



2035 Comprehensive Plan Update Appendix with Land Use Parcel Maps



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Land Use and Transportation Locational Criteria

In terms of addressing the most appropriate future land use for development, infrastructure should be adequate to accommodate growing capacity. Road infrastructure should be adequate enough for activity centers that are proposed nodes of development, throughout the county. Below is a table of criteria that has been set forth to show the relationship between land use and transportation, in deciding the best locations for future growth.

Land Use	Functional Class				
	Freeway	Major Arterial	Minor Arterial	Collector	Local
Regional Center	X	X			
Town Center	X	X			
Neighborhood Center		X	X		
Major Corridor Development		X			
Minor Corridor Development			X		
Urban				X	X
Suburban					X

Consistency Between Economic Employment Centers and Activity Centers

The purpose of the Consistency Table - Comprehensive Plan and Economic Strategic Plan Activity Centers, is to analyze the location of employment and activity centers. Employment Centers that were identified in the DeKalb County Economic Strategic Plan by Planning Areas (North, West, East Central DeKalb, etc.), were compared to Activity Centers (Regional, Town, and Neighborhood) in the DeKalb County Comprehensive Plan. The reason for the comparison is to make sure that areas in the county that provided economic development opportunities were all in the same locations. It was determined that the majority of employment centers were in the same locations as activity centers. Many of those that were not, were identified as Industrial Character Areas within the Comprehensive Plan.

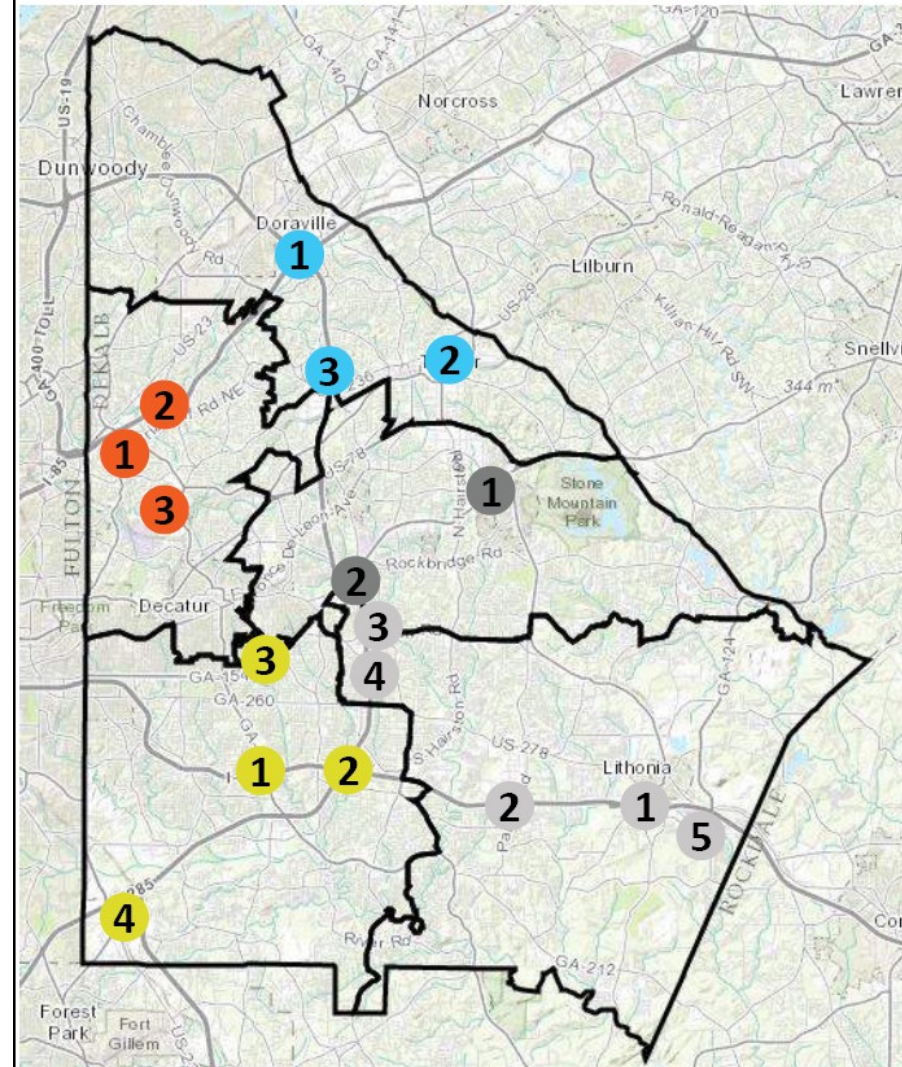
EMPLOYMENT ACTIVITY CENTERS	Comprehensive Plan Activity Center			Comments
	YES	NO	N/A	
Southeast DeKalb				
I-20/Lithonia Industrial Blvd		X		Character Areas: Highway Corridor and Industrial The Economic Plan highlights the undeveloped land at the intersection of I-20/Lithonia Industrial Blvd. The Lithonia Industrial Park should also be noted for potential redevelopment and the existing business that is still thriving.
I-20/Panola Road	X			Character Areas: Town Center This area is consistent with the comp plan. Recommendation is this area should be a candidate for a market study to examine ways in how to maximize the economic potential.
I-285/Indian Creek MARTA Station	X			Character Area: Town Center Includes the Indian Creek MARTA Station, which provides Transit Oriented Development potential. This is also a MALP Study area, which focuses on improving community health and wellness, through urban design.
I-285/Covington Highway		X		Character Areas: Highway Corridor and Commercial Redevelopment Corridor A portion of this area is included within the MALP Study area.
Mall at Stonecrest	X			Character Area: Regional Center Currently within the Stonecrest LCI Plan. Undeveloped land provides development opportunities. Transportation options will need to be expanded to support the growth potential of the area.

