



Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1750 Hummingbird Lane Atlanta, GA 30307

Applicant: Cindy Stemple E-Mail: cindystemple@gmail.com

Applicant Mailing Address: 1750 Hummingbird Lane Atlanta, GA 30307

Applicant Phone(s): 404-368-1980 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

Owner(s): Cindy and Jeff Stemple E-Mail: cindystemple@gmail.com

_____ E-Mail: _____

Owner(s) Mailing Address: 1750 Hummingbird Lane Atlanta, GA 30307

Owner(s) Telephone Number: 404-368-1980

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1953

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
- New accessory building Landscaping Fence/Wall Other environmental changes
- Sign installation or replacement Other

Description of Work:

COMMENT ONLY - Discuss the suitability of demolition of existing non-historic house. Inspection report shows significantly sloping floors in slab on grade areas which have caused cracks on walls and ceiling. Small basement area also has cracks in the block foundation wall. The electrical and HVAC systems must be replaced but the ductwork is located in the fill dirt under the concrete floor. There is no attic so the structure must be completely remade in order to replace the HVAC system.

We ask for your acknowledgement that this non-historic house is a good candidate for demolition when a suitable replacement is designed.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Cindy Stemple 8/3/18
Signature of Applicant/Date

Revised 1/26/17

1750 Hummingbird Lane Existing House



Inspection Report

Cindy Stemple

Property Address:
1750 Hummingbird Ln NE
Atlanta GA 30307



Home Sweet Home Inspections LLC

**Alaina Barrera
PO Box 42255
Atlanta, GA 30311
404-405-7225**

Table of Contents

[Cover Page..... 1](#)
[Table of Contents 2](#)
[Intro Page..... 3](#)
[1 Roofing..... 5](#)
[2 Exterior 7](#)
[3 Structural Components 11](#)
[General Summary 22](#)
[Invoice 32](#)

Date: 07/28/2018	Time:	Report ID:
Property: 1750 Hummingbird Ln NE Atlanta GA 30307	Customer: Cindy Stemple	Real Estate Professional:

PLEASE READ BELOW

THIS REPORT REPRESENTS THE FINDINGS OF A LIMITED VISUAL INSPECTION OF THE READILY ACCESSIBLE COMPONENTS OF THE STRUCTURAL SYSTEM OF THE HOME. ANY ANCILLARY COMMENTS ARE PROVIDED AS A COURTESY.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Comment Color Key:

RED = SAFETY ISSUE OR NEEDS IMMEDIATE ATTENTION

BLUE = MAINTAINENCE OR COSMETIC ISSUES

GREEN = GENERAL INFORMATION

In Attendance:

Customer

Type of building:

Single Family (1 story)

Approximate age of building:

65 years

Temperature:

Over 65 (F) = 18 (C)

Weather:

Clear

Ground/Soil surface condition:

Damp

Rain in last 3 days:

Yes

1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

		IN	NI	NP	RR	Styles & Materials
1.0	Roof Coverings	•			•	Roof Covering: Roll/Selvage
1.1	Flashings	•				Viewed roof covering
1.2	Skylights, Chimneys and Roof Penetrations	•				from: Walked roof
1.3	Roof Drainage Systems	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

1.0 Due to the age and condition of the roof covering, it is recommended that the roof covering be replaced. There are many cracks and bulges in the covering. The average life expectancy of roll roofing is 5-10 years.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)

1.3 I recommend adding diverter flashing to the areas where the roof meets the siding. These are small metal pieces that help to direct water away from the siding which will lengthen the lifespan of the siding. These can be installed by a qualified roofing or gutter contractor.



1.3 Item 1(Picture)



1.3 Item 2(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior



The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		IN	NI	NP	RR	Styles & Materials
2.0	Wall Cladding Flashing and Trim	•				Siding Material: Wood Brick
2.1	Doors (Exterior)	•				
2.2	Windows	•				
2.3	Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)	•				
2.4	Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings	•			•	
2.5	Eaves, Soffits and Fascias	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

2.0 The wood siding appears to be painted with a lead-based paint. Lead-based paint has known health hazards. If the paint is removed it will need to be performed by an EPA certified lead-abatement specialist. In some areas, the siding may be able to be painted over without removal. Replace any water damaged siding and repaint all areas that are missing paint. Further review is recommended by a qualified siding contractor.



2.0 Item 1(Picture)



2.0 Item 2(Picture)

2.3 (1) Due to a lack of positive grade away from the foundation of the home, adding a french drain along the perimeter will help to avoid soil erosion and keep the foundation stable over time. This can be done by a qualified handyman or landscaping contractor.



2.3 Item 1(Picture)



2.3 Item 2(Picture)

(2) Mature trees within 12' of the home can disrupt the foundation of the home. If any signs of structural movement occur in the future (in this area) I recommend further evaluation by a structural contractor. Due to the number and age of trees around the home, it is recommended that a qualified arborist diagnose the health of the trees.



2.3 Item 3(Picture)

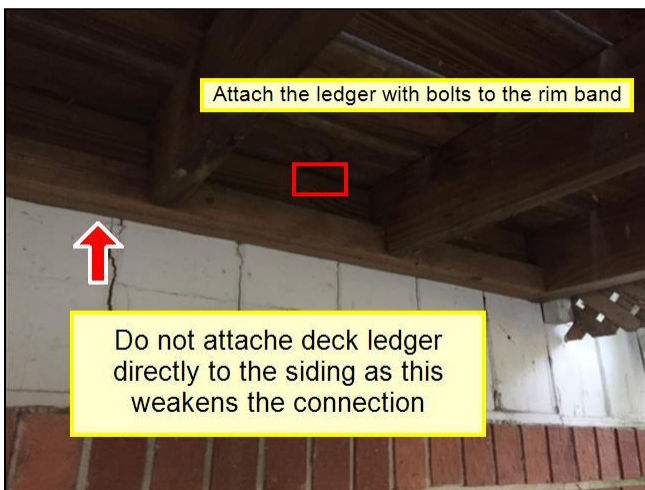


2.3 Item 4(Picture)



2.3 Item 5(Picture)

2.4 I recommend the following repairs to the deck. These repairs can be made by a qualified decking contractor.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)



2.4 Item 4(Picture)

2.5 The fascia trim beneath the gutters are damaged from rain water. I recommend repair or replacement and regular cleaning of the gutters to prevent water and debris build up, which can become trapped behind the gutters and damage the trim.



