

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1534 North Decatur Road

Applicant: Linda I. Dunlavy E-Mail: ldunlavy@dunlavylawgroup.com

Applicant Mailing Address: 1026 B Atlanta Ave, Decatur, GA 30030

Applicant Phone(s): 404-371-4101 Fax: 404-371-8901

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other Attorney

Owner(s): Lullwater Wharf, LLC E-Mail: matt@thestoddardfirm.com

E-Mail: _____

Owner(s) Mailing Address: 5447 Roswell Road, Suite 204, Atlanta, GA 30342

Owner(s) Telephone Number: 404-593-2695

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1960s

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
- New accessory building Landscaping Fence/Wall Other environmental changes
- Sign installation or replacement Other

Description of Work:

Renovation to an existing 1960s two-story office building. The scope is to include reworking the exterior to have brick veneer with new windows. Interior will be renovated for the needs of a professional office practice for the owners that will be within walking distance of this building. The existing footprint of the building will not be changed by this renovation.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.


Signature of Applicant/Date
Revised 1/26/17



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

(I) / (We),

Matthew Stoddard, Lullwater Wharf, LLC

being (owner) (owners) of the property 1534 North Decatur Road,

hereby delegate authority to Linda I. Dunlavy, Dunlavy Law Group, LLC

to file an application in (my) (our) behalf.

 8-24-18
Signature of Owner/Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371-2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

if you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

STATEMENT IN SUPPORT OF
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Applicant:

LULLWATER WHARF, LLC

Property Location:

1534 NORTH DECATUR ROAD

**Request for Certificate of Appropriateness to
Renovate Existing Structure**

Submitted for Applicant by:

Linda I. Dunlavy
Dunlavy Law Group, LLC
1026 B Atlanta Avenue
Decatur, Georgia 30030
(404) 371-4101 Phone
(404) 371-8901 Facsimile
ldunlavy@dunlavylawgroup.com

INTRODUCTION

The Subject Property at 1534 North Decatur Road is located on the north side of North Decatur Road approximately 300 feet east of the round-about at Lullwater Road. Immediately to the west is the Emory Jewish Student Center (built in 1929) and Jerusalem House (date of construction unknown but structure not visible from Subject Property). Immediately to the east is Peavine Creek, Dave's Cosmic Subs (built in 1962) and further east various Emory Village commercial uses. Across North Decatur Road on the south side of the road are the Lullwater Apartments (built in the 60s) and the Panera Bread Company building (built in 1962). The Subject Property was developed in approximately 1965 (non-historic since developed after 1946) with a two story office building most recently used by the Darden Research Corporation. It is located within Character Area 2 of the Druid Hills Historic District but is not within the Emory Village Overlay, being separated from its outermost boundary by Peavine Creek. The Subject Property is owned by Lullwater Wharf LLC, which purchased the property in August of 2018 for the purpose of renovating the existing structure substantially for the purposes of locating the law offices of The Stoddard Firm there and providing office space for other professionals. In furtherance of its plans for the Subject Property, the Applicant files an application for a Certificate of Appropriateness ("COA") for substantial renovation of the existing structure.

The Applicant proposes to retain the existing slab on grade foundation along with the concrete block walls and roof structure but proposes to demolish parts of the interior

(walls and interior stairs) and remove the metal, glass and aggregate panels on the façade of the existing building and replace with four sides brick veneer. The only exterior additions will be exterior stairs required by the Fire Marshal at the rear of the building and metal seam roofs over the front entrance and the second story exit door at the top of the new exterior stairs at the rear. Window headers will be three courses of brick; the two front doors, comprised of two paired divided light windows and inset paneling, will be flanked by resin reproductions of cast iron pillars and paired carriage wall sconces. A four panel transom light below a cantilevered metal canopy will be above the front doors. The first floor front façade will have two large paired windows with 4 true divided lights and stone headers; the second floor façade will contain smaller three paired windows of the same material and composition as the first floor. A stone panel is centered on the second floor front façade for signage and will be flanked by two small pre-cast decorative panels. The east and west elevations will contain two rows of windows with arched brick headers from front to back with brick inset panels centered over the second story windows and a three course brick roof header. The fenestration on the west elevation is less than that on the east elevation due to the proximity of the adjoining building on the west side. All windows are aluminum clad with true divided lights. The roof will remain flat. A two story rear entry stairway to a fire exit balcony and second story rear entry door below a metal seam roof is provided on the north elevation. In all the design of the building is intended to be comparable to and compatible with 1940's office buildings common to the Atlanta/Decatur area and compatible with the existing Emory Village non-residential structures.

A full set of architectural drawings along with photographs of the Subject Property and surrounding areas is provided contemporaneously with this Statement. Applicant also submits relevant tax information and maps along with the required application documents.

GUIDELINES

There is very little guidance within the Guidelines as to non-residential structures outside of the Emory Village Overlay and there have been very few COAs issued on North Decatur Road for non-residential structures¹. Guideline 4.2.3, while making reference to “commercial resources”, provides little guidance for renovation or new construction of a “commercial building” within the District. This is also true of Guideline 9.9 which merely encourages improvements be made to the commercial street scape. Guideline 9.10 does make reference to signage on non-historic buildings by requiring that signs be set flush on the building face and suggests alternative locations for the sign. The current application provides for a stone sign flush with the building centered above the second floor windows, thereby meeting the Guideline.

There is also not much guidance provided in the District for the renovation of non-historical structures. The only Guideline directly addressing this is GL #11.0 which states that “[i]n reviewing an application for a Certificate of Appropriateness for a material change to a historic building, the Preservation Commission should evaluate the change for its potential impacts to any historic development in the area of influence of the non-historic property. Guidelines in Section 7.0: Additions and New Construction are relevant to such evaluations.”

¹ A search of available County documents reveals a COA for a second floor addition to the Chabad Emory Student Center in May of 2018; renovation of 1669 North Decatur Road (Glen Chapel Scout Hut) in October of 2016 and 2018; renovation of 1574 North Decatur Road (Jimmy Johns) August 20, 2015.

The only historic structure within the area of influence for the Subject Property appears to be the Emory Jewish Center. Keeping the period of significance in mind (pre-1946), the Applicant has designed an office building in keeping with many of the features of the commercial resources in the Village. The design also borrows characteristics and materials from nearby buildings such as the Jewish Center and integrates them into the proposed renovated structure. The office building is faced in brick, the predominant material in Druid Hills, has double hung entrance doors with a transom and signage above the door—features found elsewhere along North Decatur Road. See photos included with this submission. The brick elevations, style and size of the fenestration and doors along with the overall style of the proposed building renovation are compatible with the Emory Jewish Center—and do not conflict with the architectural elements and design features of the only historic property within the area of influence (GL # 7.2.8).

Because the Applicant does not propose to alter the building orientation, set back, directional emphasis, massing, proportions, rhythm, scale or height of the existing building, none of the remaining Guidelines of 7.2 are relevant. Similarly, Guideline 7.3.3 has no applicability because the Applicant does not propose relocation or any exterior demolition. The architect has refrained from adding any false historical details to the proposed renovated structure and has been careful to respect the historic character of the area without merely imitating historic design per Guidelines 7.3.1 and 7.3.2.

SUMMARY

It is clear that the Application, as proposed, meets all of the relevant Guidelines and more importantly would not have a “substantial adverse effect on the aesthetic, historic or architectural significance and value of an historic property or the historic

district”. Section 13.5-8(7), which is the touchstone for approval of COAs under the DeKalb County Historic Preservation Ordinance. Based on the foregoing and for all of the reasons set forth above, the DeKalb County Historic Preservation Commission should grant the Applicant’s request for a Certificate of Appropriateness so that the building on the Subject Property can be renovated per the Applicant’s submitted plans.

PRESERVATION OF CONSTITUTIONAL RIGHTS

The Applicant respectfully submits that, should the DeKalb County Historic Preservation Commission refuse to grant the requested Certificate of Appropriateness, such an action would be unconstitutional as a taking of property, a denial of equal protection, an arbitrary and capricious act, and a denial of due process of law under the United States Constitution and the Constitution of the State of Georgia.

Refusal to issue the requested Certificate of Appropriateness would deprive the Applicant of any alternative reasonable use and development of the Subject Property without just compensation and would be insubstantially related to the health and welfare of the public while substantially harming the Property owner.

Applicant specifically objects to the standing of any party that opposes this Application for Certificate of Appropriateness.

This 30th day of August, 2018.

Respectfully submitted,



Linda I. Dunlavy
Attorney for Applicant

Dunlavy Law Group, LLC
1026 B Atlanta Avenue
Decatur, Georgia 30030
(404) 371-4101 Phone
(404) 371-8901 Facsimile
ldunlavy@dunlavylawgroup.com

RESERVED FOR CLERK OF THE SUPERIOR COURT

SURVEY ORDERED BY: DAVID AYNES
 FIELDWORK COMPLETED ON: APRIL 2, 2018
 A SEARCH WAS MADE FOR NGS MONUMENTS
 AND NONE WERE FOUND WITHIN 500' OF SITE.
 A DEKALB COUNTY SURVEY MONUMENT WAS FOUND
 ALTHOUGH SURVEYOR COULD NOT FIND ANY DATA
 ON THIS MONUMENT.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAYS
 AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED
 OR UNRECORDED.

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF
 A TITLE REPORT WHICH COULD REVEAL ENCUMBRANCES
 NOT SHOWN.

UTILITIES SHOWN ARE LOCATION VISIBLE AT
 TIME OF SURVEY. ADDITIONAL UTILITIES MAY
 EXIST ABOVE OR BELOW GROUND. THE SURVEYOR
 ACCEPTS NO RESPONSIBILITY FOR THE
 COMPLETENESS OF THIS DATA.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE
 PRECISION OF ONE FOOT IN 45,785 FEET AND AN ANGULAR
 ERROR OF 0.01" PER ANGLE POINT AND WAS ADJUSTED
 USING THE COMPASS RULE.
 THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND
 TO BE ACCURATE WITHIN ONE FOOT IN 100,000 FEET.
 EQUIPMENT USED: TOPCON GTS-313.

AS PER OFFICIAL FLOOD INSURANCE MAPS BY
 THE F.E.M.A., A PORTION OF THIS PROPERTY IS
 LOCATED IN A FLOOD HAZARD AREA (ZONE AE)
 AS PER COMMUNITY - PANEL NUMBER 13089C0062J
 DATED: MAY 16, 2013

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS
 PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON
 THE GROUND BY ME OR UNDER MY SUPERVISION, AND THAT THE
 MONUMENTS REFERENCED HEREON, EXIST AND THEIR SIZES,
 LOCATIONS AND MATERIALS ARE CORRECTLY SHOWN.

SURVEYORS CERTIFICATION:

This plat is a retracement of an existing parcel or parcels of land and does not
 subdivide or create a new parcel or make any changes to any real property boundaries.
 The recording information of the documents, maps, plats, or other instruments which
 created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT
 IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH
 LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF
 THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies
 with the minimum technical standards for property surveys in Georgia as set forth in
 the rules and regulations of the Georgia Board of Registration for Professional
 Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

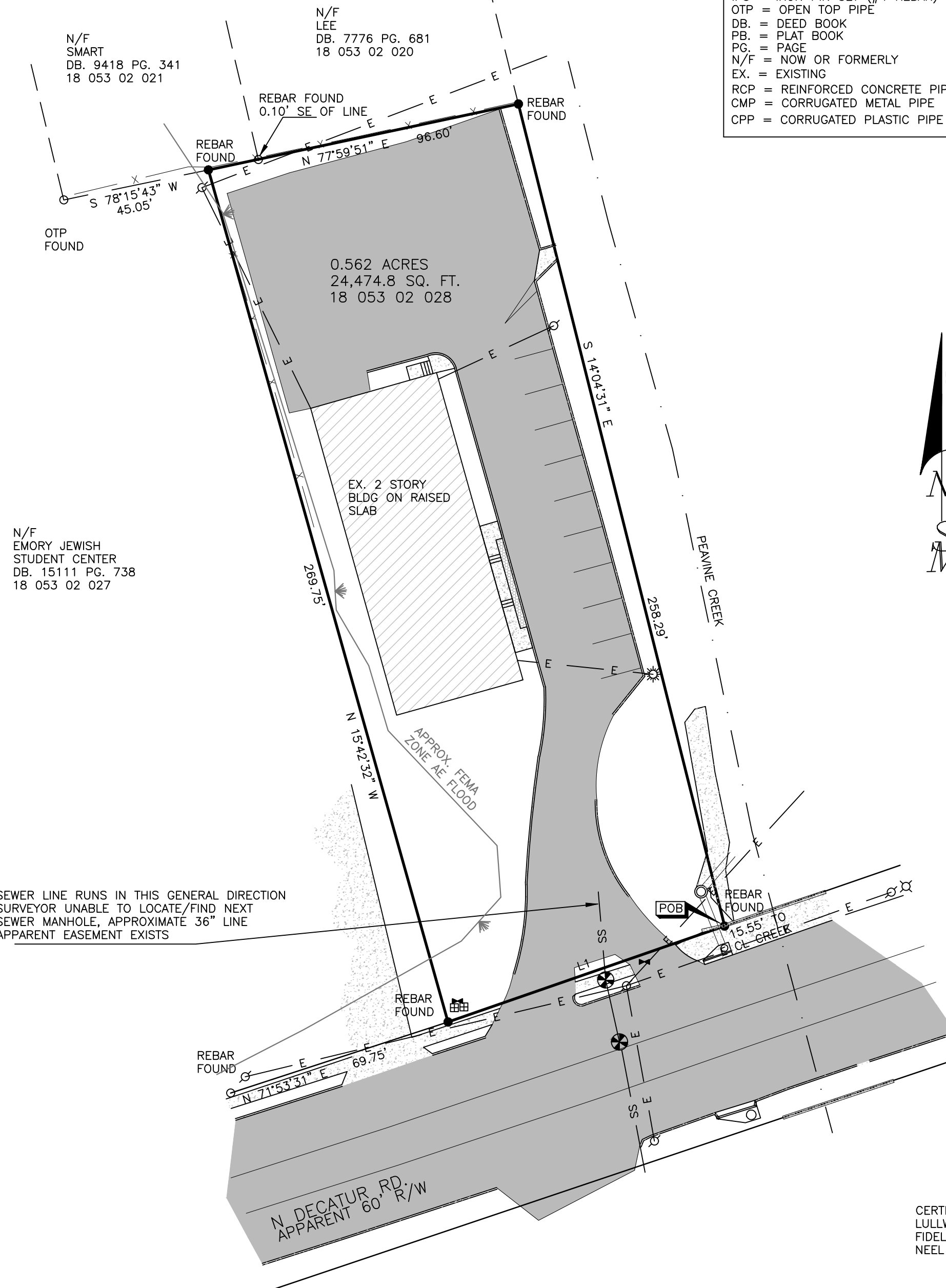


Tim L. Miller
 Tim L. Miller GA. RLS # 3150 Date: 4-9-18

LINE	BEARING	DISTANCE
L1	S 70°52'16" W	89.19'