EMPLOYMENT ACTIVITY CENTERS	Comprehensive Plan Activity Center			Comments
	YES	NO	N/A	
Northern DeKalb				
I-85/I-285 Interchange		X		Economic Plan mentions Mercer and the airport and key anchors, which are not in activity centers. However, there is a TC on the other side of I-285 (Henderson Mill & Chamblee Tucker Rds) in the vicinity. But the Economic Plan does not mention this. Recommendation is to include this area to make it compatible.
Downtown Tucker (now incorporated)			X	Incorporation of Tucker happened after the Economic Strategic Plan was completed.
Northlake Mall	X			Character Area: Regional Center Threat of incorporation into Tucker is immanent. As long as this remains unincorporated, it is consistent with the comp plan activity center.
West Central DeKalb				
Briarcliff Road and North Druid Hills Road	X			Character Area: Neighborhood Center Currently located in the NDHLCI. Threat of incorporation into Brookhaven is possible. As long as this remains unincorporated, it is consistent with the comp plan activity center.
I-85 and Clairmont Road	X			Character Area: Neighborhood Center Executive Park (now in Brookhaven) mentioned as a draw for this area. Currently consistent with the comp plan activity center.
Druid Hills Road and Lavista Road	X			Character Area: Town Center Currently in the NDHLCI. Key economic draw is Toco Hills shopping center, which houses the Dept. of Labor, restaurants, retail, and office. Infrastructure upgrades (if possible) are necessary for greater density. Currently consistent the comp plan activity center.
East Central DeKalb				
Stone Mountain Industrial Park (now in Tucker)			X	Incorporation of Tucker happened after the Economic Strategic Plan was completed.
Memorial Drive & I-285	X			Character Area: Town Center Currently within the Kensington LCI, with the potential of Transit Oriented Development (includes Kensington MARTA Station).