2.5 Item 1(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		IN	NI	NP	RR	Styles & Materials
3.0	Foundations, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•			•	Foundation: Masonry block Method used to observe Crawlspace: No crawlspace
3.1	Walls (Structural)	•				Floor Structure: Wood joists Slab
3.2	Columns or Piers			•		Wall Structure: Not visible
3.3	Floors (Structural)	•			•	Roof-Type: Flat
3.4	Ceilings (Structural)		•			Method used to observe attic: Inaccessible
3.5	Roof Structure and Attic		•			Attic info: No Attic Space
3.6	Other	•			•	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

3.0 (1) There is significant water damage to the carport shed. To ensure the integrity of the structure over time, it is recommended that the shed be rebuilt by a qualified structural contractor.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)



3.0 Item 4(Picture)

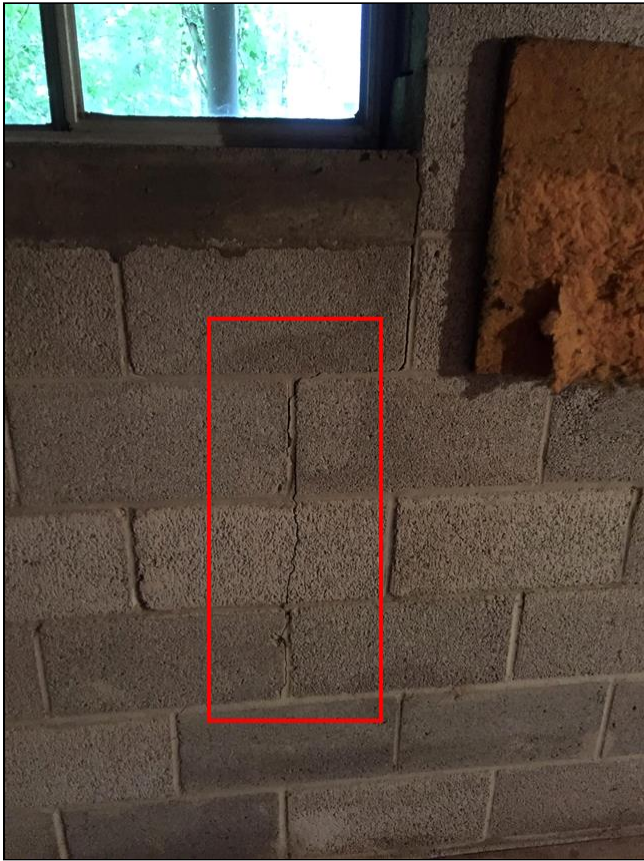
(2) Hairline cracks were observed in the foundation of the add-on structure. I recommend regularly observing the areas to look for signs of structural movement. Due to the pattern and number of the cracks, further review by a qualified structural contractor.



3.0 Item 5(Picture)

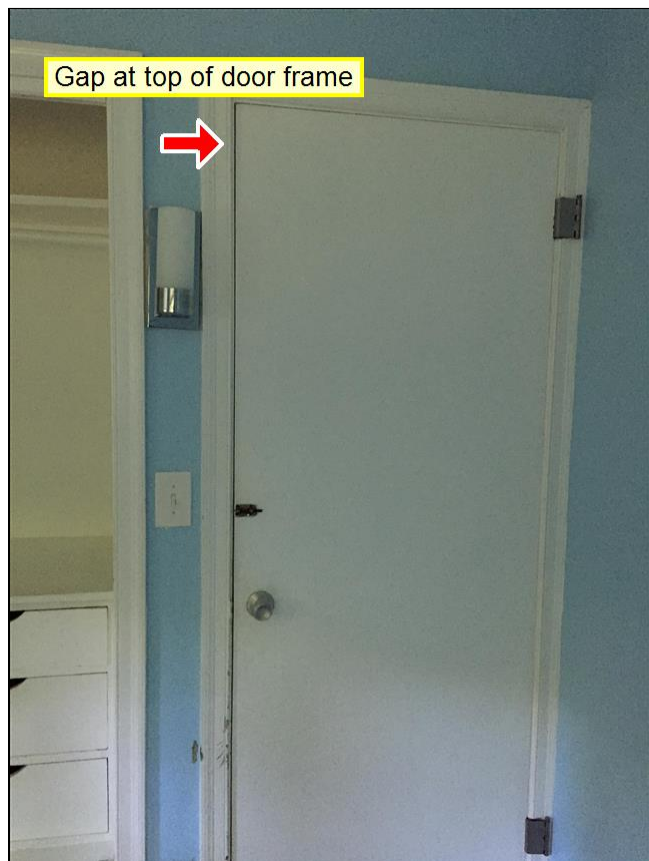


3.0 Item 6(Picture)



3.0 Item 7(Picture)

3.3 Much of the foundation slab was not visible for inspection due to the presence of floor coverings. The slab in the living room and tile in the front bathroom is sloped. This, in conjunction with the presence of cracks in the walls/ceilings and out of frame interior doors, indicate structural movement. More invasive inspection is needed to determine if there are cracks in the slab and if the movement is active.