LEGEND

CONCRETE POWER POLE	---	EX. WATER METER	---
WOODEN POWER POLE	---	EX. WATER VALVE	---
EX. OVERHEAD POWER LINES	---	SANITARY SEWER MANHOLE	---
LIGHT POLE	---	SEWER CLEAN-OUT	---
EX. FENCE	---	EX. SINGLEWING CATCH BASIN	---
POB = POINT OF BEGINNING		JUNCTION BOX	---
IPS = IRON PIN SET (#4 REBAR)		EX. BUILDING	---
OTP = OPEN TOP PIPE		EX. ASPHALT	---
DB. = DEED BOOK		EX. CONCRETE	---
PB. = PLAT BOOK		EX. WALL	---
PG. = PAGE			
N/F = NOW OR FORMERLY			
EX. = EXISTING			
RCP = REINFORCED CONCRETE PIPE			
CMP = CORRUGATED METAL PIPE			
CPP = CORRUGATED PLASTIC PIPE			



SEWER LINE RUNS IN THIS GENERAL DIRECTION
 SURVEYOR UNABLE TO LOCATE/FIND NEXT
 SEWER MANHOLE, APPROXIMATE 36" LINE
 APPARENT EASEMENT EXISTS

CERTIFIED TO:
 LULLWATER WHARF, LLC, IBERIABANK,
 FIDELITY TITLE INSURANCE COMPANY,
 NEEL ROBINSON, STRAFFORD, LLC



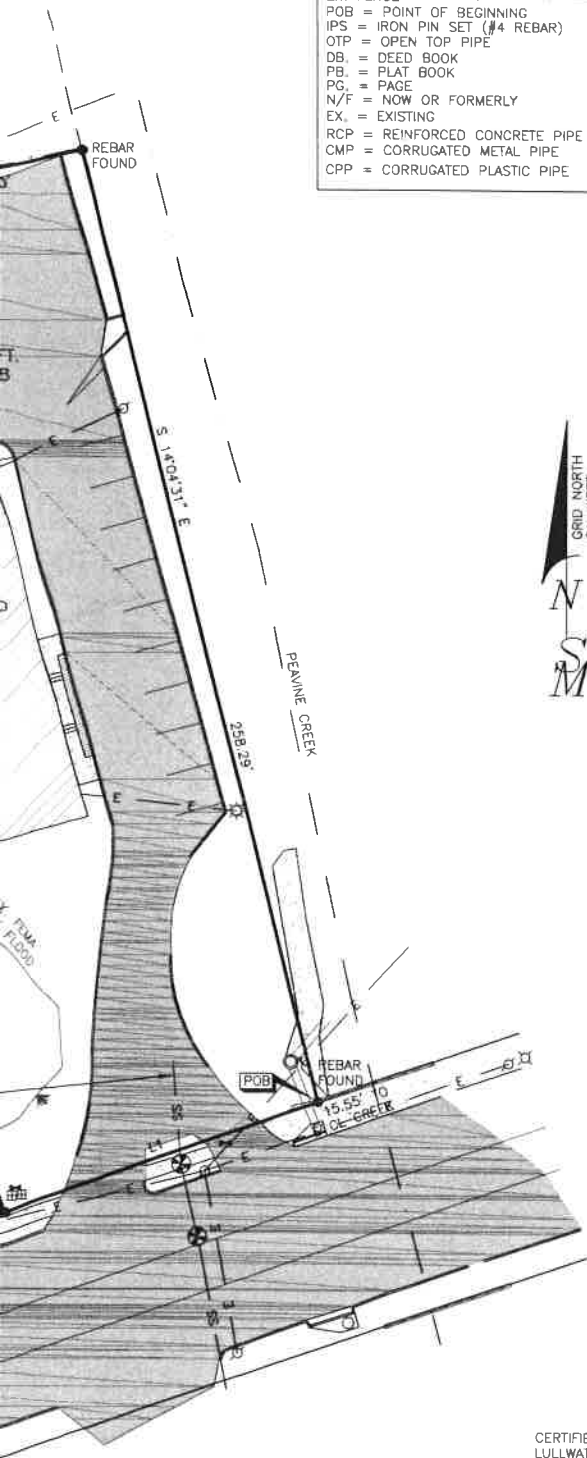
GRAPHIC SCALE = FEET

SIBLEY-MILLER
SURVEYING & PLANNING INC.
 2062 HWY. 42 NORTH
 McDONOUGH, GA 30253
 PHONE:(770) 320-7555
 FAX:(770) 320-7333
 www.sibleysurveying.com

*TOPOGRAPHICAL SURVEYS
 *LAND SURVEYING
 *LAND PLANNING
 *CONSTRUCTION LAYOUT
 *LAND DEVELOPMENT DESIGN
 *CIVIL ENGINEERING

BOUNDARY SURVEY
LULLWATER WHARF, LLC,
0.562 ACRES
LAND LOT 53, 18th. DISTRICT
DRUID HILLS
DEKALB COUNTY, GEORGIA

PROJECT NO.:B18020
 BOUNDARY
 DRAWN BY: TLM
 SCALE:1" = 30'
 DATE: 4-5-18

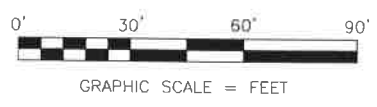


LEGEND

CONCRETE POWER POLE	---	EX. WATER METER	---	⊠
WOODEN POWER POLE	---	EX. WATER VALVE	---	⊠
EX. OVERHEAD POWER LINES	---	SANITARY SEWER MANHOLE	---	⊠
LIGHT POLE	---	SEWER CLEAN-OUT	---	⊠
EX. FENCE	---	EX. SINGLEWING CATCH BASIN	---	⊠
POB = POINT OF BEGINNING		JUNCTION BOX	---	⊠
IPS = IRON PIN SET (#4 REBAR)		EX. BUILDING	---	⊠
OTF = OPEN TOP PIPE		EX. ASPHALT	---	⊠
DB = DEED BOOK		EX. CONCRETE	---	⊠
PB = PLAT BOOK		EX. WALL	---	⊠
PG = PAGE				
N/F = NOW OR FORMERLY				
EX. = EXISTING				
RCP = REINFORCED CONCRETE PIPE				
CMP = CORRUGATED METAL PIPE				
CPP = CORRUGATED PLASTIC PIPE				



CERTIFIED TO:
 LULLWATER WHARF, LLC, IBERIABANK,
 FIDELITY TITLE INSURANCE COMPANY,
 NEEL ROBINSON, STRAFFORD, LLC



SIBLEY-MILLER
SURVEYING & PLANNING INC.

2062 HWY. 42 NORTH
 McDONOUGH, GA. 30253
 PHONE: (770) 320-7555
 FAX: (770) 320-7533
 www.sibleysurveying.com

*TOPOGRAPHICAL SURVEYS
 *LAND SURVEYING
 *LAND PLANNING
 *CONSTRUCTION LAYOUT
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 *CIVIL ENGINEERING

BOUNDARY SURVEY
LULLWATER WHARF, LLC,
0.562 ACRES
LAND LOT 53, 18th. DISTRICT
DRUID HILLS
DEKALB COUNTY, GEORGIA

PROJECT NO.: B18020
 BOUNDARY

DRAWN BY: TLM
 SCALE: 1" = 30'
 DATE: 4-5-18

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Lullwater Wharf, LLC				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1534 N Decatur Rd.				Company NAIC Number:	
City Atlanta		State Ga		ZIP Code 30307	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) A parcel of land in Land Lot 53 of the 18th. District, described in deed book 3830, page 175, Dekalb County Georgia records					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Non-Residential</u>					
A5. Latitude/Longitude: Lat. <u>33.788080</u> Long. <u>-84.327937</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>NA</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>NA</u>					
c) Total net area of flood openings in A8.b <u>NA</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>NA</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>NA</u>					
c) Total net area of flood openings in A9.b <u>NA</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Dekalb County 130065			B2. County Name Dekalb		B3. State Georgia
B4. Map/Panel Number 13089C0062	B5. Suffix J	B6. FIRM Index Date May 16, 2013	B7. FIRM Panel Effective/ Revised Date	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 864
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1534 N Decatur Rd			Policy Number:
City Atlanta	State Ga	ZIP Code 30307	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is 1 14 feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is 2 34 feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is NA feet meters above or below the HAG.
- E3. Attached garage (top of slab) is NA feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is 0 51 feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State Georgia	ZIP Code
Signature	Date	Telephone	

Comments

C2e. is AC Pad

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1534 N Decatur Rd			Policy Number:
City Atlanta	State Ga	ZIP Code 30307	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

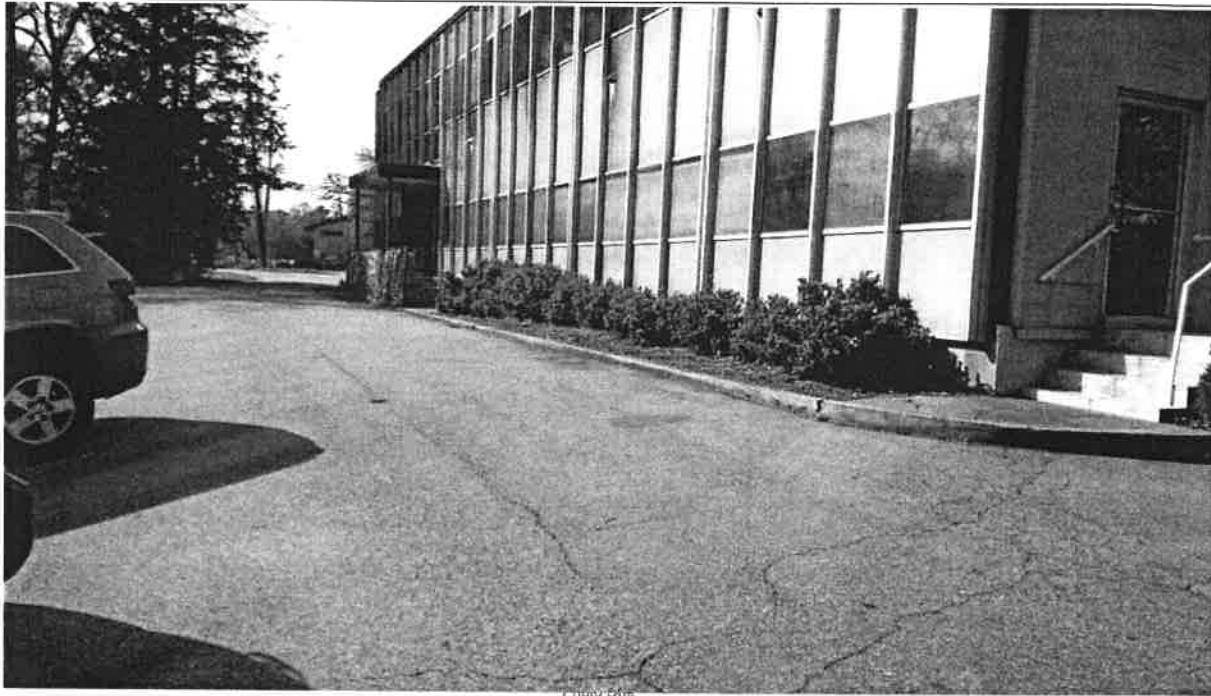


Photo One Caption Front 4-12-18

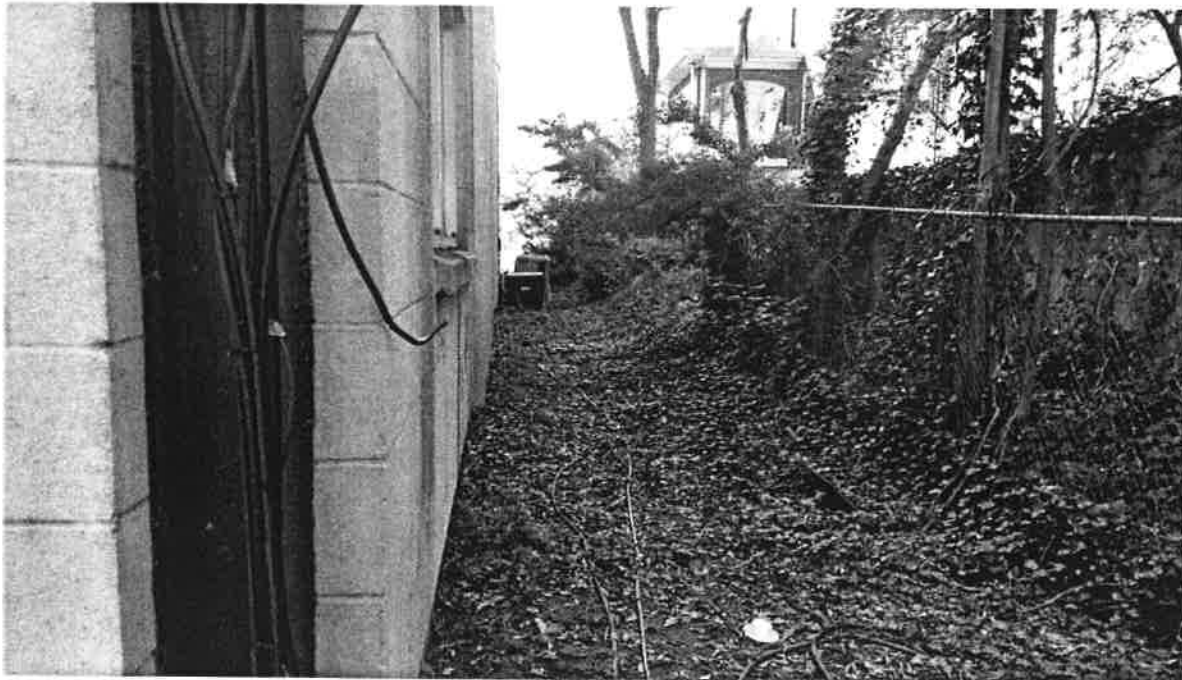


Photo Two Caption Rear 4-12-18

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1534 N Decatur Rd			Policy Number:
City Atlanta	State Ga	ZIP Code 30307	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