EMPLOYMENT ACTIVITY CENTERS	Comprehensive Plan Activity Center			Comments
	YES	NO	N/A	
Southwest DeKalb				
I-20/Candler Road	X			Character Area: Town Center South DeKalb Mall is named as the anchor business hub in the area. Plenty of available infrastructure for development. Currently part of the Candler Road/Flat Shoals LCI Area.
I-20/I-285 Interchange		X		Character Area: Highway Corridor The Economic Plan highlights the undeveloped land as a key component for development opportunity. However, this area is part of the Wesley Chapel LCI Plan, which explains future development differently. A flood plain exist on the undeveloped partial of land, which may / may not hinder development potential. However, the Wesley Chapel Plan has located more development opportunity at Wesley Chapel Rd & I-20, which is consistent with the Comp Plan. Recommendation is to include this area within the Economic Activity Center.
Memorial Drive (Atlanta to Avondale Estates)	X			Character Areas: Commercial Redevelopment Corridor and Town Center Technically, this area is from Candler Road to Columbia, which the Economic Plan does not detail. Consistency with the comp plan is vague. Two Comp Plan activity centers that were not highlighted in the Economic Plan were the Columbia/Memorial and Covington/Memorial Town Centers. More economic recommendations are needed for these areas. They are also Master Active Living Plan (MALP) Study areas.
Moreland Area (I-675/I-285)		X		Character Area: Industrial Commercial logistics and manufacturing are key target areas. The Economic Plan states this area has room for additional growth. Even though this area is not within a comp plan activity center, industrial areas are still an economic draw. Recommendation is to include the SDAT Plan within the future land use, which incorporates mixed-use opportunities with a logistics plan. The future plan of this area is to function as an "Industrial Activity Center". This change will add more consistency with the comp plan.

COMMERCIAL CORRIDORS: Employment Centers

EMPLOYMENT CENTERS SUMMARY



	North DeKalb	West Central	South West	East Central	South East
FPS	✓	✓			
Life Sciences	✓	✓			✓
Tourism		✓		✓	✓
Logistics			✓	✓	✓
CST			✓	✓	
Manufacturing			✓		✓
Specialty Retail	✓	✓	✓		
General Retail			✓	✓	✓
IT Services	✓	✓			✓
Educational Support Services	✓	✓	✓	✓	✓

DeKalb County 2016 Comprehensive Plan Update - Activity Center Land Use Amendments Analysis

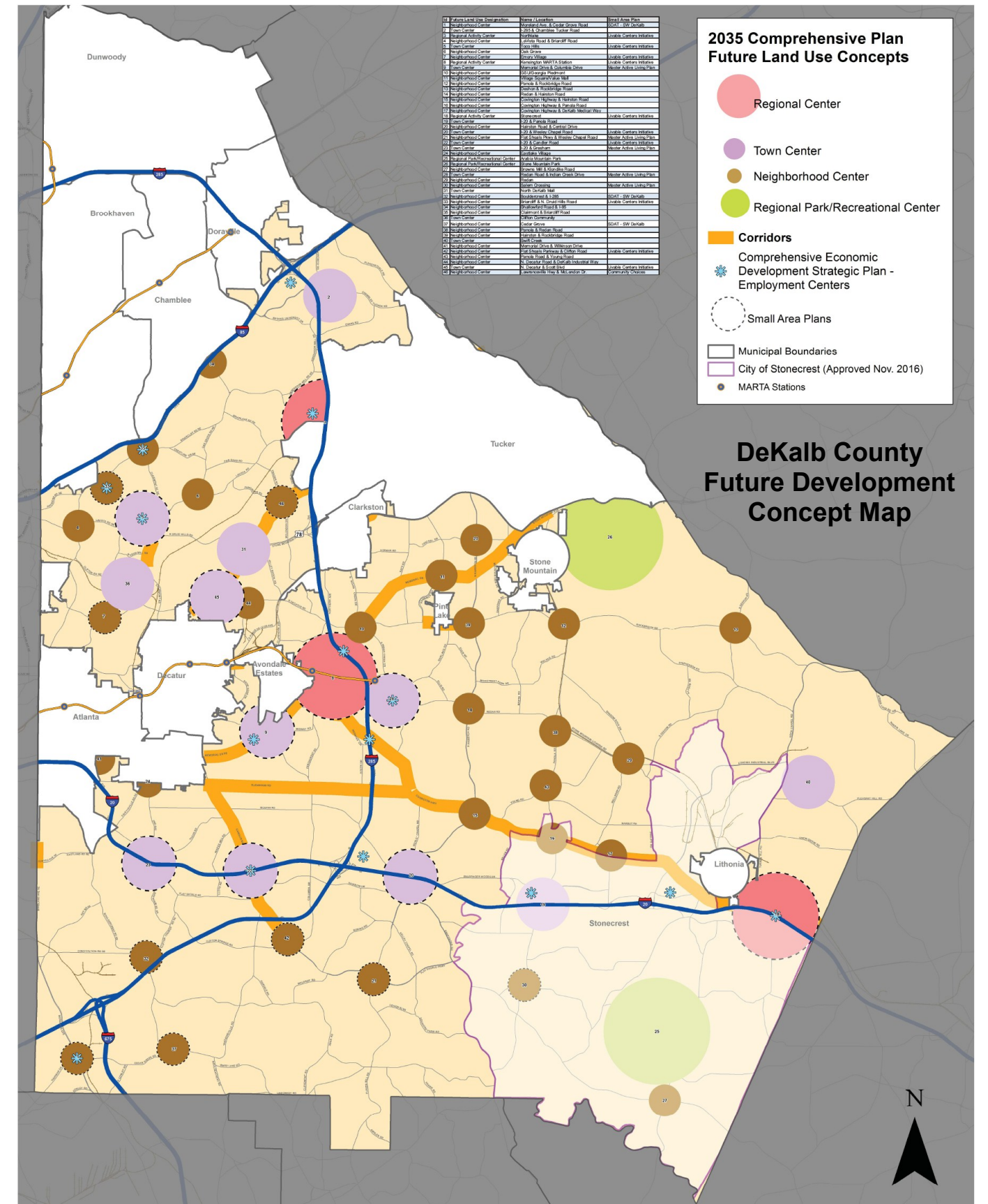
The purpose for creating the Proposed Land Use Amendment Table, is to show changes to any and all activity centers, with an explanation describing the change. Activity Centers are divided among character areas, and changes are identified as either “Yes” or “No”. Explanations are recorded in the “Comments” section, help identify the reasoning for the change. Small Area Plans (SAP) that are located within activity centers, have been identified as being the majority of changes made.