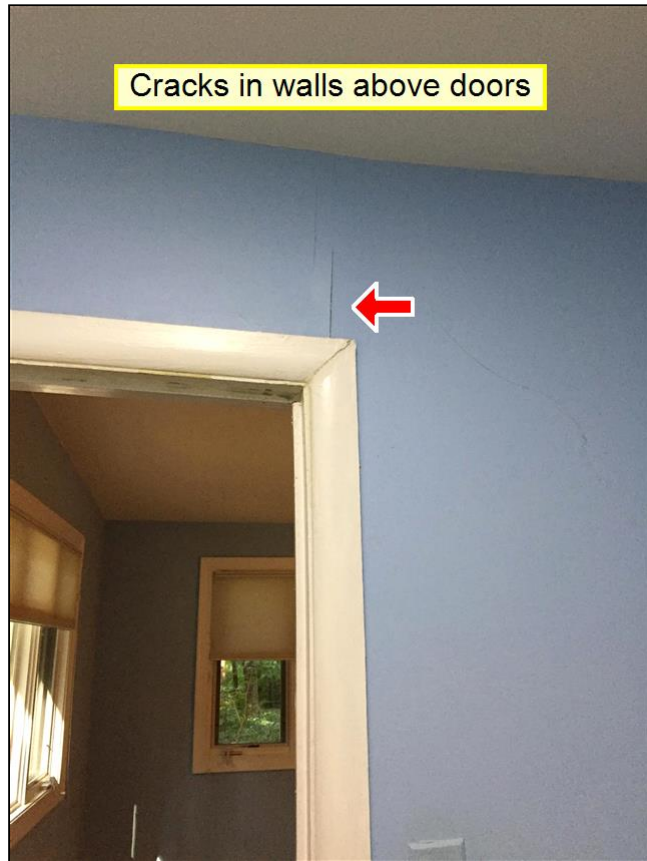
3.3 Item 1(Picture)



3.3 Item 2(Picture)



3.3 Item 3(Picture)



3.3 Item 4(Picture)



3.3 Item 5(Picture)



3.3 Item 6(Picture)



3.3 Item 7(Picture)



3.3 Item 8(Picture)



3.3 Item 9(Picture)



3.3 Item 10(Picture)



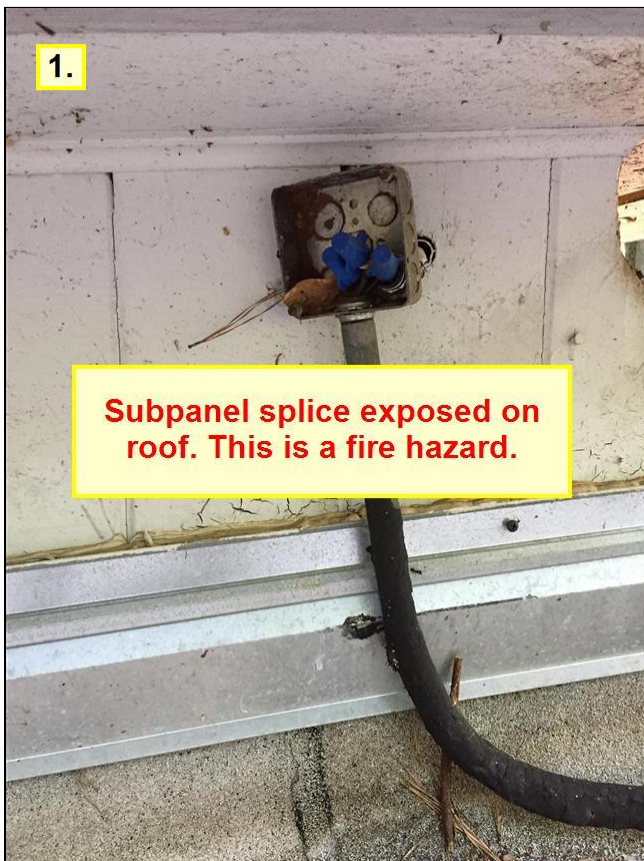
3.3 Item 11(Picture)

3.4 CEILING STRUCTURE NOT ACCESSIBLE

3.5 ATTIC OT ACCESSIBLE

3.6 MISCELLANEOUS:

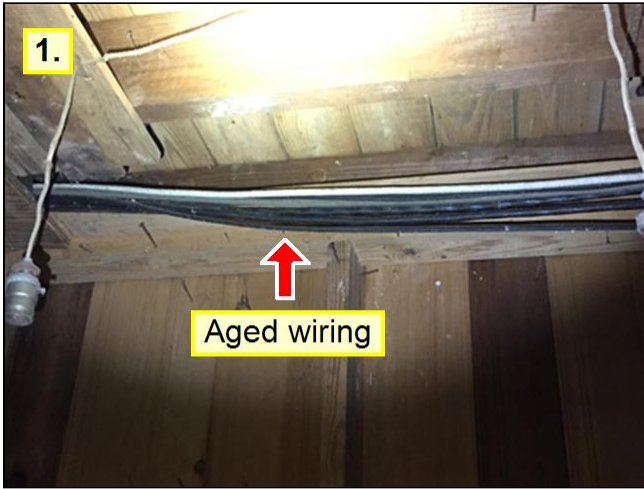
- 1. Original wiring and fuse box: Average 40 to 50-year lifespan on wiring and electrical panels. Replace electrical system.
- 2. Aged package HVAC and asbestos ductwork. Replace HVAC and distribution systems.
- 3. Consider replacing the aged cast iron waste pipes. At this age, it is likely that there is significant rust build up on the interior. At a minimum, have the pipes flushed by a qualified plumber.



3.6 Item 1(Picture)



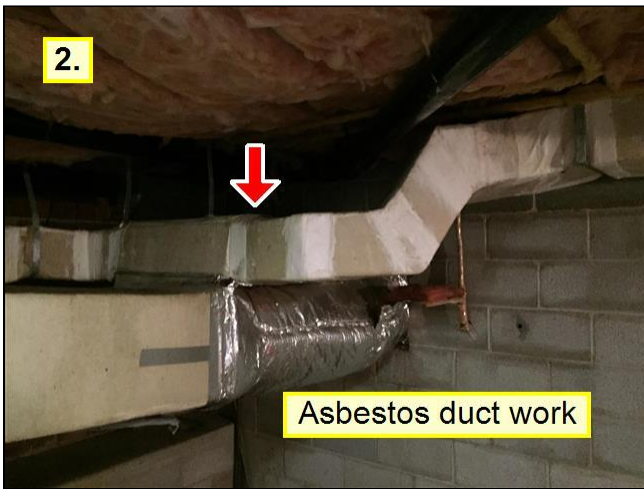
3.6 Item 2(Picture)