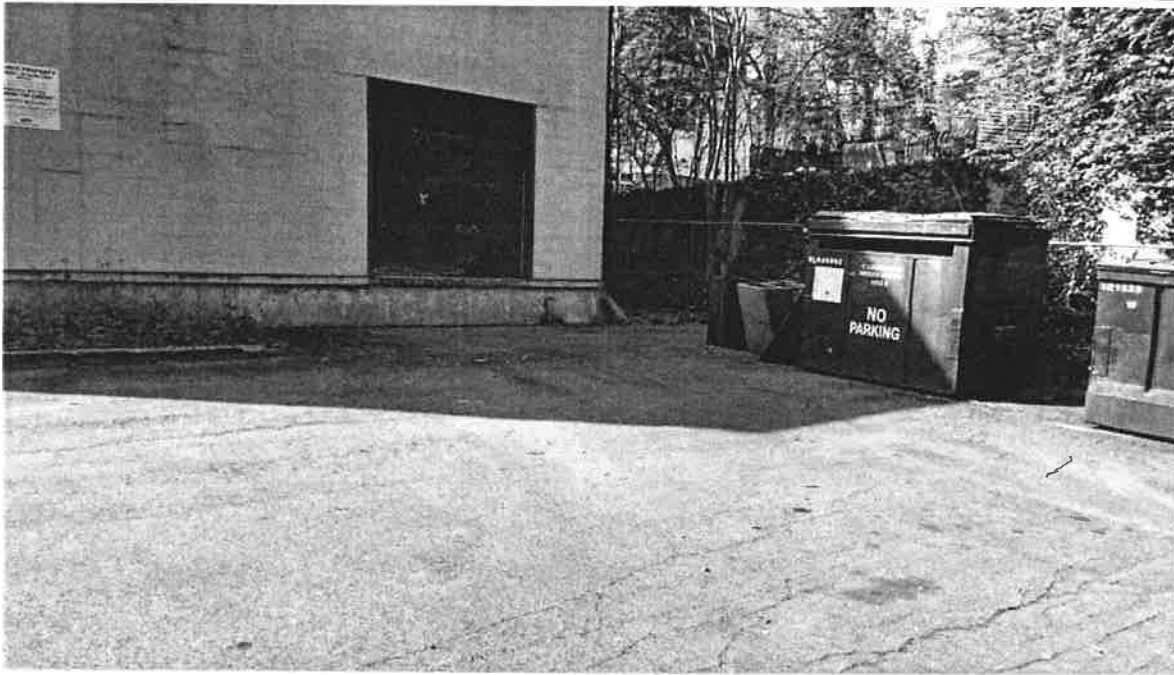


Photo One

Photo One Caption North Side 4-12-18

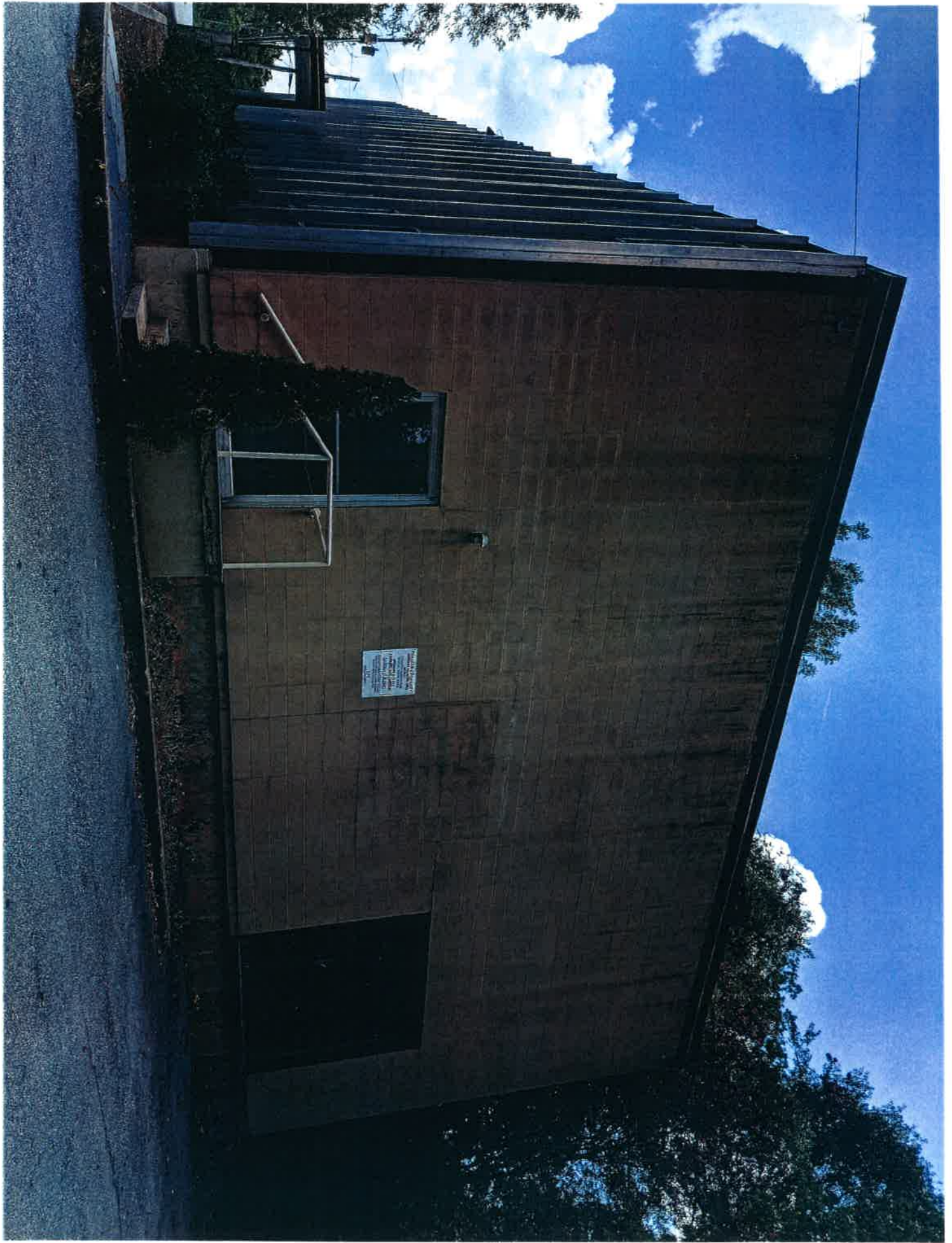


Photo Two

Photo Two Caption South Side 4-12-18

**Existing
Building
at 1534
N. Decatur Road**







**Tax Information for
1534 N.
Decatur Road**



Print this page for your records

Property Tax Information Results

[Pay Now](#)

Online Payments are for 2018 Only

[Back](#)**For additional assistance, contact (404) 298-4000.**[Contact Us](#)

Property Identification

Parcel ID 18 053 02 028
Pin Number 0912930
Property Address 1534 N DECATUR RD NE
Property Type Real Estate
Tax District 04 - UNINCORPORATED

Owner Information

Last Name, First Name

Jan. 1st Owner DARDEN CLAIBOURNE H JR
Co-Owner
 Current Owner DARDEN CLAIBOURNE H JR
Co-Owner

Owner Address 1534 N DECATUR RD NE
 ATLANTA GA 30307-1022

Care of Information

** CHANGE MAILING ADDRESS? **

Homestead Exemption

Exemption Type - NO EXEMPTION
Tax Exempt Amount \$0.00

[APPLY FOR BASIC HOMESTEAD EXEMPTION AND PROPERTY ASSESSMENT FREEZE](#)

Other Exemption Information

Exemption Type
Value Exemption Amount \$0.00

Deed Information

Deed Type WARRANTY DEED
Deed Book/Page 05387 / 00320
Plat Book/Page 0 / 0

Property Characteristics/ Sales Information

NBHD Code 7019
Zoning Type OI - OFFICE INSTITUTION
Improvement Type
Year Built 1965
Condition Code AVERAGE
Quality Grade AVERAGE
Air Conditioning
Fireplaces
Stories
Square Footage 7,760 Sq. Ft.
Basement Area 0 Sq. Ft.
% Bsmt Finished 0 Sq. Ft.
Bedrooms
Bathrooms
Last Deed Date 4/2/1986
Last Deed Amount \$33,100.00

[Click here to view property map](#)[Additional Property](#)

Property Value/Billing Assessment

Taxable Year 2018
Land Value \$292,700

Tax Information Summary

<u>Taxable Year</u>	2018
<u>Millage Rate</u>	0.04399
<u>1st Installment Amount</u>	\$4,866.52
<u>2nd Installment Amount</u>	\$4,866.52
<u>DeKalb County Taxes Billed</u>	\$9,733.04
<u>DeKalb County Taxes Paid</u>	\$0.00
<u>DeKalb County Taxes Due</u>	\$9,733.04
<u>Total Taxes Billed</u>	\$9,733.04
<u>Total Taxes Paid</u>	(\$0.00)
<u>Total Taxes Due</u>	\$9,733.04

DeKalb County Taxes

[Tax Bill Details](#)

-- Choose a Tax Year -- ▼

[Get Tax Payoff Info.](#)

Property Tax Mailing Address

DeKalb County Tax
 Commissioner
 Collections Division
 PO Box 100004
 Decatur, GA 30031-7004

Prior Years Tax

*** Please note that payment posting information may be delayed due to batch processing***

DeKalb County Tax

<u>TaxYear</u>	<u>Total Owed</u>	<u>Total Paid</u>	<u>Total Due</u>	<u>Adjusted Bill Due Date</u>
2018	\$9,733.04	\$0.00	\$9,733.04	
2017	\$9,754.62	\$9,754.62	\$0.00	
2016	\$9,776.20	\$9,776.20	\$0.00	
2015	\$9,862.52	\$9,862.52	\$0.00	
2014	\$10,013.60	\$10,013.60	\$0.00	
2013	\$10,024.38	\$10,024.38	\$0.00	
2012	\$10,035.16	\$10,035.16	\$0.00	
2011	\$9,830.14	\$9,830.14	\$0.00	

Delinquent Taxes/ Tax Sale Information

Tax Sale File Number
FiFa-GED Book/Page
Levy Date
Sale Date
Delinquent Amount Due

<u>Building Value</u>	\$246,800
<u>Misc. Improvement Value</u>	\$0
<u>Total Value</u>	\$539,500
<u>40% Taxable Assessment</u>	\$215,800

Information as of 8/22/2018

For additional information on the data above,
contact the Property Appraisal Department at 404-371-2471

For additional assistance, contact (404) 298-4000.

[Contact Us](#)

Property Appraisal Department

Property Overview

8/22/2018 12:22:21 PM

Close

Print

Parcel ID: 18 053 02 028

To view map, click on parcel ID number.

Owner Information

Tax District	04 - UNINCORPORATED	Zoning	01 - OFFICE INSTITUTION
Jan. 1st Owner	DARDEN CLAIBOURNE H JR	Land Use	353 - Office Building - Low Rise - 1-4 Story
Co-Owner		Land Unit	24,394
Current Owner	DARDEN CLAIBOURNE H JR	Calculated Acreage	0.56
Co-Owner		Deeded Acreage	0.7
Owner Address	1534 N DECATUR RD NE ATLANTA GA 30307-1022	Neighborhood	7019
Property Address	1534 N DECATUR RD NE	Property Class	C3 - COMMERCIAL LOT

Appeal Status

Date Notice Mailed 6/1/2018

2018

N - C.O.A. Notice

2017

N - C.O.A. Notice

Appeal Code

Process Code

Hearing Date

Hearing Time

Assessment Notice

You may need to download Adobe Acrobat Reader. It is available at 

Tax Year - ASMT Notice or Letter

2018 - Notice 1

2017 - Notice 1

2016 - Notice 1

The online appeal application is unavailable. Your letter of appeal must be hand-delivered or **POSTMARKED BY THE U.S. POSTAL SERVICE** by the Appeal Deadline Date shown on the front of your **2018** Notice to ensure acceptance as a timely appeal. If you do not file an appeal by this date, your right to file an appeal will be lost. Late appeals will not be processed.

Building Characteristics

Year Built	1965	Square Footage	7,760
Condition Code	AVERAGE	Unfinished Basement	0 Sq. Ft.
Quality Grade	AVERAGE	Finished Basement	0 Sq. Ft.
Air Conditioning		Bedrooms	
Fireplace		Bathrooms	
Stories			

Current Appraised & Assessment Value

Tax Year	Total Appraised	Taxable Land	Taxable Imp.	Total Taxable	Total Taxable Assessment (40%)
2018	\$539,500	\$292,700	\$246,800	\$539,500	\$215,800

Sales History

Book/Page	Sale Date	Deed Type	Sale Condition	Sale Price
05387 - 00320	4/2/1986	WD - WARRANTY DEED	2 - PARTIAL INTEREST	\$33,100.00
03830 - 00175	6/23/1978	WD - WARRANTY DEED	0 - VALID SALE FMV	\$0.00

Sales which occurred prior to January 1 of this year were used to establish values for the current year. All sales which take place after January 1 will be considered for next year's valuations. These sales are provided for your convenience and may not have been verified or confirmed by our staff. We reserve the right to edit as needed.

[Related Personal Property](#)

[Sales Data Search](#)

[Detailed Property Data](#)

[Property Tax Data](#)

Property Tax Information Results

Parcel ID :18 053 02 028

Print

Back

Land Data

Neighborhood	Commercial Land Use	Zoning	Unit Type	Unit Size
7019 - 353	N/A	OI - OFFICE INSTITUTION	Sq. Ft.	24,394.00

Building Information

Building #1 - Commercial

Building Characteristics

Blt As	353 OFFICE BLDG L/R 1-4S	Structure Type	Brick and Concrete Block	
Blt As SF	7,760	Stories	2	
Actual Year Built	1965	Basement %	0.00	
Functional Obsolescence	0	Economic Obsolescence	0	
Wall Height	HVAC	Sprinkler	Condition	Quality Grade
12	NORMAL	NO	AVERAGE	AVERAGE

Building Permit Data

No Building Permit Data Available

History of Values

Tax Year	Total Appraised	Taxable Land	Taxable Improvement	Total Taxable	Total Assessment
2018	539,500	292,700	246,800	539,500	215,800
2017	539,500	292,700	246,800	539,500	215,800
2016	539,500	292,700	246,800	539,500	215,800
2015	539,500	292,700	246,800	539,500	215,800
2014	539,500	292,700	246,800	539,500	215,800
2013	539,500	292,700	246,800	539,500	215,800
2012	539,500	292,700	246,800	539,500	215,800
2011	539,500	292,700	246,800	539,500	215,800
2010	539,500	292,700	246,800	539,500	215,800
2009	539,500	292,700	246,800	539,500	215,800
2008	539,500	292,700	246,800	539,500	215,800
2007	539,500	292,700	246,800	539,500	215,800
2006	539,500	292,700	246,800	539,500	215,800
2005	468,200	195,100	273,100	468,200	187,280

For information on property characteristics, contact (404) 371-2471.

Back

**Proximate
Non-Residential
Properties**



1554 N. Decatur Rd.
Heading east on N. Decatur Rd; same side as subject property



1556 N. Decatur Rd.
Heading east on N. Decatur Rd; same side as subject
property



1537 N. Decatur Rd.
Heading east on N. Decatur Rd; opposite side of street
from subject property

RESERVED FOR CLERK OF THE SUPERIOR COURT

SURVEY ORDERED BY: DAVID AYNES
FIELDWORK COMPLETED ON: APRIL 2, 2018
A SEARCH WAS MADE FOR NCS MONUMENTS
AND NONE WERE FOUND WITHIN 500' OF SITE.
A DEKALB COUNTY SURVEY MONUMENT WAS FOUND
ALTHOUGH SURVEYOR COULD NOT FIND ANY DATA
ON THIS MONUMENT.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAYS
AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED
OR UNRECORDED.