The Development Plan Concept. The Future Land Use Map provides specific and detailed future development patterns for the County. This Future Land Use Plan and Map consists primarily of the Activity Centers which emerged from the concept map. There are three types of Activity Centers: Neighborhood Centers, Town Centers and Regional Centers, which have emerged and included as a part of the Future Development Plan. There are a total of 45 Activity Centers countywide. In addition, the Future Development Plan includes residential designations: Rural, Suburban, and Traditional.

DeKalb County 2016 Comprehensive Plan Update - Activity Center Land Use Amendments Analysis Table

REGIONAL ACTIVITY CENTERS		CHANGE		Comments
#	Activity Center Name	YES	NO	
1	Perimeter - LCI		X	No longer in DeKalb County (City of Dunwoody).
2	Stonecrest	SAP		Supported by the Stonecrest LCI Plan.
3	Northlake - LCI		X	Tucker has incorporated 3/4 of this RC. The remaining portion contains the Northlake Mall, and incorporation is likely.
NEW	Kensington TOD Activity Center	SAP		New activity center with name change.

CONSERVATIVE OPEN SPACE		CHANGES		Comments
#	Activity Center Name	YES	NO	
1	Arabia Mountain Park		X	
2	Stone Mountain Park		X	
NEW				None



DeKalb County 2016 Comprehensive Plan Update - Activity Center / Land Use Proposed Amendments

NEIGHBORHOOD ACTIVITY CENTERS		Change		Comments
#1-15	Activity Center Name	YES	NO	
1	Dunwoody Village		X	No longer in DeKalb County (City of Dunwoody).
2	Pleasantdale Road & Chamblee Tucker Road		X	No longer in DeKalb County (City of Tucker).
3	LaVista Road & Briarcliff Road		X	
4	Oak Grove		X	No longer in DeKalb County (City of Brookhaven).
5	Emory Village - LCI	SAP		Proposal to be annexed into City of Atlanta. Options: 1) Change to Emory Activity Center. 2) Consider changing to regional center, and also indicate as Small Area Plan (SAP).
6	Perimeter College/DeKalb Tech		X	
7	Village Square/Value Mall		X	
8	Hairston Road & Central Drive		X	
9	Panola Road & Rockbridge Road		X	
10	Deshon Road & Rockbridge Road		X	
11	Redan Road & Hairston Road		X	
12	Covington Highway & Hairston Road		X	
13	Covington Highway & Panola Road		X	
14	Covington Highway & DeKalb Medical Way		X	
15	Flat Shoals Pkwy & Wesley Chapel Road		X	