3.6 Item 3(Picture)



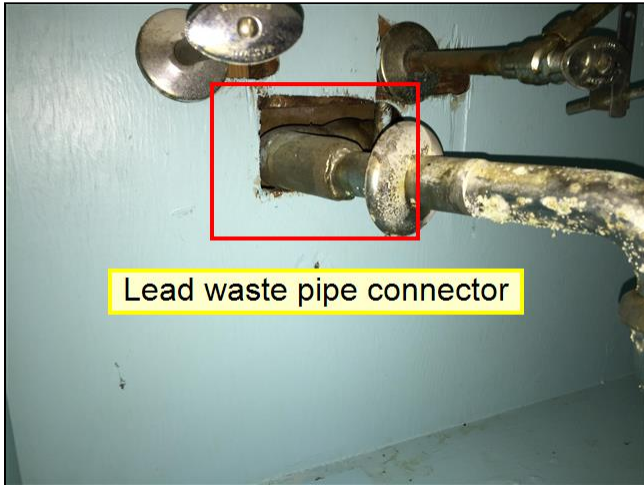
3.6 Item 4(Picture)



3.6 Item 5(Picture)



3.6 Item 6(Picture)



3.6 Item 7(Picture)

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary

Home Sweet Home Inspections LLC

**PO Box 42255
Atlanta, GA 30311
404-405-7225**

Customer
Cindy Stemple

Address
1750 Hummingbird Ln NE
Atlanta GA 30307

The following items or discoveries indicate that these systems or components **do not function as intended or adversely affects the habitability of the dwelling; or warrants further investigation by a specialist, or requires subsequent observation.** This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 Roof Coverings

Inspected, Repair or Replace

Due to the age and condition of the roof covering, it is recommended that the roof covering be replaced. There are many cracks and bulges in the covering. The average life expectancy of roll roofing is 5-10 years.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



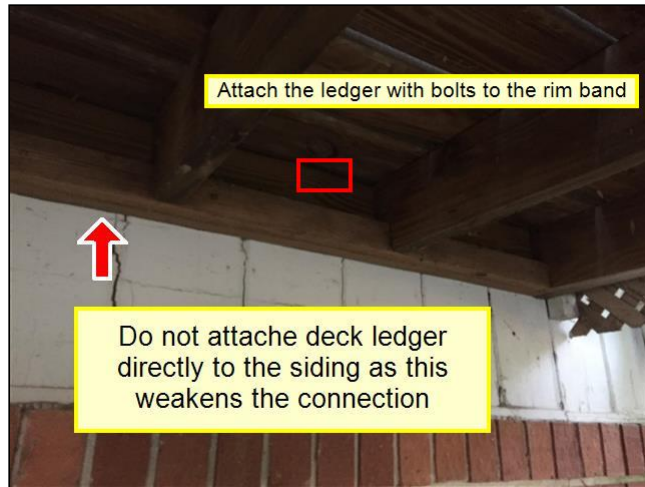
1.0 Item 6(Picture)

2. Exterior



2.4 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings Inspected, Repair or Replace

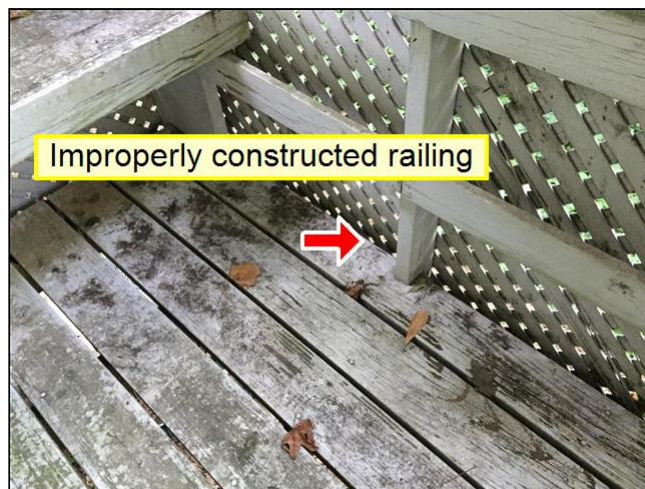
I recommend the following repairs to the deck. These repairs can be made by a qualified decking contractor.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)



2.4 Item 4(Picture)

3. Structural Components

3.0 Foundations, Basement and CrawlSpace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected, Repair or Replace

(1) There is significant water damage to the carport shed. To ensure the integrity of the structure over time, it is recommended that the shed be rebuilt by a qualified structural contractor.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)