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF
A TITLE REPORT WHICH COULD REVEAL ENCUMBRANCES
NOT SHOWN.

UTILITIES SHOWN ARE LOCATION VISIBLE AT
TIME OF SURVEY. ADDITIONAL UTILITIES MAY
EXIST ABOVE OR BELOW GROUND. THE SURVEYOR
ACCEPTS NO RESPONSIBILITY FOR THE
COMPLETENESS OF THIS DATA.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE
PRECISION OF ONE FOOT IN 45,785 FEET AND AN ANGULAR
ERROR OF 0.01" PER ANGLE POINT AND WAS ADJUSTED
USING THE COMPASS RULE.
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND
TO BE ACCURATE WITHIN ONE FOOT IN 100,000 FEET.
EQUIPMENT USED: TOPCON GTS-313.

AS PER OFFICIAL FLOOD INSURANCE MAPS BY
THE F.E.M.A., A PORTION OF THIS PROPERTY IS
LOCATED IN A FLOOD HAZARD AREA (ZONE AE)
AS PER COMMUNITY - PANEL NUMBER 13089C0062J
DATED: MAY 16, 2013

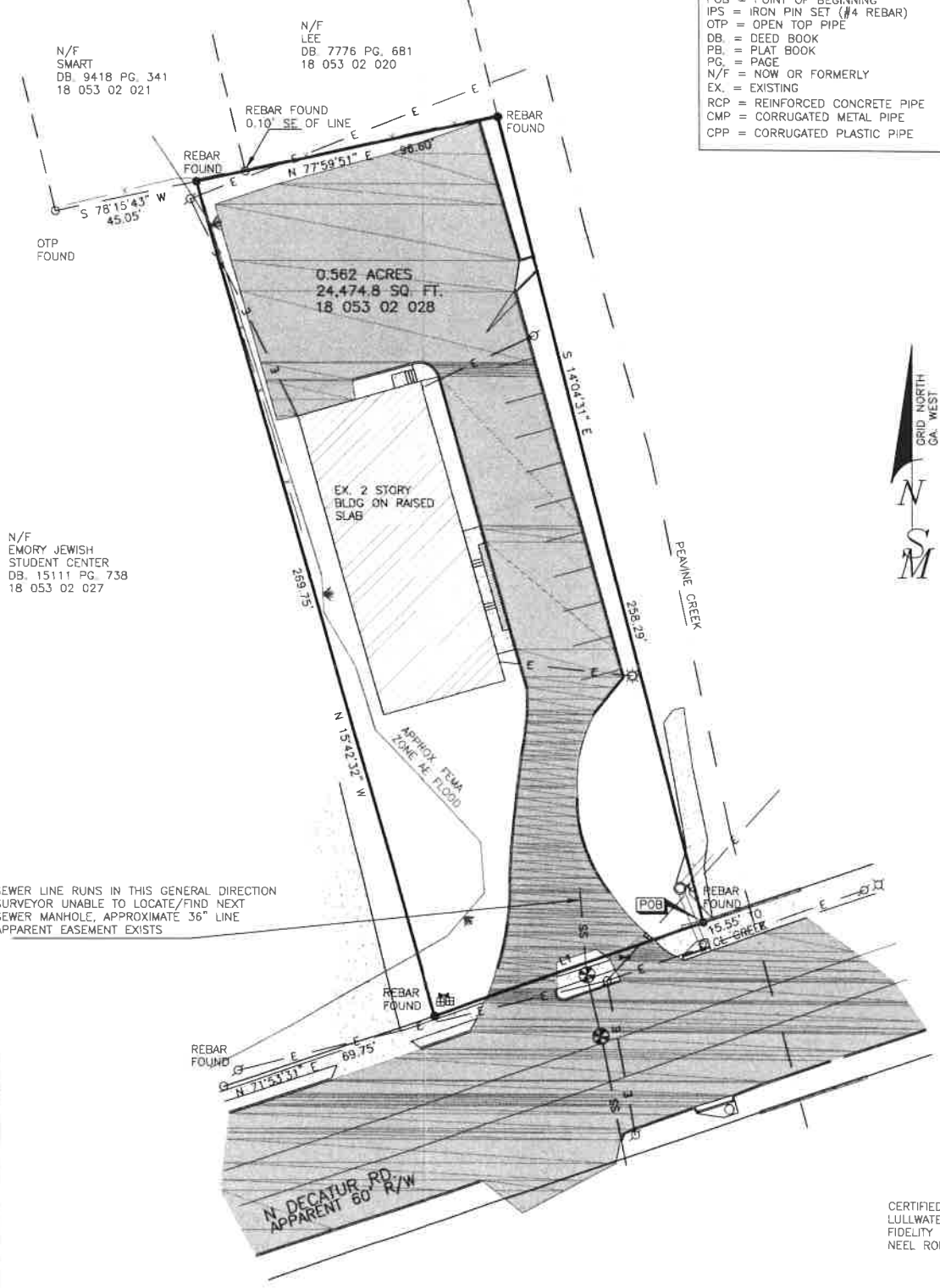
SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS
PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON
THE GROUND BY ME OR UNDER MY SUPERVISION, AND THAT THE
MONUMENTS REFERENCED HEREON, EXIST AND THEIR SIZES,
LOCATIONS AND MATERIALS ARE CORRECTLY SHOWN.

SURVEYORS CERTIFICATION:

This plat is a retracement of an existing parcel or parcels of land and does not
subdivide or create a new parcel or make any changes to any real property boundaries.
The recording information of the documents, maps, plats, or other instruments which
created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT
IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH
LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF
THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies
with the minimum technical standards for property surveys in Georgia as set forth in
the rules and regulations of the Georgia Board of Registration for Professional
Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



Tim L. Miller
Tim L. Miller GA. RLS #3150 Date: 4-9-18



LEGEND	
CONCRETE POWER POLE	EX. WATER METER
WOODEN POWER POLE	EX. WATER VALVE
EX. OVERHEAD POWER LINES	SANITARY SEWER MANHOLE
LIGHT POLE	SEWER CLEAN-OUT
EX. FENCE	EX. SINGLEWING CATCH BASIN
POB = POINT OF BEGINNING	JUNCTION BOX
IPS = IRON PIN SET (#4 REBAR)	EX. BUILDING
OTP = OPEN TOP PIPE	EX. ASPHALT
DB. = DEED BOOK	EX. CONCRETE
PB. = PLAT BOOK	EX. WALL
PG. = PAGE	
N/F = NOW OR FORMERLY	
EX. = EXISTING	
RCP = REINFORCED CONCRETE PIPE	
CMP = CORRUGATED METAL PIPE	
CPP = CORRUGATED PLASTIC PIPE	



SEWER LINE RUNS IN THIS GENERAL DIRECTION
SURVEYOR UNABLE TO LOCATE/FIND NEXT
SEWER MANHOLE, APPROXIMATE 36" LINE
APPARENT EASEMENT EXISTS

PROPERTY LINE DATA	
LINE BEARING	DISTANCE
L1 S 70°52'16" W	189.19'



CERTIFIED TO:
LULLWATER WHARF, LLC, IBERIABANK,
FIDELITY TITLE INSURANCE COMPANY,
NEEL ROBINSON, STRAFFORD, LLC

SIBLEY-MILLER
SURVEYING & PLANNING INC.
2062 HWY. 42 NORTH
McDONOUGH, GA. 30253
PHONE: (770) 320-7555
FAX: (770) 320-7333
www.sibleysurveying.com

BOUNDARY SURVEY
LULLWATER WHARF, LLC,
0.562 ACRES
LAND LOT 53, 18th. DISTRICT
DRUID HILLS
DEKALB COUNTY, GEORGIA

PROJECT NO.: B18020
BOUNDARY
DRAWN BY: TLM
SCALE: 1" = 30'
DATE: 4-5-18

Lullwater Wharf, LLC

Office Building

1534 North Decatur Road
Atlanta, Georgia 30307

PROJECT DIRECTORY:

Architect:
R. G. Scott & Associates, Inc.
Robert G. Scott
4615 Fowler Trail
Cumming, GA 30041
770.401.5909
rscott89@bellsouth.net

Building Management:

Project Management:

General Contractor:
C&W Contracting Services
Curtis Costley
1395 South Marietta Pkwy
Building 100 Suite 124
Marietta, GA 30067
678-412-0011

INDEX:

A0.0 COVER SHEET
Civ# SITE PLAN
A1.0 DEMOLITION PLAN
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 ROOF PLAN
A2.0 EXTERIOR ELEVATIONS
A2.1 EXTERIOR ELEVATIONS
A2.2 BRICK COURSING
A3.0 BUILDING SECTIONS
A3.1 WALL SECTIONS

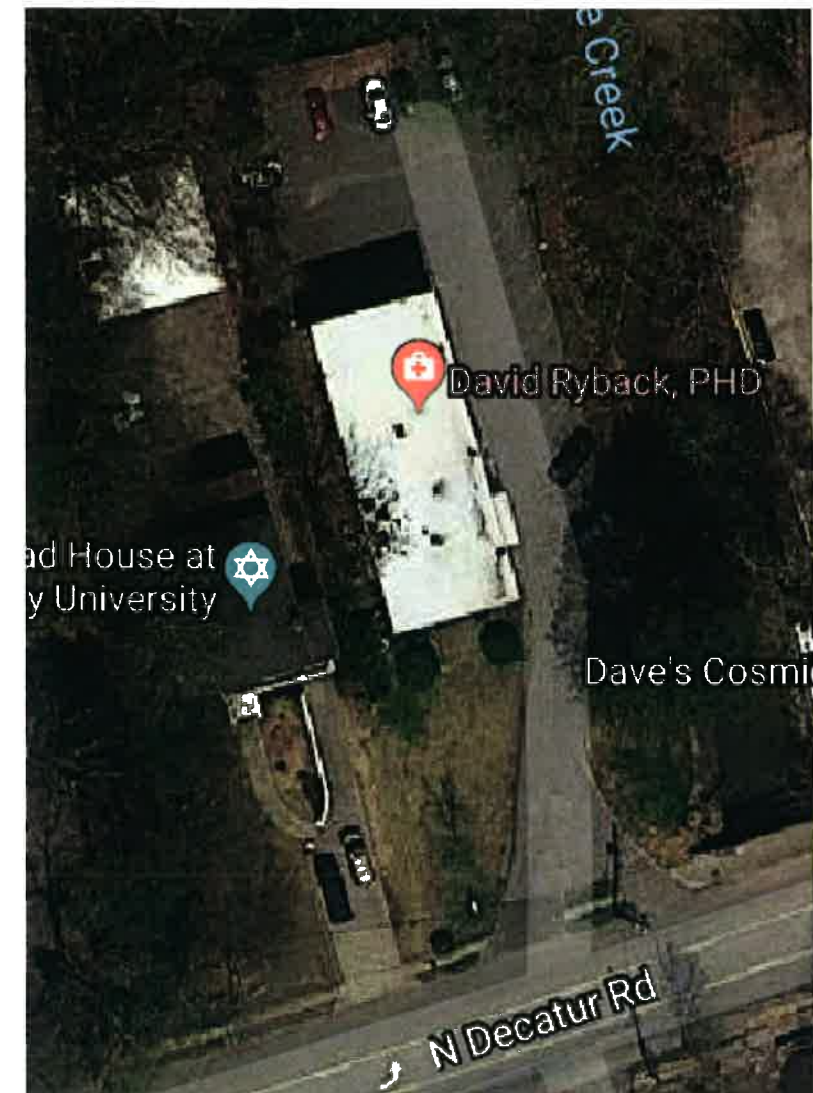
NARRATIVE:

THE RENOVATION OF AN EXISTING OFFICE BUILDING FOR USE OF OWNER/TENANT. ALL INTERIOR CONSTRUCTION TO BE REMOVED FOR NEW CONSTRUCTION. EXISTING WINDOWS TO BE REMOVED AND WALLS TO BE REWORKED FOR NEW WINDOWS. BUILDING WILL HAVE NEW BRICK VENEER ON NEW METAL STUD WALL AND/OR ON EXISTING CMU WALL CONSTRUCTION. THESE DRAWINGS ARE A WORK IN PROGRESS WITH THE INTENT TO SHOW SCOPE OF WORK IN THE BUILDING.

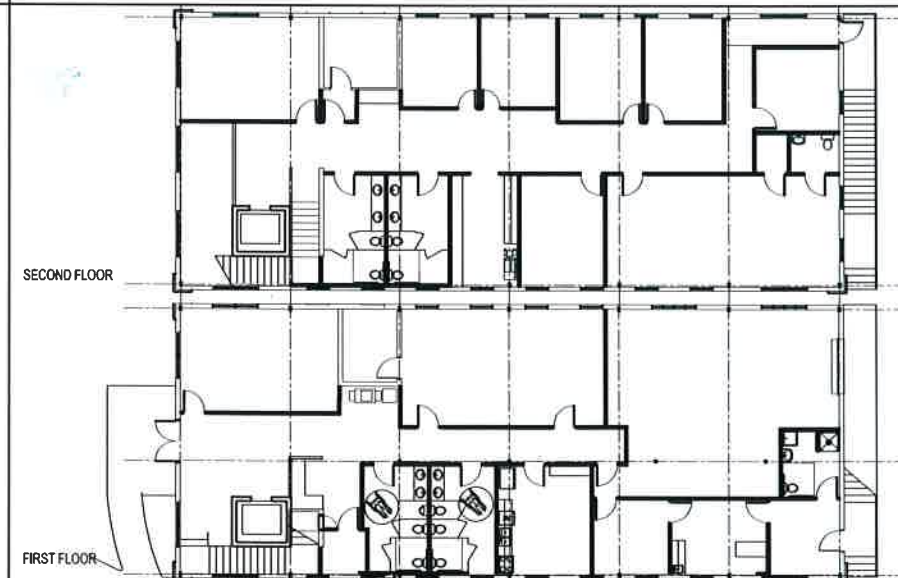
LOCATION MAP



AERIAL VIEW:



KEY PLAN:



GENERAL NOTES:

1. THESE DRAWINGS ARE THE PROPERTY OF R. G. SCOTT AND ASSOCIATES, AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT.

2. DO NOT SCALE FROM THESE DRAWINGS.

3. CONTRACTOR SHALL REVIEW ALL DRAWINGS/SPECIFICATIONS AND VERIFY ALL DIMENSIONS/CONDITIONS AT SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS BEFORE PROCEEDING WITH THE PROJECT.

4. CONTRACTOR TO REVIEW AND BASE THEIR BID UPON THE REQUIREMENTS OF THE BUILDING MANAGEMENT AS NOTED IN THEIR "RULES OF THE SITE FOR TENANT CONTRACTOR'S WORK, AND A SITE VISIT TO VERIFY AS BUILT CONDITIONS.

5. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES.