DeKalb County 2016 Comprehensive Plan Update - Activity Center / Land Use Proposed Amendments

NEIGHBORHOOD ACTIVITY CENTERS		Change		Comments
#16-30	Activity Center Name	YES	NO	
16	Eastlake Village		X	
17	Browns Mill Road & Klondike Road		X	
18	Redan		X	
19	Salem Crossing		X	
20	Bouldercrest Road & I-285		X	
22	Peeler Road & Winters Chapel Road		X	No longer in DeKalb County (City of Dunwoody).
23	Briarcliff Road & North Druid Hills Road	SAP		Options: 1) Consider changing to North Druid Hills LCI Activity Center. 2) Leave as NC and indicate as Small Area Plan (SAP).
24	Ashford Dunwoody Road & Johnson Ferry		X	No longer in DeKalb County (City of Brookhaven).
25	Shallowford Road & I-85		X	Half of this NC is located in Brookhaven, and the other half is in DeKalb County.
26	Clairmont Road & Briarcliff Road	SAP		Options: 1) Consider changing to North Druid Hills LCI Activity Center. 2) Leave as NC and indicate as Small Area Plan (SAP).
27	Cedar Grove		X	
28	Panola Road & Redan Road		X	
29	Hairston Road & Rockbridge Road		X	
30	Memorial Drive & Wilkinson Drive		X	

NEIGHBORHOOD ACTIVITY CENTERS		Change		Comments
	Activity Center Name	YES	NO	
31	Flat Shoals Pkwy & Clifton Springs Road		X	
32	Panola Road & Young Road		X	
33	N. Decatur Road & DeKalb Industrial Way		X	
NEW	Lawrenceville Hwy & Montreal Road	X		Impetus is from the Lawrenceville Highway Community Choice Report recommendations.
NEW	Moreland/Cedar Grove Logistics	SAP		Based on the SDAT study.

DeKalb County 2016 Comprehensive Plan Update - Activity Center / Land Use Proposed Amendments				
TOWN CENTERS		CHANGES		Comments
#1-14	Activity Center Name	YES	NO	
1	I-285 & Chamblee Dunwoody Road		X	
2	Brookhaven		X	No longer in DeKalb County (Brookhaven).
3	I-285 & Chamblee Tucker Road	X		Extend TC character area to include Silverbacks (soccer team) practice and performance fields. It is currently Industrial.
4	Tucker		X	No longer in DeKalb County (City of Tucker).
5	Toco Hills	SAP		Small Area Plan for the NDHLCI. Come to a consensus with the community on the density within the activity center. This could also happen during LCI 5-year update.
6	Kensington MARTA Station - LCI	SAP		Options: 1) Consider RC. 2) Consider name change to Kensington Activity Center. 3) Consider merging with Indian Creek MARTA station, and creating a Regional Center.
7	Avondale Mall		X	
8	I-20 & Panola Road		X	
9	I-20 & Wesley Chapel Road		X	
10	I-20 & Candler Road - LCI	SAP		Name Change to Candler Road Activity Center, small area plan (SAP)
11	I-20 & Gresham Road		X	
12	Redan Road & Indian Creek Drive	SAP		Options: 1) Consider RC. 2) Consider name change to Indian Creek Activity Center. 3) Consider merging with Indian Kensington MARTA station, and creating a Regional Center.
13	North DeKalb Mall		X	
14	Lenox Park		X	No longer in DeKalb County (Brookhaven).
15	Clifton Community Town Center		X	
16	Elijah Mountain	X		Options: 1) Consider amending down to NC. 2) Consider
17	Swift Creek/Tritium	X		Options: 1) Consider amending down to NC. 2) Consider removing.
18	Executive Park		X	No longer in DeKalb County (City of Brookhaven).
NEW	Medline Activity Center	SAP		Based on Medline LCI. Include supplemental land use