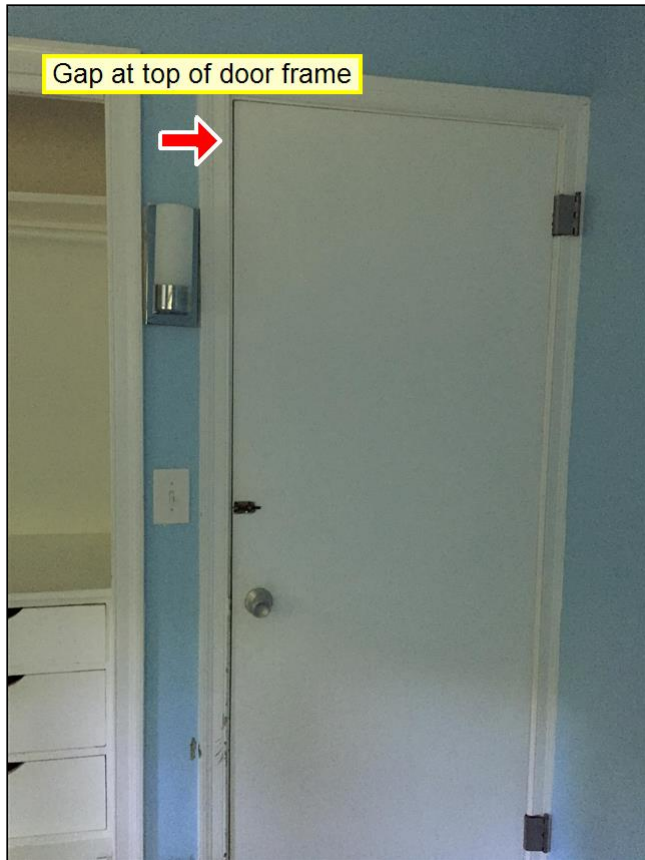


3.0 Item 4(Picture)

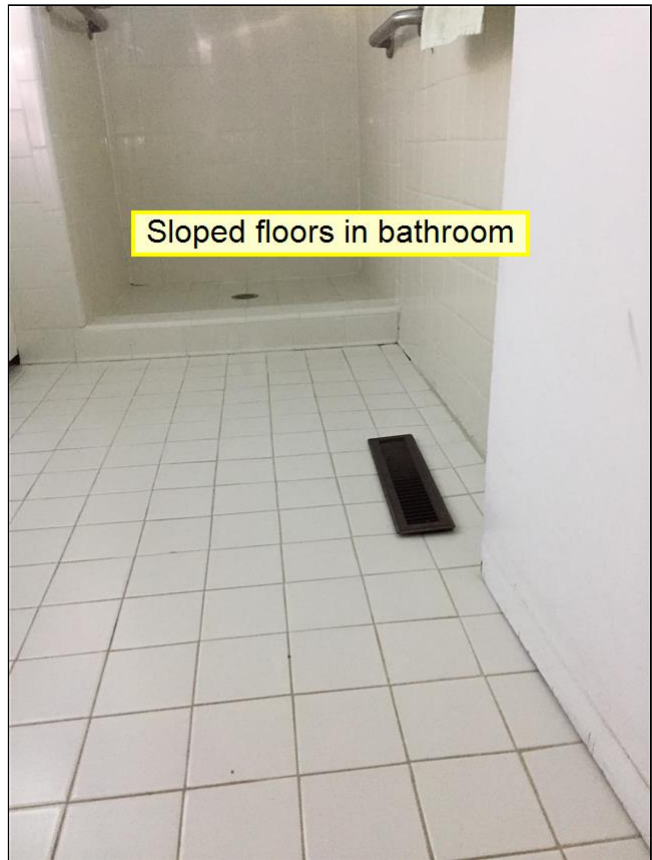
3.3 Floors (Structural)

Inspected, Repair or Replace

Much of the foundation slab was not visible for inspection due to the presence of floor coverings. The slab in the living room and tile in the front bathroom is sloped. This, in conjunction with the presence of cracks in the walls/ceilings and out of frame interior doors, indicate structural movement. More invasive inspection is needed to determine if there are cracks in the slab and if the movement is active.



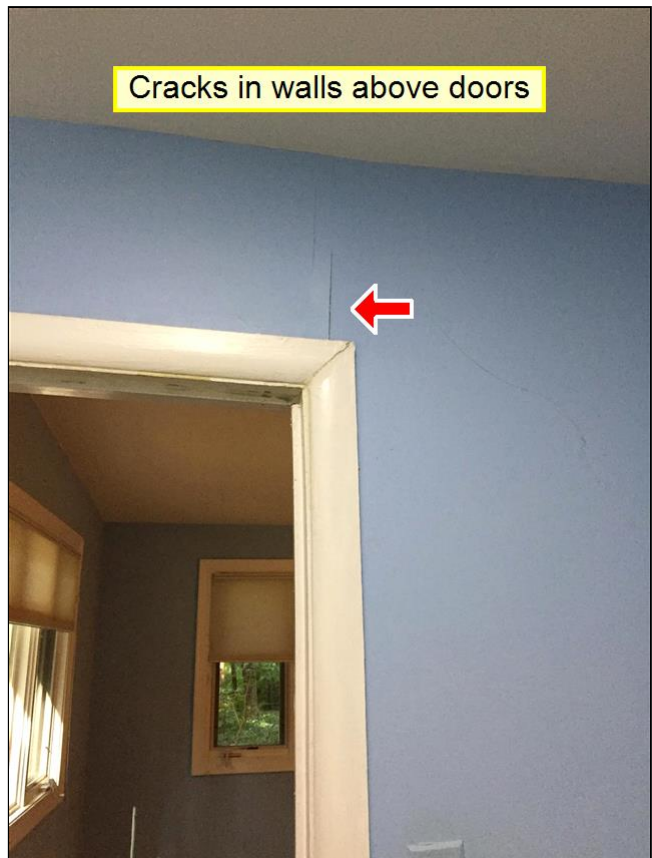
3.3 Item 1(Picture)



3.3 Item 2(Picture)



3.3 Item 3(Picture)



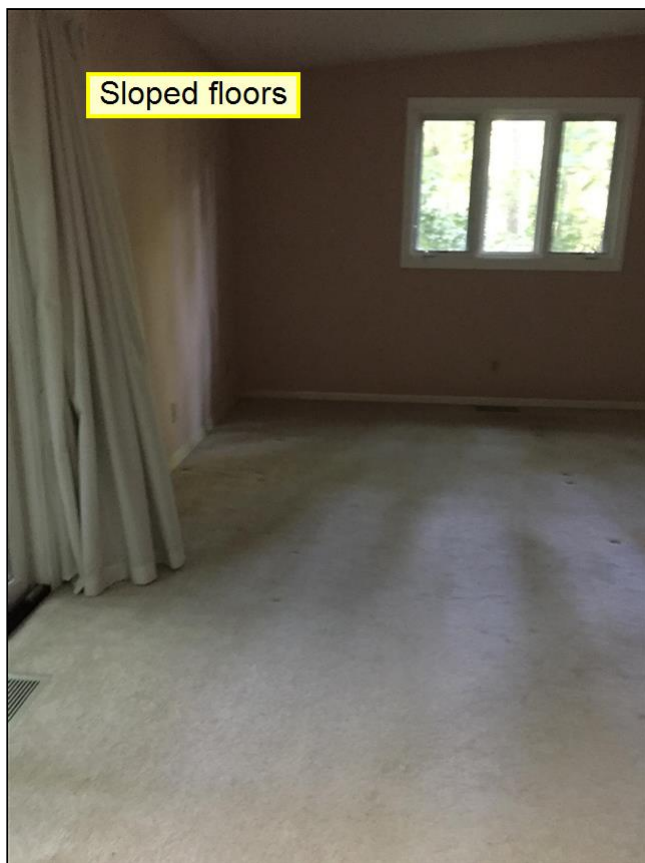
3.3 Item 4(Picture)