6. THESE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING AT THE SITE. PRIOR TO COMMENCEMENT THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS SUCH AS EXISTING UTILITIES TO DETERMINE ALL REQUIREMENTS FOR DISCONNECTING, CAPPING AND/OR PROTECTING ALL SUCH WORK.

7. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SCHEDULE FOR ALL LONG LEAD TIME ITEMS ON THE PROJECT AND SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND OWNER AS TO ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED PRIOR TO ORDERING THAT ITEM.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS IN HIS WORK SPACE TO COMPLY WITH ALL FIRE REGULATIONS THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REGULATIONS IN THE EXECUTION OF THEIR WORK.

9. CONTRACTOR SHALL COMPLY WITH THE OWNER RESTRICTIONS REGARDING ALL CORING, DRILLING, INTERRUPTION OF BUILDING SERVICES, ETC. CONTRACTOR MUST BE SCHEDULE WITH BUILDING MANAGEMENT.

10. ALL PROTRUSIONS OR OPENINGS IN A RATED FIRE WALL SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED.

11. FIELD CHANGES REQUESTED BY THE TENANT MUST BE REVIEWED BY THE OWNER, ARCHITECT, PRICED BY THE CONTRACTOR AND APPROVED BY TENANT PRIOR TO IMPLEMENTATION.

12. ALL BLOCKING IN WALLS OR ABOVE CEILING SHALL BE FIRE TREATED TO MEET LOCAL CODES.

13. INSTALL BLOCKING AS REQUIRED FOR WALL MOUNTED (TOILET) ACCESSORIES IN RESTROOMS.

14. ALL DIMENSIONS SHALL BE TO FACE OF FINISH UNLESS OTHERWISE NOTED.

15. FRAME DOOR OPENINGS WITH DOUBLE 20 GAGE STUDS. SCREW SHEETROCK OFF TO STUDS 6" O.C. AT DOOR JAMBS.

16. HARDWARE SPECIFICATIONS MUST BE COORDINATED THROUGH ARCHITECT AND STRICTLY ADHERED TO.

17. PUBLIC AREAS INCLUDING HALLWAYS, CARPETING, MARBLE FLOORING AND ELEVATOR LOBBIES ARE TO BE PROTECTED AT ALL TIMES. ANY FINISHES DAMAGED DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR PRIOR TO LEAVING THE SITE. THIS INCLUDES ALL SHELL DOORS TO STAIRS, HVAC AND ELECTRICAL ROOMS, JANITOR'S SERVICE ROOMS AND RESTROOMS DOORS. ALL BASE BUILDING FINISH MATERIALS IF AVAILABLE, MUST BE PURCHASED AND/OR COORDINATED THROUGH BUILDING MANAGEMENT.

18. CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP OF THEIR AREAS (I.E. CEILING TILE REPLACEMENTS, TRASH REMOVAL, CARPET VACUUM, ETC.) TO INCLUDE REMOVAL OF FOOD AND DRINK CONTAINERS AS THE BUILDING DOES NOT FURNISH CONSTRUCTION CLEAN-UP SERVICES.

19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF SITE DISPOSAL OF ALL CONTAINER, PALLETS, CONSTRUCTION DEBRIS, ETC. THE PROPERTY COMPACTOR AND ENCLOSURE SHALL NOT BE USED FOR DISPOSAL OF ANY KIND. PLACEMENT OF CONSTRUCTION DUMPSTER MUST BE COORDINATED WITH BUILDING MANAGEMENT.

20. THERE WILL BE NO SMOKING, CHEWING TOBACCO OR ALCOHOLIC BEVERAGES PERMITTED ON THE PREMISES. PLEASE SMOKE IN DESIGNATED AREAS ONLY.

21. STORAGE OF WORK TOOLS, BOXES OR CONSTRUCTION MATERIALS IN EQUIPMENT AND/OR MECHANICAL ROOMS IS PROHIBITED.

22. COORDINATE SPRINKLER SYSTEM INSTALLATION WITH ALL TRADES.

23. ALL EXPOSED ELECTRICAL FIXTURES SUCH AS EXIT LIGHTS, FIRE ALARMS, WALL OR CEILING MOUNTED CLOCKS, ETC. SHALL BE CENTERED ON ARCHITECTURAL FEATURES AS INDICATED ON REFLECTED CEILING PLANS.

24. THE ARCHITECT'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA AND/OR SAMPLES SHALL NOT RELIEVE THE CONTRACTOR OR HIS SUB-CONTRACTOR OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, NOR SHALL ANY SUCH REVIEW RELIEVE RESPONSIBILITY FOR ANY ERROR AND/OR OMISSIONS IN THE SUBMITTALS.

25. IT IS THE INTENT OF THE CONTRACT DRAWINGS TO INCLUDE LABOR, MATERIALS, EQUIPMENT AND OTHER SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

26. ALL DRAWINGS AND DETAILS INCORPORATING EXISTING CONDITIONS ARE REPRESENTATIVE OF EXISTING CONDITIONS ONLY. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DETAILS WITH THE ACTUAL CONDITIONS AND COORDINATE WITH THE ARCHITECT ANY DEVIATIONS OF THE DETAILS REQUIRED EXECUTE THE INTENT OF THESE DETAILS.

R. G. Scott & Associates

Architects

PO Box 18056
Atlanta, GA
30316
(770)401-5909

TENANT NAME
Lullwater Wharf, LLC

1534 North Decatur Road
Atlanta, GA 30307

COVER SHEET

project number
■ 201833
date
■ 8/29/2018

seals

printings
■ 8/24/2018 Review Set
■
■
■
■

drawn by
■
checked by
■

revisions
■
■
■
■
■

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY MANNER WITHOUT PERMISSION OF SAID ARCHITECT.

sheet number
■ A0.0
of
■ 201816

RESERVED FOR CLERK OF THE SUPERIOR COURT

SURVEY ORDERED BY: DAVID AYNES
FIELDWORK COMPLETED ON: APRIL 2, 2018
A SEARCH WAS MADE FOR NGS MONUMENTS
AND NONE WERE FOUND WITHIN 500' OF SITE.
A DEKALB COUNTY SURVEY MONUMENT WAS FOUND
ALTHOUGH SURVEYOR COULD NOT FIND ANY DATA
ON THIS MONUMENT.

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AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED
OR UNRECORDED.

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF
A TITLE REPORT WHICH COULD REVEAL ENCUMBRANCES
NOT SHOWN.

UTILITIES SHOWN ARE LOCATION VISIBLE AT
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COMPLETENESS OF THIS DATA.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE
PRECISION OF ONE FOOT IN 45,785 FEET AND AN ANGULAR
ERROR OF 0.01" PER ANGLE POINT AND WAS ADJUSTED
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THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND
TO BE ACCURATE WITHIN ONE FOOT IN 100,000 FEET.
EQUIPMENT USED: TOPCON GTS-313.

AS PER OFFICIAL FLOOD INSURANCE MAPS BY
THE F.E.M.A., A PORTION OF THIS PROPERTY IS
LOCATED IN A FLOOD HAZARD AREA (ZONE AE)
AS PER COMMUNITY - PANEL NUMBER 13089C0062J
DATED: MAY 16, 2013

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS
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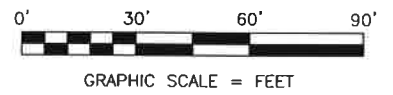
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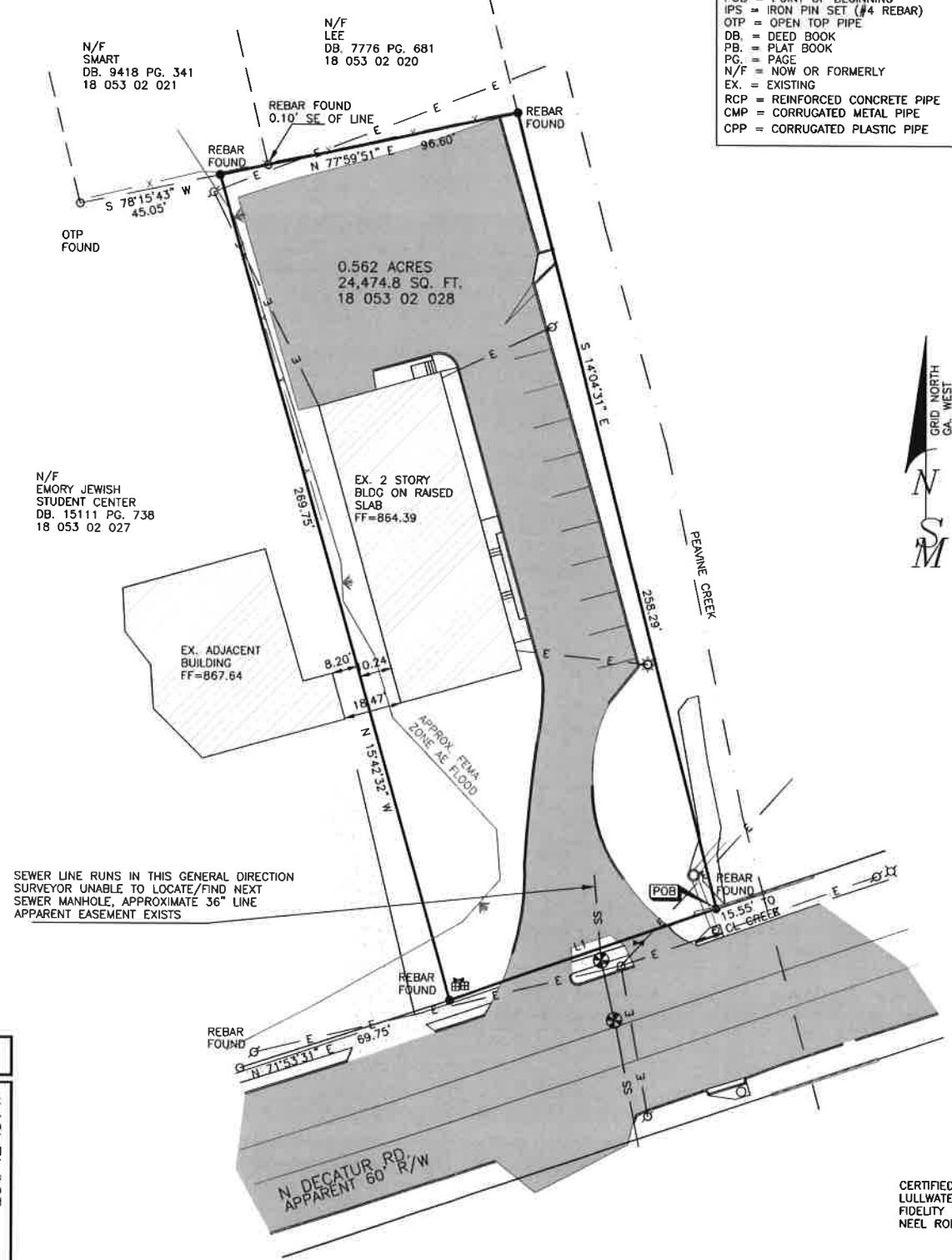


Tim L. Miller
Tim L. Miller GA. RLS # 3150 Date: 4-9-18

PROPERTY LINE DATA
LINE BEARING DISTANCE
LT S 70°52'16" W 89.19'



GRAPHIC SCALE = FEET



LEGEND

CONCRETE POWER POLE	---	EX. WATER METER	---M
WOODEN POWER POLE	---	EX. WATER VALVE	---V
EX. OVERHEAD POWER LINES	---	SANITARY SEWER MANHOLE	---S
LIGHT POLE	---	SEWER CLEAN-OUT	---C
EX. FENCE	---	EX. SINGLEWING CATCH BASIN	---CB
POB = POINT OF BEGINNING	X	JUNCTION BOX	---JB
IPS = IRON PIN SET (#4 REBAR)	---	EX. BUILDING	---
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RCP = REINFORCED CONCRETE PIPE	---		
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SIBLEY-MILLER
SURVEYING & PLANNING INC.
2062 HWY. 42 NORTH
MCDONOUGH, GA. 30255
PHONE: (770) 320-7555
FAX: (770) 320-7333
www.sibleysurveying.com

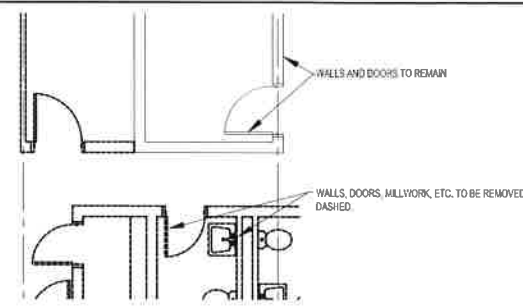
*TOPOGRAPHICAL SURVEYS
*LAND SURVEYING
*LAND PLANNING
*CONSTRUCTION LAYOUT
*LAND DEVELOPMENT DESIGN
*CIVIL ENGINEERING