DeKalb County 2016 Comprehensive Plan Update - Activity Center / Land Use Proposed Amendments				
	Corridors	LU CHANGES		Comments
		YES	NO	
1	Memorial Drive - CRC		X	FC - Major Arterial
3	Buford Highway - CRC	X		Most of Buford Hwy is no longer in DeKalb County. Currently in the cities of Chamblee and Brookhaven.
4	Lawrenceville Highway - CRC		X	Most of Lawrenceville Hwy that is located outside of I-285, is now in the City of Tucker.
5	Covington Highway - CRC		X	FC - Major Arterial
	Church Street - CRC		X	FC - Minor Arterial
	Clairmont Road - CRC		X	FC - Major Arterial
	Scott Boulevard - CRC		X	FC - Major Arterial
	Coolidge Drive	X		Remove. Now in the City of Tucker.
	Glenwood Road		X	FC - Minor Arterial
	Candler Road		X	FC - Major Arterial
	Interstate 20	X		Consider removing HC designation, and simply labeling as Interstate. There are no properties that have an interstate address, so
	Interstate 85	X		Consider removing HC designation, and simply labeling as Interstate.
	Interstate 285	X		Consider removing HC designation, and simply labeling as Interstate.
	Interstate 675	X		Consider removing HC designation, and simply labeling as Interstate.
NEW				No new CRCs

Overlay Districts

The Overlay District is a planning tool used to supplement current zoning classifications. Overlay districts have their own standards and criteria that must be followed in addition to the existing zoning requirements. There are several development and architectural controls, that assist in the regulation of overlay districts. These include: Floor Area Ratio (FAR), setbacks, including minimum and maximum building setbacks, entry doors to face directly onto the street, walkways from public sidewalk to entry doors required, height limitations, parking and loading regulations, shared parking, signage, etc. The Overlay Districts in DeKalb County are as follows:

Residential Infill Overlay Districts (RIOD) - These contain specific maximum height and related regulations intended to ensure that new and remodeled single family dwellings related accessory uses and structures are compatible with height, size and level of forestation of the existing dwellings and lots. These districts include:

1. Meadow Cliff
2. Diamond Head
3. Leafmore Creek Park Hills
4. The Ponderosa II
5. Sagamore Hills
6. Riderwood
7. Oakgrove Acres
8. Fair Oaks
9. Fama Pine
10. Lively Trail
11. Kendrick//Osborne Area
12. Briarmoor Manor & Brookdale Park Community
13. August Arden
14. Bruce Road Community
15. Coralwood Drive & Court
16. Flair Forest
17. Green Acres
18. Lavista Acres
19. Beacon Hhill Boulevard
20. Springbrook Estates
21. Mount Brian-Berkeley

22. Echo Hills
23. Echo Lake
24. Fairstone
25. Ramble Woods

Compatible Use Overlay Districts - These are designed to preserve, protect and enhance the existing character of DeKalb County neighborhoods; implement the policies and objectives of the Comprehensive Plan; enhance long term economic viability; encourage new development in appropriate areas; and protect established areas from encroachment of incompatible uses within the County. These districts include:

1. Airport Compatible Use
2. Candler Road Overlay District
3. Brookhaven-Peachtree Overlay District
4. Downtown Tucker Compatible Use Overlay District
5. Dunwoody Village Overlay District
6. Emory Village Overlay District
7. I-20 Corridor Compatible Use Overlay District
8. Stonecrest Area Overlay District
9. Northlake Overlay District
10. Scottdale Area Compatible Use Overlay District
11. Greater Hidden Hills Overlay District
12. Frazer Center Overlay District

Historic Overlay Districts - These are designed to protect historic areas within the county. These districts include:

1. Druid Hills
2. Soapstone Ridge

Preservation Overlay Districts - These are designed for the preservation natural and environmentally sensitive areas. These districts include:

1. Environmentally Sensitive Land
2. Arabia Mountain Natural Resource Protection