3.3 Item 5(Picture)



3.3 Item 6(Picture)



3.3 Item 7(Picture)



3.3 Item 8(Picture)



3.3 Item 9(Picture)



3.3 Item 10(Picture)



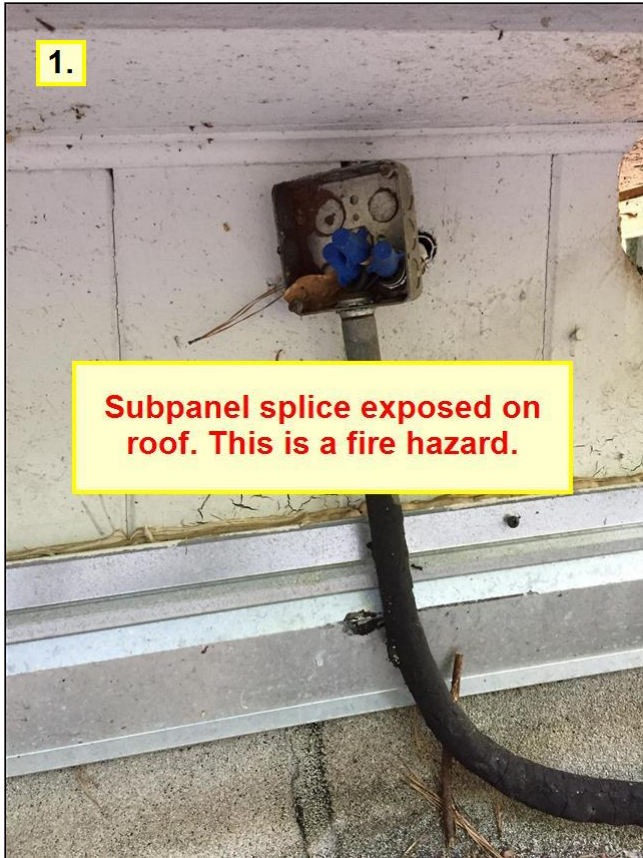
3.3 Item 11(Picture)

3.6 Other

Inspected, Repair or Replace

MISCELLANEOUS:

1. Original wiring and fuse box: Average 40 to 50-year lifespan on wiring and electrical panels. Replace electrical system.
2. Aged package HVAC and asbestos ductwork. Replace HVAC and distribution systems.
3. Consider replacing the aged cast iron waste pipes. At this age, it is likely that there is significant rust build up on the interior. At a minimum, have the pipes flushed by a qualified plumber.



3.6 Item 1(Picture)



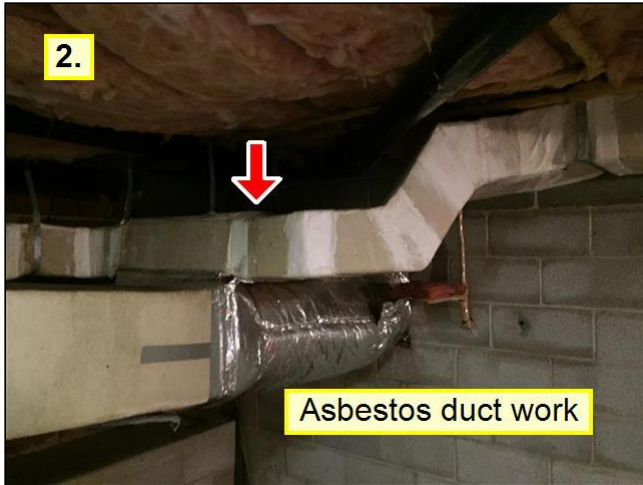
3.6 Item 2(Picture)



3.6 Item 3(Picture)



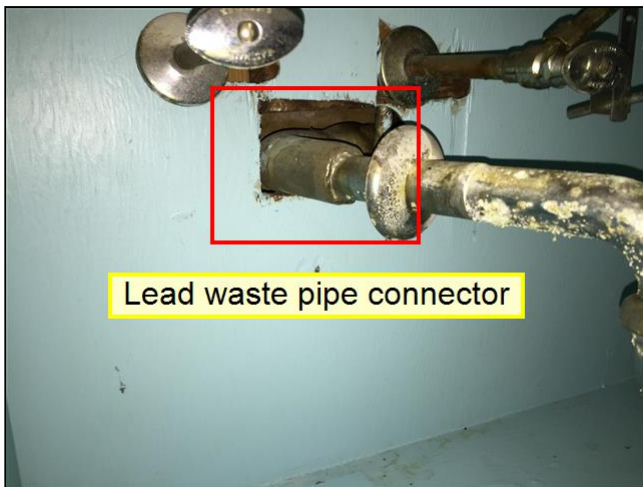
3.6 Item 4(Picture)



3.6 Item 5(Picture)



3.6 Item 6(Picture)



3.6 Item 7(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise

inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Alaina Barrera

INVOICE

Home Sweet Home Inspections LLC
 PO Box 42255
 Atlanta, GA 30311
 404-405-7225

Inspection Date: 07/28/2018
Report ID:

Inspected By: Alaina Barrera

Customer Info:	Inspection Property:
Cindy Stemple	1750 Hummingbird Ln NE Atlanta GA 30307
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
Structural Inspection	150.00	1	150.00
			Tax \$0.00
			Total Price \$150.00

Payment Method: Credit Card

Payment Status: Invoice Sent

Note:

OFFICIAL GEORGIA WOOD INFESTATION INSPECTION REPORT

Company Name Arrow Exterminators License No. 99611
 Address 814 Jefferson St., Atlanta, GA 30318
 Telephone No. 404-733-1370 Date of Issuance 7/30/18
 Seller ELIZABETH TURLINGTON Inspector TRENT O'NEAR SP2231A
 File No. _____ Purchaser(s) CINDY STEDLE

SCOPE OF INSPECTION

An inspection of the below listed structure(s) was performed by a qualified inspector employed by this firm to determine the presence or previous presence of an infestation of the listed organisms and is not intended to be a structural report. Neither is this a warranty as to absence of wood destroying organisms. **This report is subject to all conditions enumerated on the reverse side and is issued without warranty or guarantee except as provided in Rule 620-6-.03 of the Rules of the Georgia Structural Pest Control Act or subject to any treatment guarantee specified below.**

Main Structure SINGLE FAMILY DWELLING
 Other Structure(s) —
 Address of Structure(s) 1750 HUMMINGBERD LANE NE ATLANTA, GA 30307

Inspection Reveals Visible Evidence of:	FINDINGS			
	Active Infestation		Previous Infestation	
	YES	NO	YES	NO
Subterranean Termites	—	X	X	—
Powder Post Beetles	—	X	—	X
Wood Boring Beetles	—	X	—	X
Dry Wood Termites	—	X	—	X
Wood Decaying Fungus (Not Molds and Mildews)	—	X	—	X

Were any areas of the structure obstructed or inaccessible? X YES ___ NO
 If yes, list these areas (see Item 3 on reverse side of form)
CELLINGS, WALL JOINTS, FLOOR COVERINGS

The following conditions conducive to infestation for wood destroying organisms were found at the time of inspection. The location of these conditions conducive to infestation are indicated on the attached diagram:
WOOD TO GROUND CONTACT AT WOOD SIDING

Remarks/Additional Findings:

NOTE: If visible evidence of active or previous infestation is reported it should be assumed that some degree of damage is present and a diagram identifying the structure(s) inspected and showing the location of such evidence must be attached to this form. Evaluation of damage and any corrective action should be performed by a qualified inspector in the building trade approved by the purchaser and lending agency.

TREATMENT

The above described structure(s) was treated by this company as follows:

Organism	Treatment Date	Contract Expiration	Type Treatment (Chemical Barrier, Bait, Wood Treatment)
Subterranean Termites			
Powder Post Beetles			
Wood Boring Beetles			
Dry Wood Termites			
Wood Decaying Fungus			

The present treatment warranty(ies) is:
 ___ Transferable to any subsequent owner of the property upon payment of a fee on or before the expiration date.
X Not transferable to any subsequent owner of the property.
X The above structure(s) are not covered by a treatment contract with this company.

This structure has a current Official Waiver Form issued by this Company ___ YES X NO
 If Yes, a copy must be attached as part of this report.

CERTIFICATION

This is to certify that neither I, nor the company has had or contemplates having any interest in the property involved, nor is acting in any association with any party to the transaction.

Signature of Designated Certified Operator _____ Signature of Purchaser or Legal Representative Acknowledging Receipt of Report _____

Copies to: ___ Purchaser ___ Mortgagee ___ Realtor ___ Seller

CONDITIONS GOVERNING THIS REPORT

1. This report is limited to the five organisms listed.
2. This report covers only those structures listed on the front.
3. Inspection, including sounding and/or probing, was performed in only those areas which were readily accessible. Inaccessible areas not inspected include, but are not limited to areas obstructed by, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances or other personal items. The inspection also included a check of company records to determine if the structure has been treated and/or under renewal contract with the company within the past two years for any of the covered organisms. A copy of any current Official Waiver or Exception Form II form for this structure must be included as part of this report.
4. Reporting of Wood Destroying Fungi on this report is intended to cover only white rot, brown rot or water conducting fungi infestations which occur below the first floor level. This report does not cover the reporting of molds and mildews. Structural Pest Control companies are not responsible for inspecting for molds.
5. The term Wood Boring Beetles as used on the reverse side means only those beetles which are known to establish and maintain a continuing infestation in structures, such as, but not limited to the Old House Borer.
6. Regardless of whether any visible evidence of infestation by any of the listed Wood Destroying Organisms is found during inspection, if an infestation of one or more of these organisms from which apparent freedom was certified is found within 90 days of issuance of this report the property shall receive, free of charge, a minimum adequate treatment for control of the infestation consistent with Rules 620-6-.03 (1) (a), (b), (c) and (d), of the Georgia Structural Pest Control Act.
7. This is not a structural report. A wood destroying organism inspector is not ordinarily a construction or building trade expert and is therefore not expected to assess structural soundness. Evaluation and correction of damage which may have resulted from an active or previous infestation should be performed by a qualified inspector in the building trade, who is approved by the purchaser and the lending agency.
8. This report implies no responsibility on the part of the Georgia Department of Agriculture or the Georgia Structural Pest Control Commission to enforce or require anything other than treatment or retreatment to the minimum adequate treatment requirements specified in Rule 620-6-.04.
9. Conditions conducive to Infestation means conditions that exist in a structure that favor the development of wood destroying organisms. These are limited to: cellulosic material underneath a building and wood in contact with the soil which has not been treated with preservatives to a minimum preservative retention designed for ground contact and ventilation of the under-floor space between the bottom of the floor joist and the earth that does not meet the requirements of the International Residential Building Code for one and two family dwellings, the latest edition as adopted and amended by the Georgia Department of Community Affairs. Any condition conducive to infestation as defined above, that is known to have existed at the time of inspection and was not reported and is found within 90 days of the issuance date of this report shall be corrected free of charge by the licensee.