BOUNDARY SURVEY
LULLWATER WHARF, LLC,
0.562 ACRES
LAND LOT 53, 18th. DISTRICT
DRUID HILLS
DEKALB COUNTY, GEORGIA

PROJECT NO.: B18020
BOUNDARY
DRAWN BY: TLM
SCALE: 1" = 30'
DATE: 4-5-18

CERTIFIED TO:
LULLWATER WHARF, LLC, IBERIABANK,
FIDELITY TITLE INSURANCE COMPANY,
NEEL ROBINSON, STRAFFORD, LLC

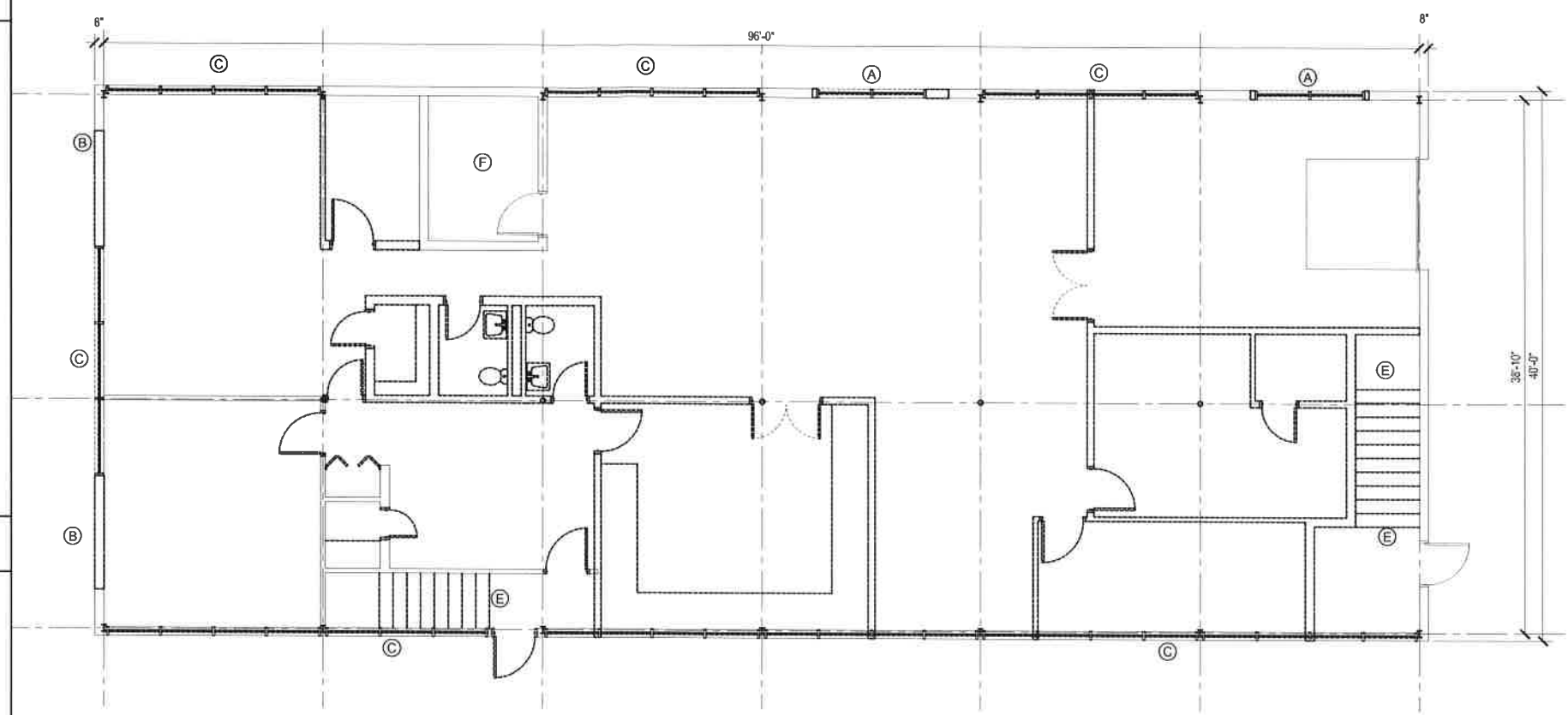
DEMOLITION PLAN LEGEND



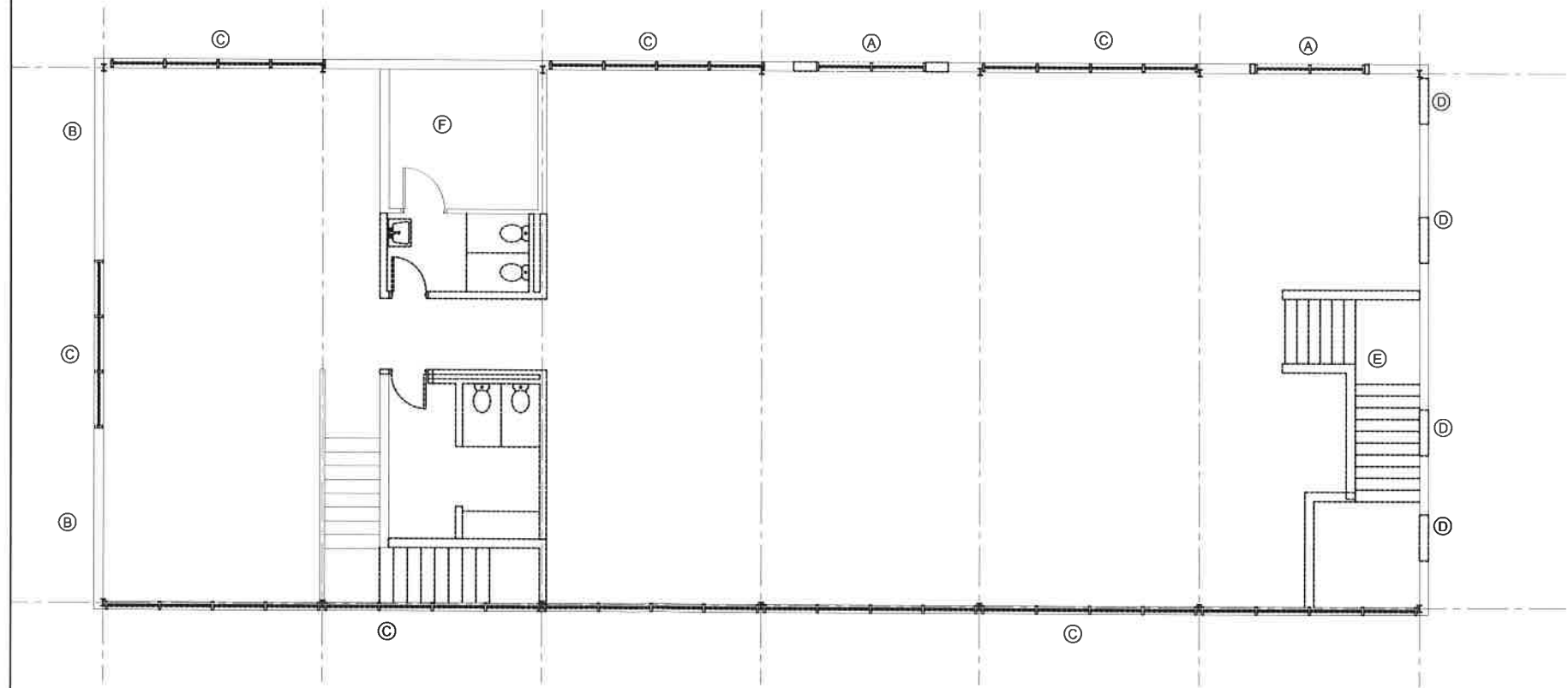
- A. REMOVE WINDOW AND PREP FOR NEW OPENING
- B. REMOVE PRECAST CONCRETE PANEL
- C. REMOVE CURTAIN WALL SYSTEM AND GLASS
- D. REMOVE WALL AS REQUIRED FOR NEW WINDOW/DOOR OPENING
- E. REMOVE STAIRS
- F. BUILDING MECHANICAL/ELECTRICAL TO REMAIN

DEMOLITION GENERAL NOTES

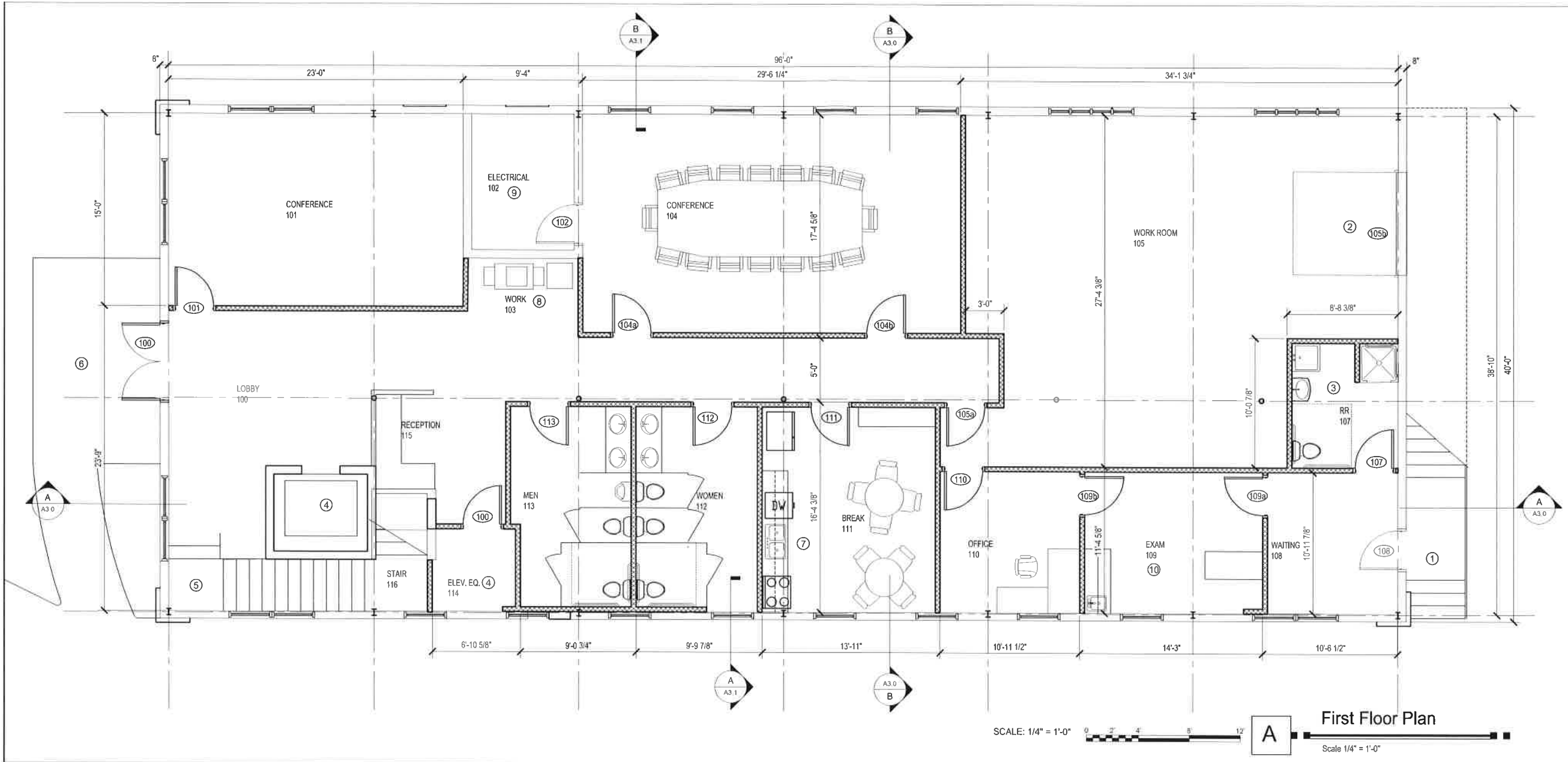
1. THE SCOPE OF DEMOLITION IS THE REMOVAL OF ALL INTERIOR WALLS, FINISHES, DOORS, CEILING, ELECTRICAL, PLUMBING FIXTURES AND MECHANICAL. SPACE IS TO BE REMOVED TO THE STRUCTURE AND PREPPED FOR NEW LAYOUT.
2. EXISTING ELECTRICAL ROOM AND MECHANICAL AREA TO REMAIN. REMOVE EXISTING MECHANICAL EQUIPMENT AND PREPARE SPACE FOR NEW MECHANICAL DESIGN AND EQUIPMENT.



A First Floor Existing Plan
Scale 3/16" = 1'-0"



SCALE: 3/16" = 1'-0" **A** First Floor Existing Plan
Scale 3/16" = 1'-0"

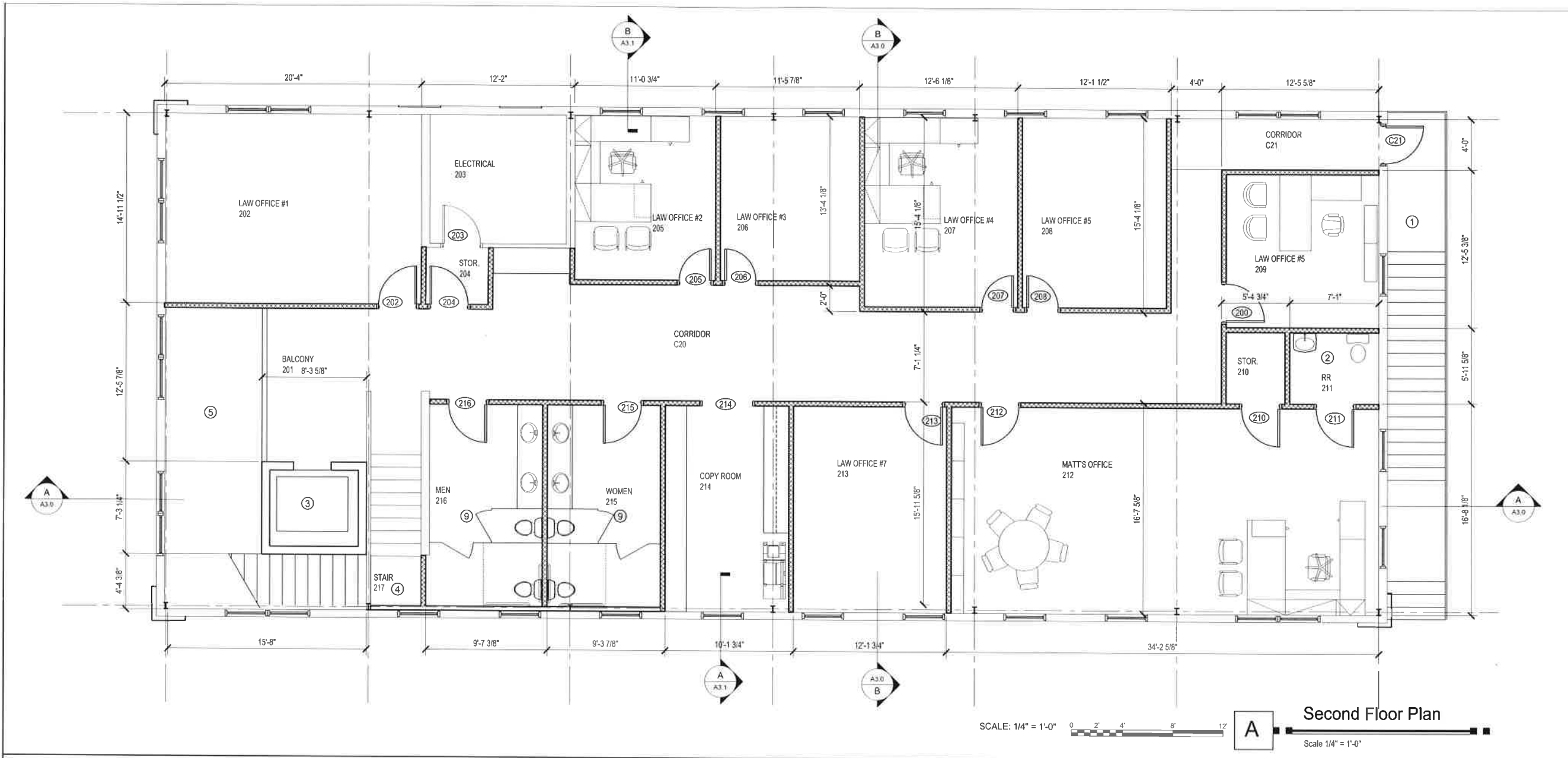


PLAN NOTES

PLAN LEGEND

- (100) DOOR TYPE SEE SCHEDULE A1.1
- EXISTING WALL TO REMAIN
- NEW 3/8" METAL STUD WALL WITH 1/2" GWB EACH FACE, TO STRUCTURE ABOVE, SOUND WALL SEE A/A2.0
- NEW 3/8" METAL STUD WALL WITH 1/2" GWB EACH FACE, TO STRUCTURE ABOVE, SEE B/A2.0

Blank area for plan notes and revisions.

