Recreation Department

Interior park north of N. Decatur Road.



By-Walks

- * two by-walk lanes allow pedestrian access from North Decatur Road to Edinburgh Terrace; one by-walk provides direct connection with access path to interior park space

By-walk north of N. Decatur Road



Guideline - New construction should be compatible with the predominant minimal traditional/Colonial Revival housing and should reference important building characteristics such as the horizontal directional emphasis, low to moderate roof pitches, brick veneer exteriors, and front-facing gables

EMORY PRESBYTERIAN CHURCH

- * distinctive architectural landmark in the area—the only institutional building

The integrity of Emory Grove’s characteristic house type has been compromised in many places due to attempts to *dress it up*. Many properties in Emory Grove have been subject to changes such as infilled porches, window replacements, and entrance “stylizing” - these changes detract from the appearance of the property. Windows and entrances are common subjects of such projects.

INTRUSIONS:

Illustrates excessive paving in front yard space.



NEW CONSTRUCTION

- * New properties have been built without regard for prevailing scale, setback, and materials.

Guideline - This house type was meant to have minimal detail and works best when its streamlined appearance is maintained. The minimal traditional character of the Emory Grove house type should be preserved and attempts to “dress up” houses should be discouraged.

PAVING

- * Several examples exist of excessive paving in front yard spaces for parking.

WOOD FENCING

- * Example of wood picket fence, an anomaly in the neighborhood

Illustrates need to better define public access routes to interior park spaces.



Guideline - Interior park spaces should be improved with better definition of existing access routes and the eradication of exotic plant species that currently threaten the natural character of these spaces.

Guideline - Traffic islands should be maintained as landscaped features and should not be paved.