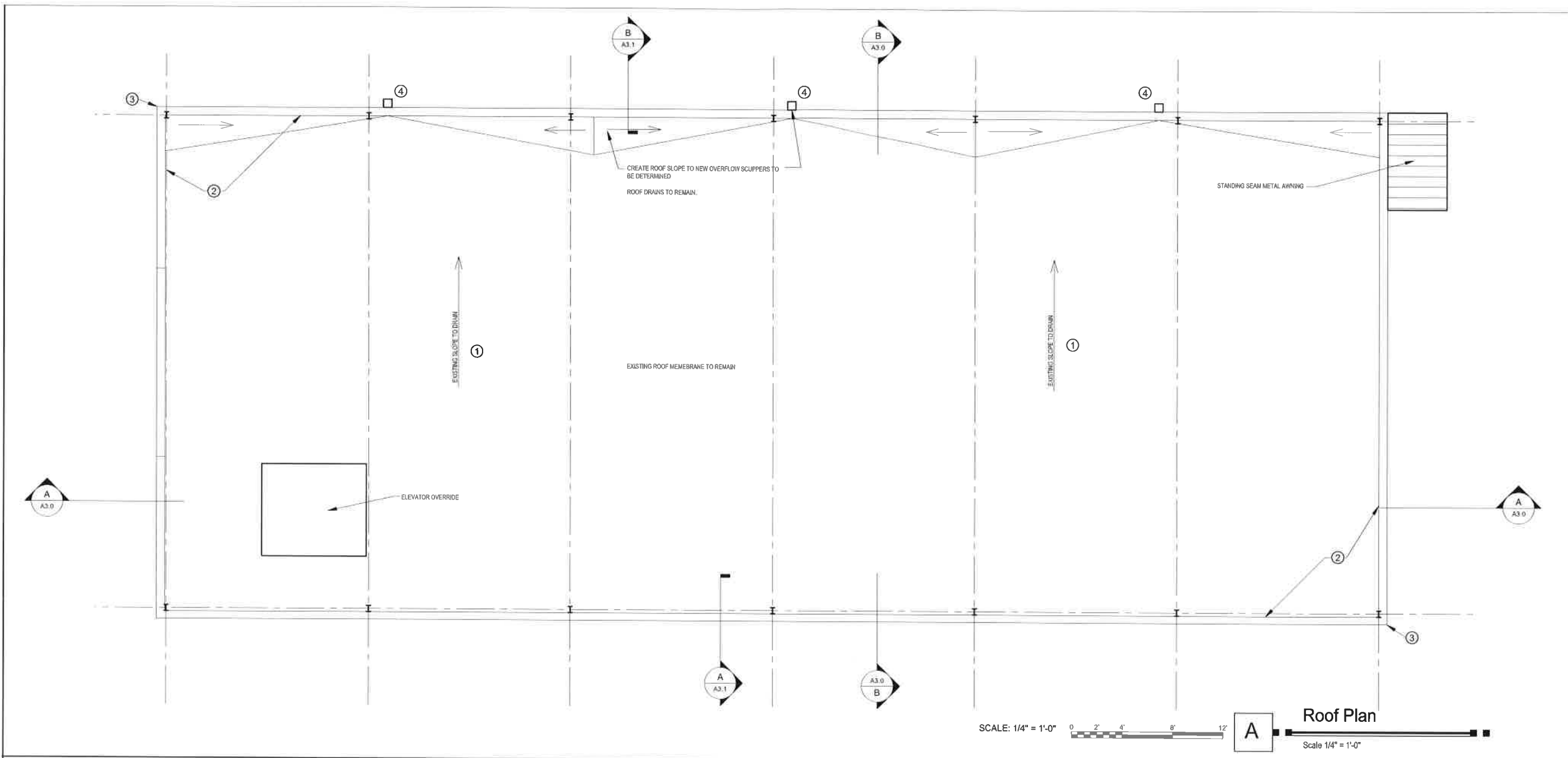


SCALE: 1/4" = 1'-0" **A** Second Floor Plan
Scale 1/4" = 1'-0"

PLAN NOTES

PLAN LEGEND

- DOOR TAG SEE SCHEDULE
- EXISTING WALL TO REMAIN
- NEW 3 5/8" METAL STUD WALL WITH 1/2" GWB EACH FACE, TO STRUCTURE ABOVE, SOUND WALL SEE A/A2.0
- NEW 3 5/8" METAL STUD WALL WITH 1/2" GWB EACH FACE, TO STRUCTURE ABOVE, SEE B/A2.0

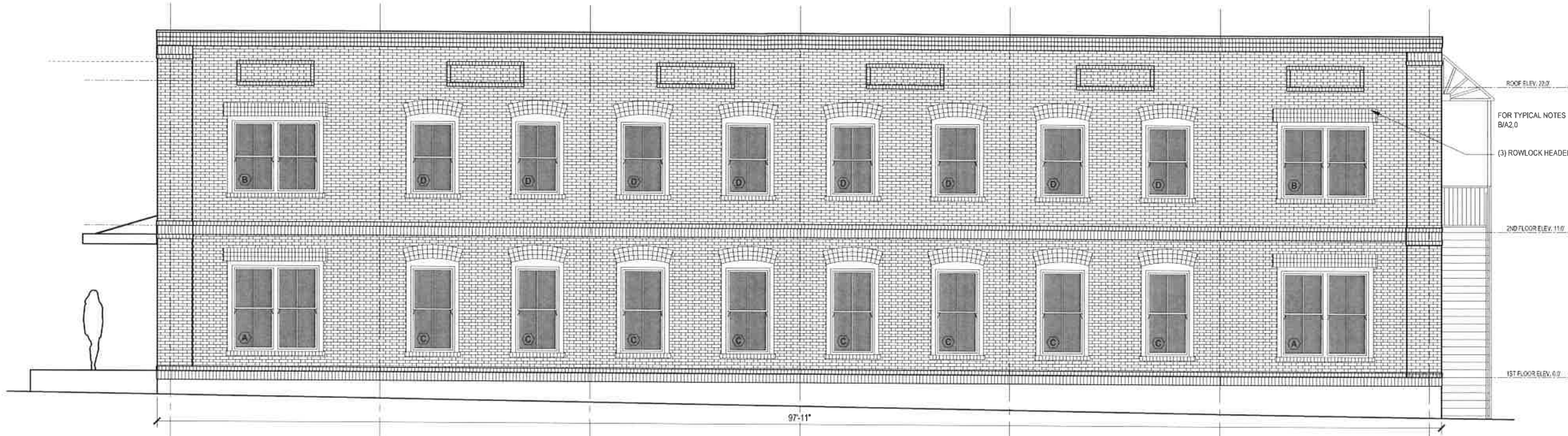


PLAN NOTES

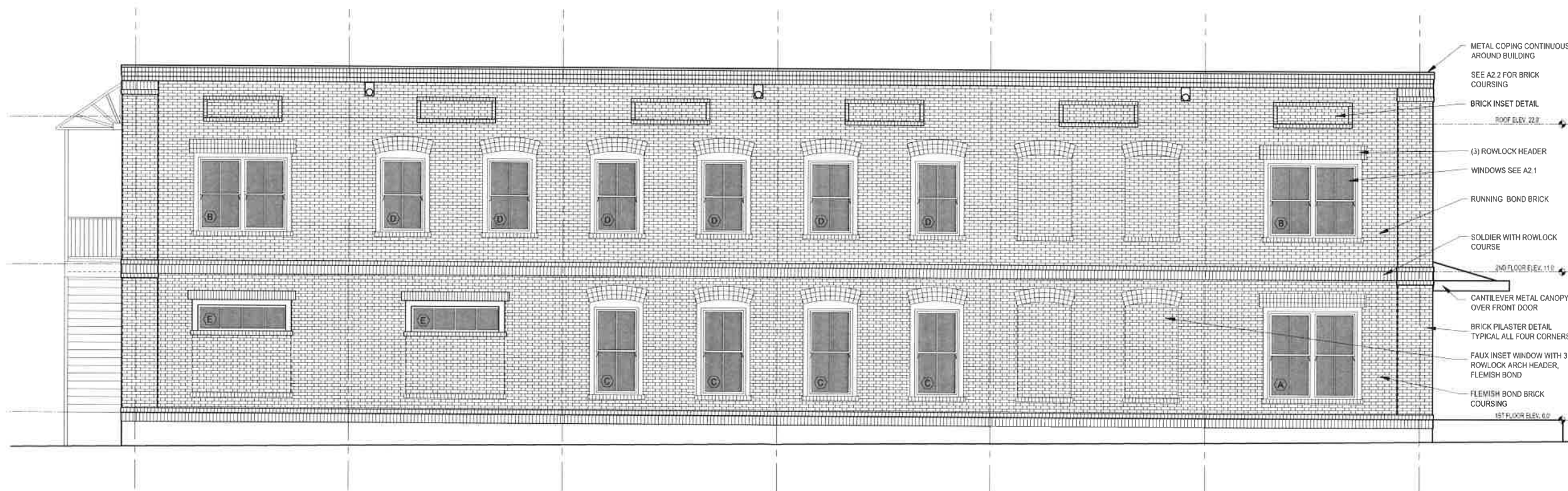
GENERAL NOTES

1. EXISTING ROOF AND DRAINAGE TO REMAIN. REFURBISH AS REQUIRED.
2. PROVIDE NEW PARAPET WATERPROOFING AND FLASHING AS REQUIRED FOR NEW PARAPET.
3. PROVIDE NEW PARAPET CAP FLASHING CONTINUOUS AROUND BUILDING.
4. PROVIDE NEW OVERFLOW SCUPPERS AS REQUIRED FOR NEW PARAPET CONSTRUCTION.

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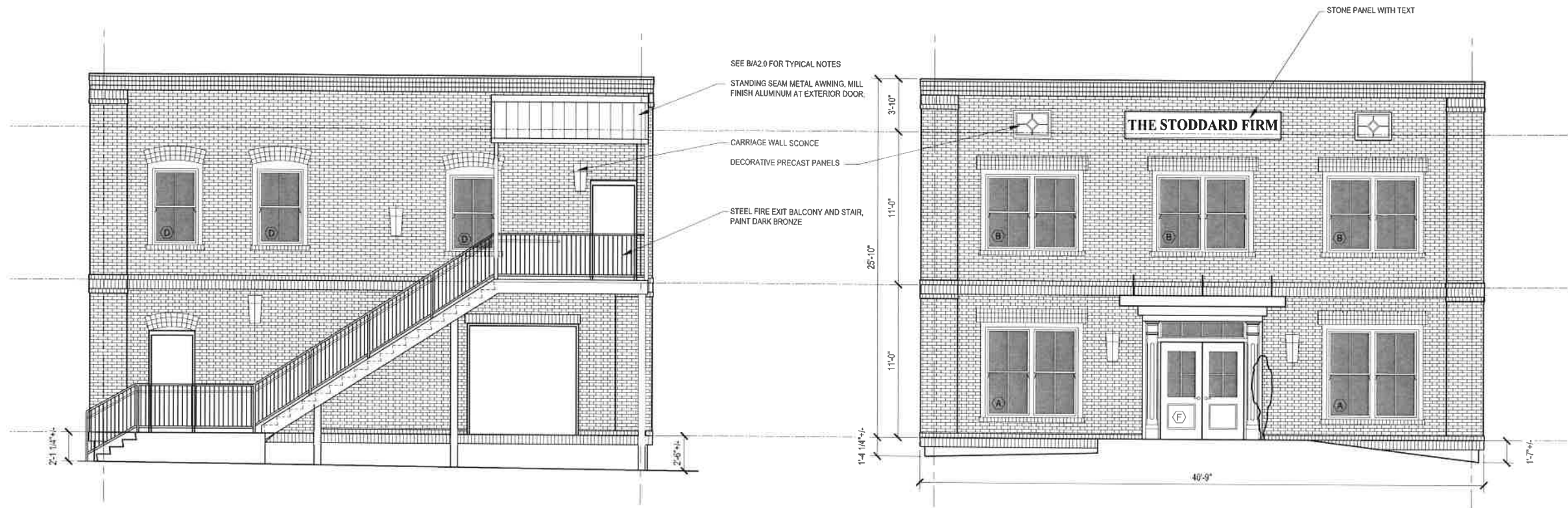


A East Elevation
Scale 1/4" = 1'-0"



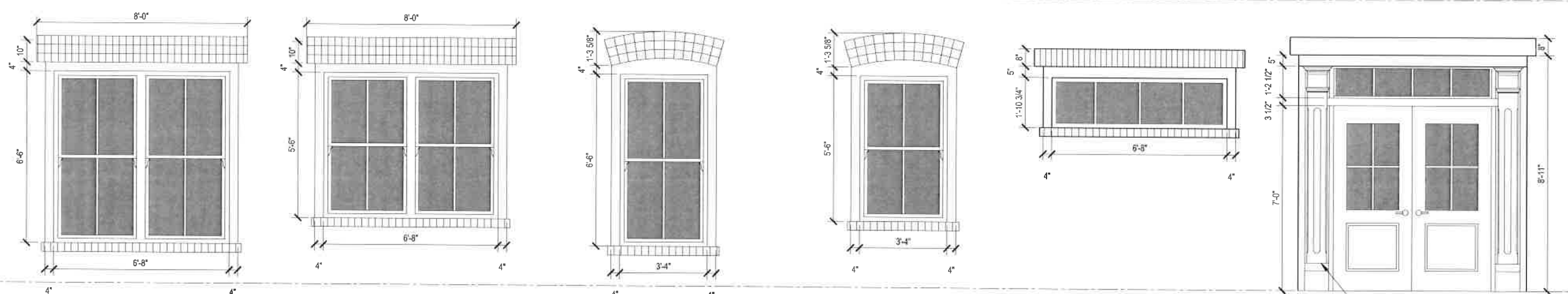
SCALE: 1/4" = 1'-0" 0 2' 4' 8' 12'
B West Elevation
Scale 1/4" = 1'-0"

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B North Elevation
Scale 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"
A South Elevation
Scale 1/4" = 1'-0"



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SCALE: 1/2" = 1'-0"
C Window Elevations
Scale 1/2" = 1'-0"

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PO Box 18056
Atlanta, GA 30316
(770)401-5909

TENANT NAME
Lullwater Wharf, LLC

1534 North Decatur Road
Atlanta, GA 30307

EXTERIOR ELEVATIONS

project number
201833
date
8/30/2018

seals

printings
8/24/2018 Review Set

drawn by

checked by

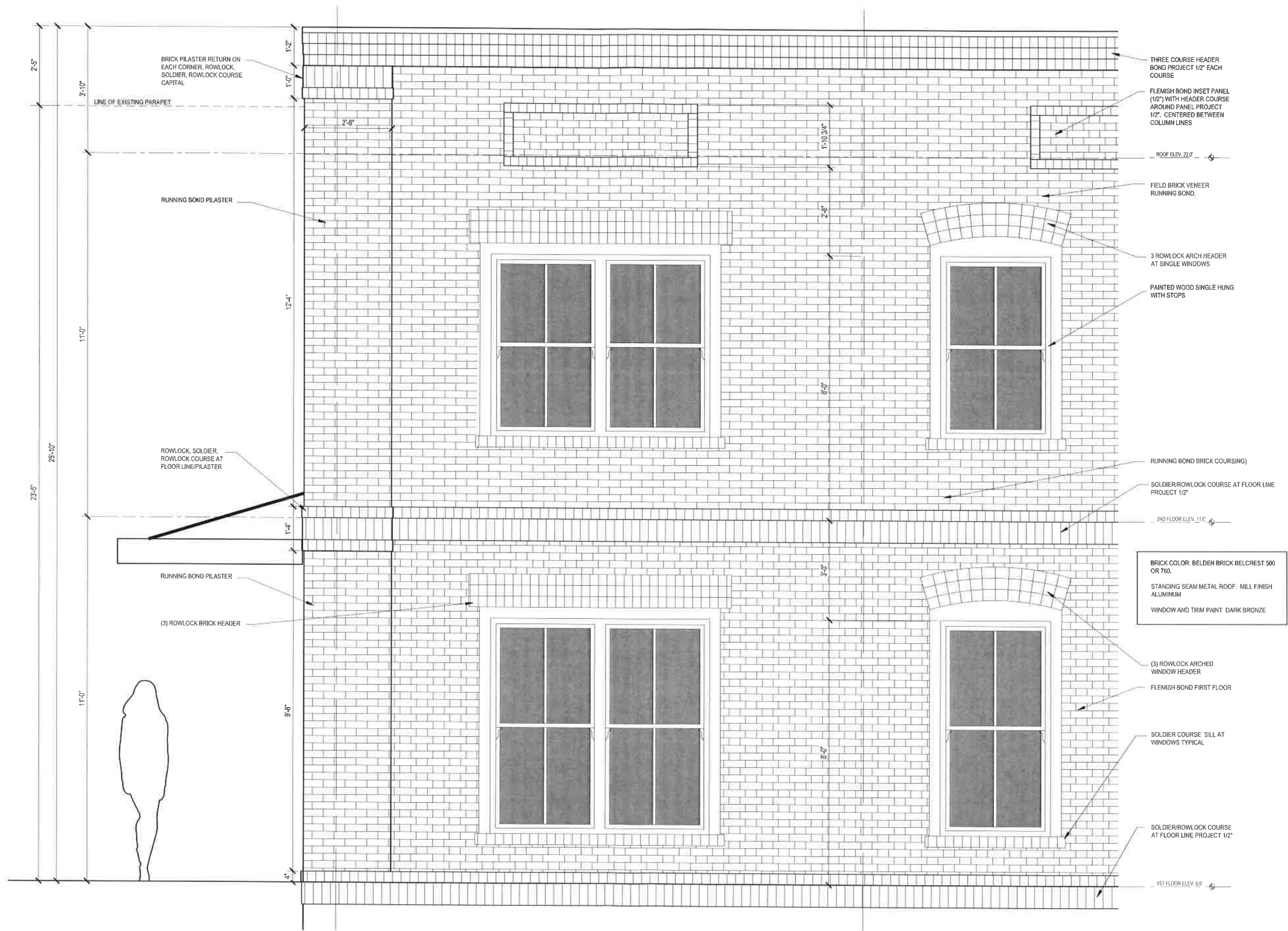
revisions

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sheet number

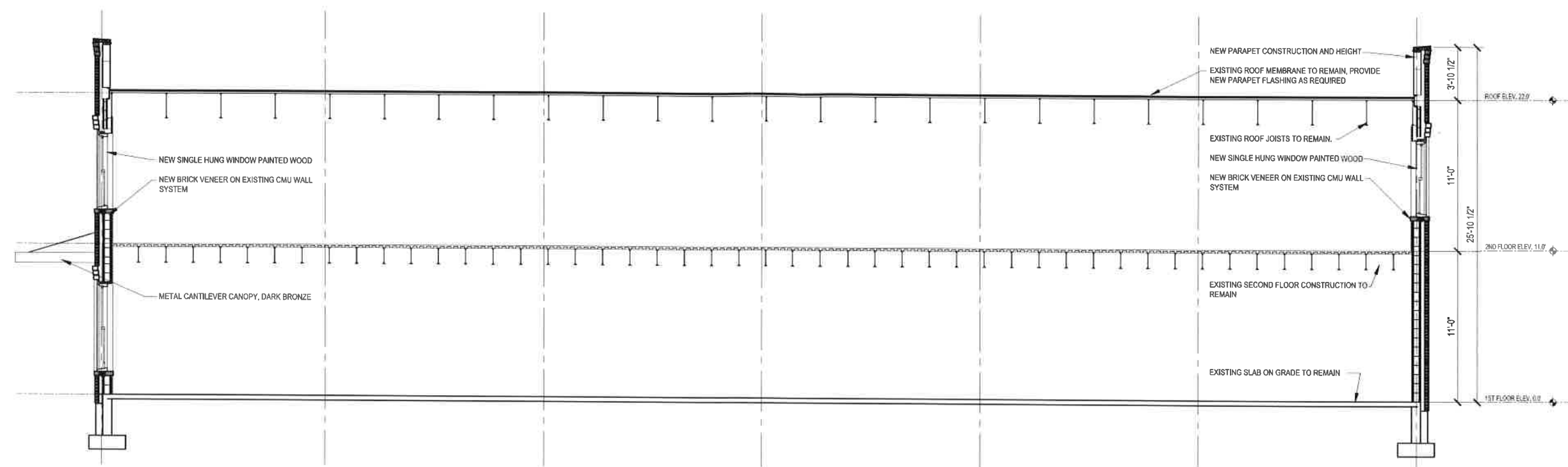
A2.2

of
201816

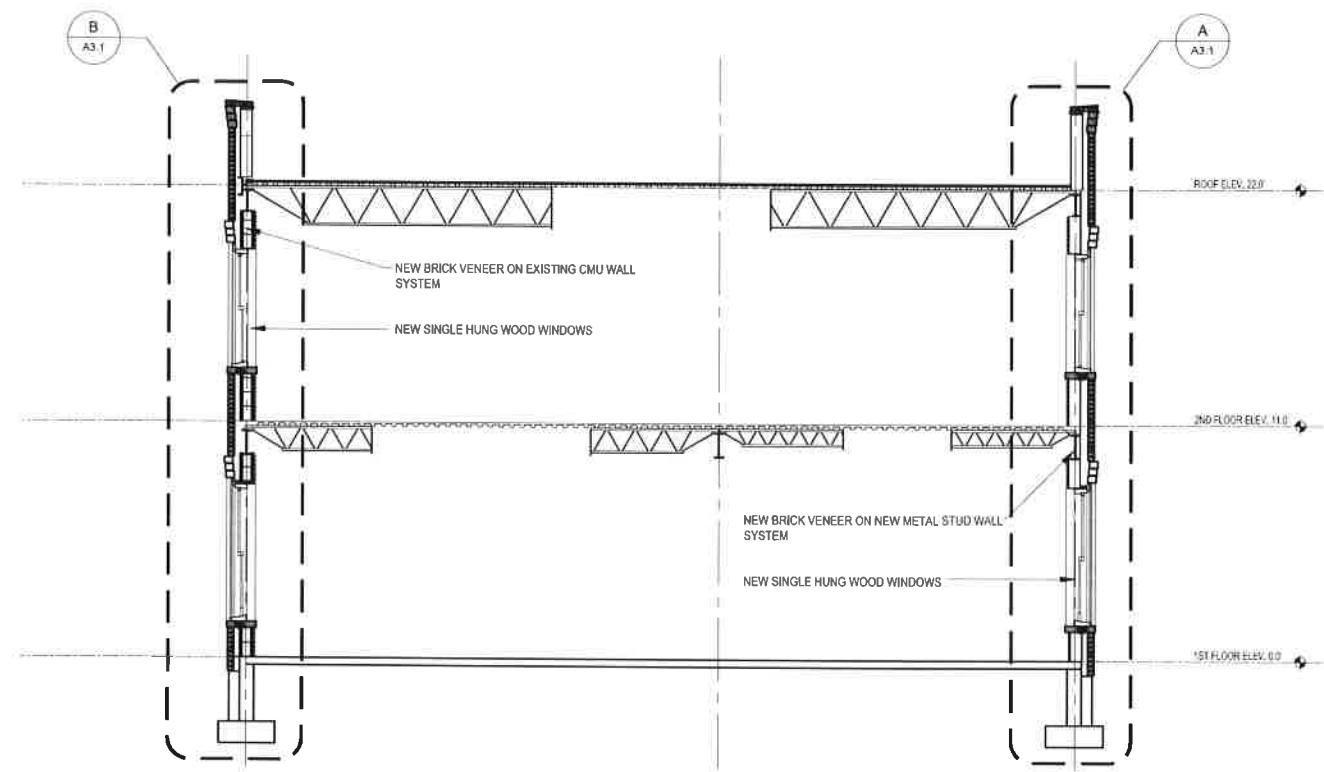


SCALE: 3/4" = 1'-0"
0 6" 1' 2' 3' 4'

A Brick Coursing Elevation
Scale 3/4" = 1'-0"



A Building Section A-A
Scale 1/4" = 1'-0"



SCALE: 1/4" = 1'-0" **B** Building Section B-B
Scale 1/4" = 1'-0"

TENANT NAME
Lullwater Wharf, LLC

1534 North Decatur Road
Atlanta, GA 30307

WALL SECTION

project number
■ 201833
date
■ 8/30/2018

seals

printings
■ 8/24/2018 Review Set
■
■
■
■

drawn by
■

checked by
■

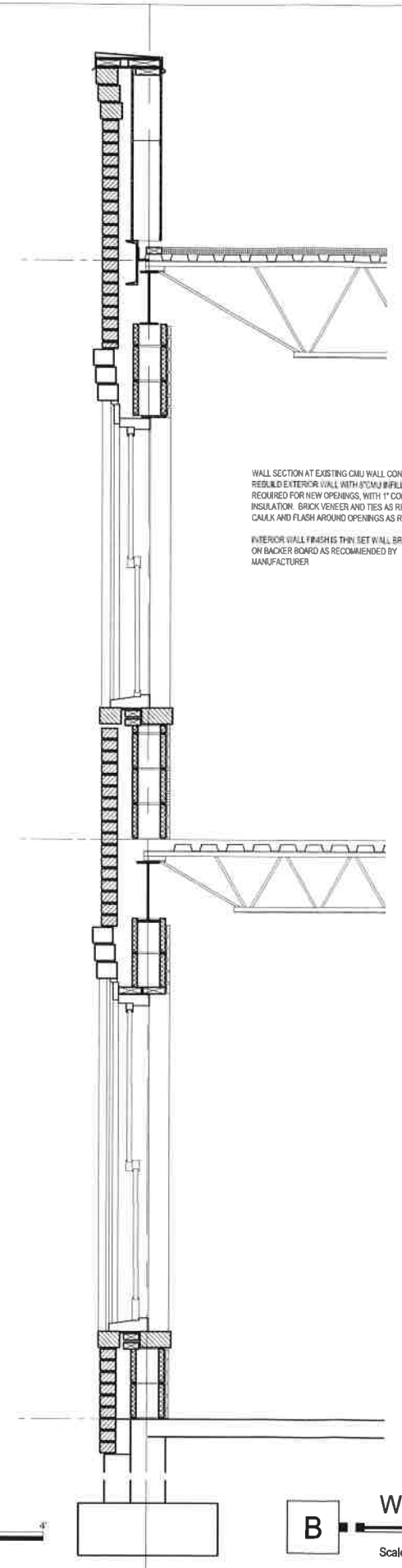
revisions
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sheet number

■ **A3.1**

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■ 201816

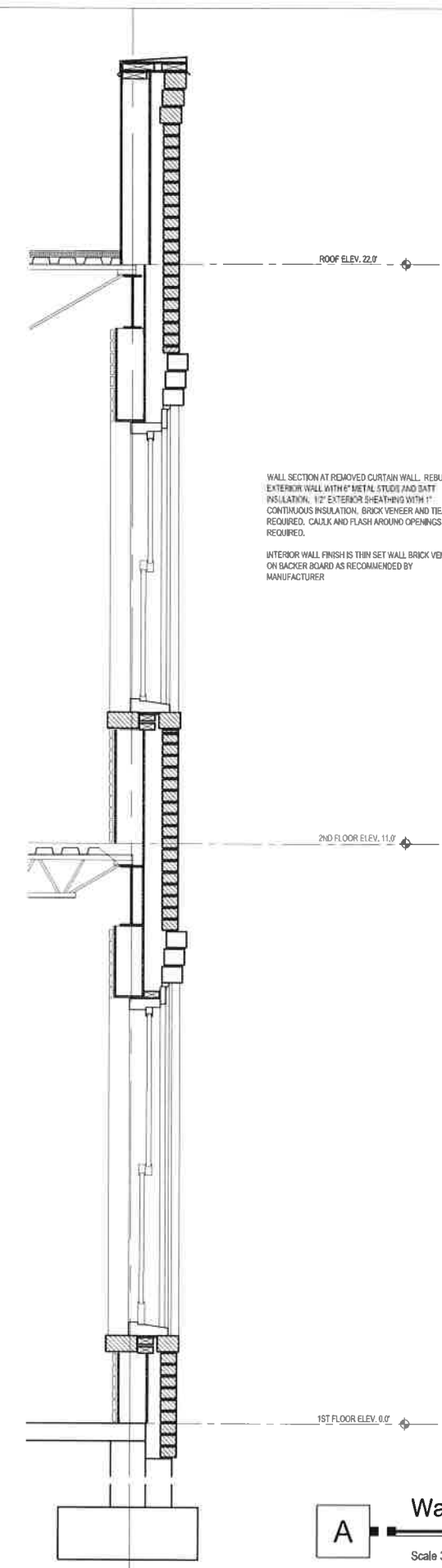


WALL SECTION AT EXISTING CMU WALL CONSTRUCTION. REBUILD EXTERIOR WALL WITH 4" CMU INFILL AS REQUIRED FOR NEW OPENINGS. WITH 1" CONTINUOUS INSULATION. BRICK VENEER AND TIES AS REQUIRED. CAULK AND FLASH AROUND OPENINGS AS REQUIRED.
INTERIOR WALL FINISH IS THIN SET WALL BRICK VENEER ON BACKER BOARD AS RECOMMENDED BY MANUFACTURER

SCALE: 3/4" = 1'-0"



B Wall Section
Scale 3/4" = 1'-0"



WALL SECTION AT REMOVED CURTAIN WALL. REBUILD EXTERIOR WALL WITH 4" METAL STUDS AND GYPSUM INSULATION. 1" EXTERIOR SHEATHING WITH 1" CONTINUOUS INSULATION. BRICK VENEER AND TIES AS REQUIRED. CAULK AND FLASH AROUND OPENINGS AS REQUIRED.
INTERIOR WALL FINISH IS THIN SET WALL BRICK VENEER ON BACKER BOARD AS RECOMMENDED BY MANUFACTURER

A Wall Section
Scale 3/4" = 1'-0"