The format of this report conforms to the Rules of the GEORGIA STRUCTURAL PEST CONTROL COMMISSION. Chapter 620-6-.03, as amended. Printed and distributed, to provide a central source of supply, as a service to the industry by GEORGIA PEST CONTROL ASSOCIATION.
203- Beaver Ruin Road
Norcross, Georgia 30071, 770/417-1881



INSPECTION GRAPH

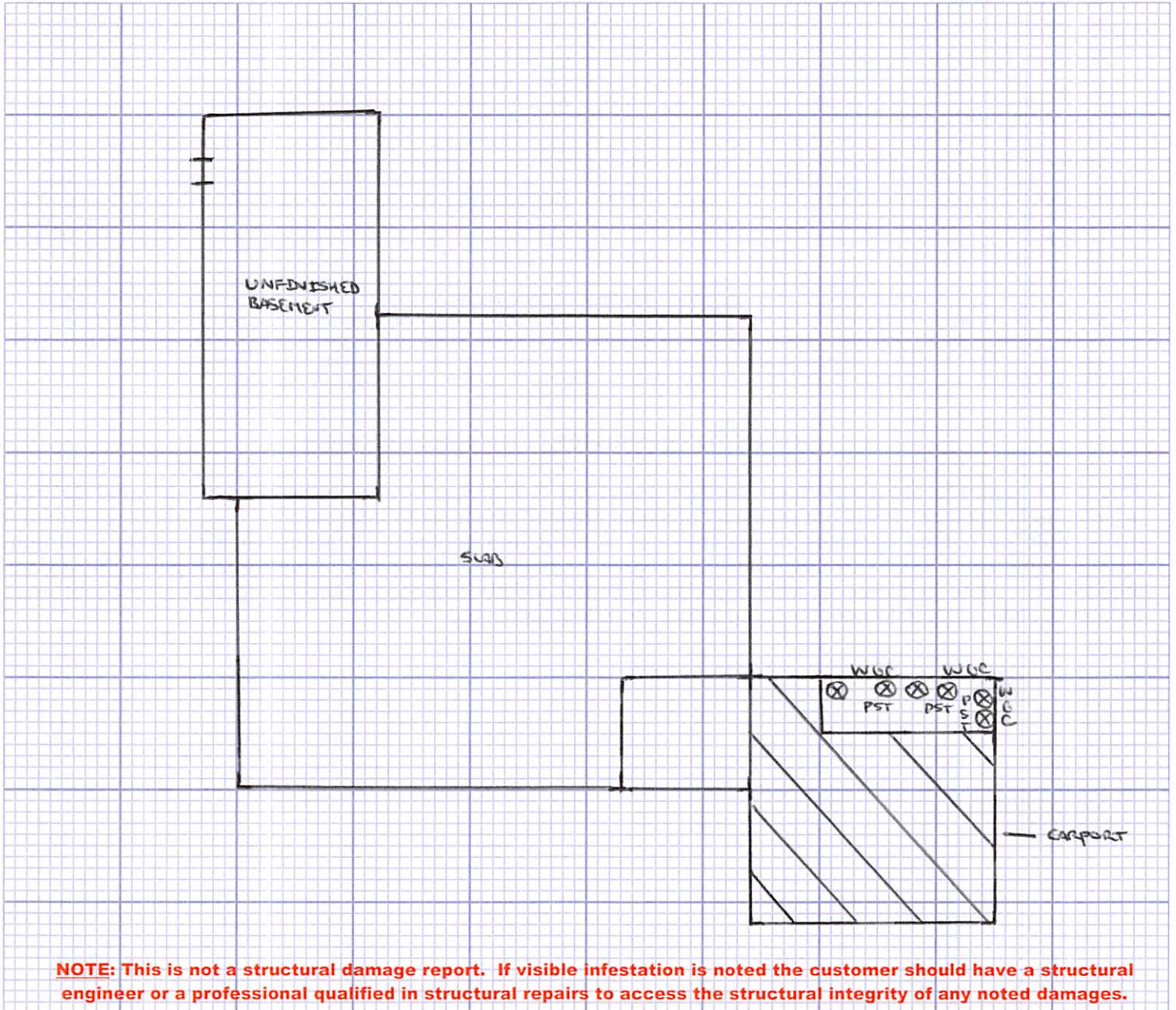
Date: 7 / 30 / 18

Inspector: _____

Owners/Agents Name: ELIZABETH TURLINGTON Hm Ph: _____ Other Ph: _____ Email: _____

Occupants/Purchasers Name: CINDY STAMPLE Hm Ph: 404-368-1980 Other Ph: _____ Email: CINDYSTAMPLE@GMAIL.COM

Service Address: 1750 HUMMINGBIRD LN NE City: Atlanta State: GA Zip Code: 30307



NOTE: This is not a structural damage report. If visible infestation is noted the customer should have a structural engineer or a professional qualified in structural repairs to access the structural integrity of any noted damages.

FOUNDATION WALLS: BLOCK POURED
 EXTERIOR CLADDING: BRICK STUCCO SIDING
 CONSTRUCTION TYPE: Basement: Finished Unfinished Floating Slab Supported Slab Monolithic Slab Crawl Pier & Beam
 CODE: ACTIVE INFESTATION = A SUBTERRANEAN TERMITES = ST DRYWOOD TERMITES = DT
 WOOD BORERS = WB POWDER POST BEETLES = PPB *WOOD DECAY FUNGI = WDF
 *MOISTURE CONDITION = M PREVIOUS INFESTATION = P BATH TRAP = B
 CONDUCTIVE CONDITIONS: POSSIBLE HIDDEN DAMAGE = PHD EXISTING VISIBLE DAMAGE = ⊗ INACCESSIBLE AREAS = *
 WOOD TO GROUND CONTACT = WGC INADEQUATE VENTILATION = IV STANDING WATER = SW
 CELLULOSE DEBRIS = CD

INSPECTORS STATEMENT LOCATION OF VISIBLE INFESTATION: _____
 TYPE OF TREATMENT: Baiting System Liquid Treatment Limited Liquid Treatment Other: _____
 TREATMENT DATE: ____ / ____ / ____ PRODUCT: _____ ESTIMATED GALLONS / STATIONS: _____
 Water Well: [] NO [] Yes - # of Feet _____ Additional Instructions: _____

Size of Structure: 250-
 Cubic Footage Linear Footage
 Scale Used: 1:1 Other: _____
 Waiver Issued: Yes No

SCOPE OF GRAPH REPORT

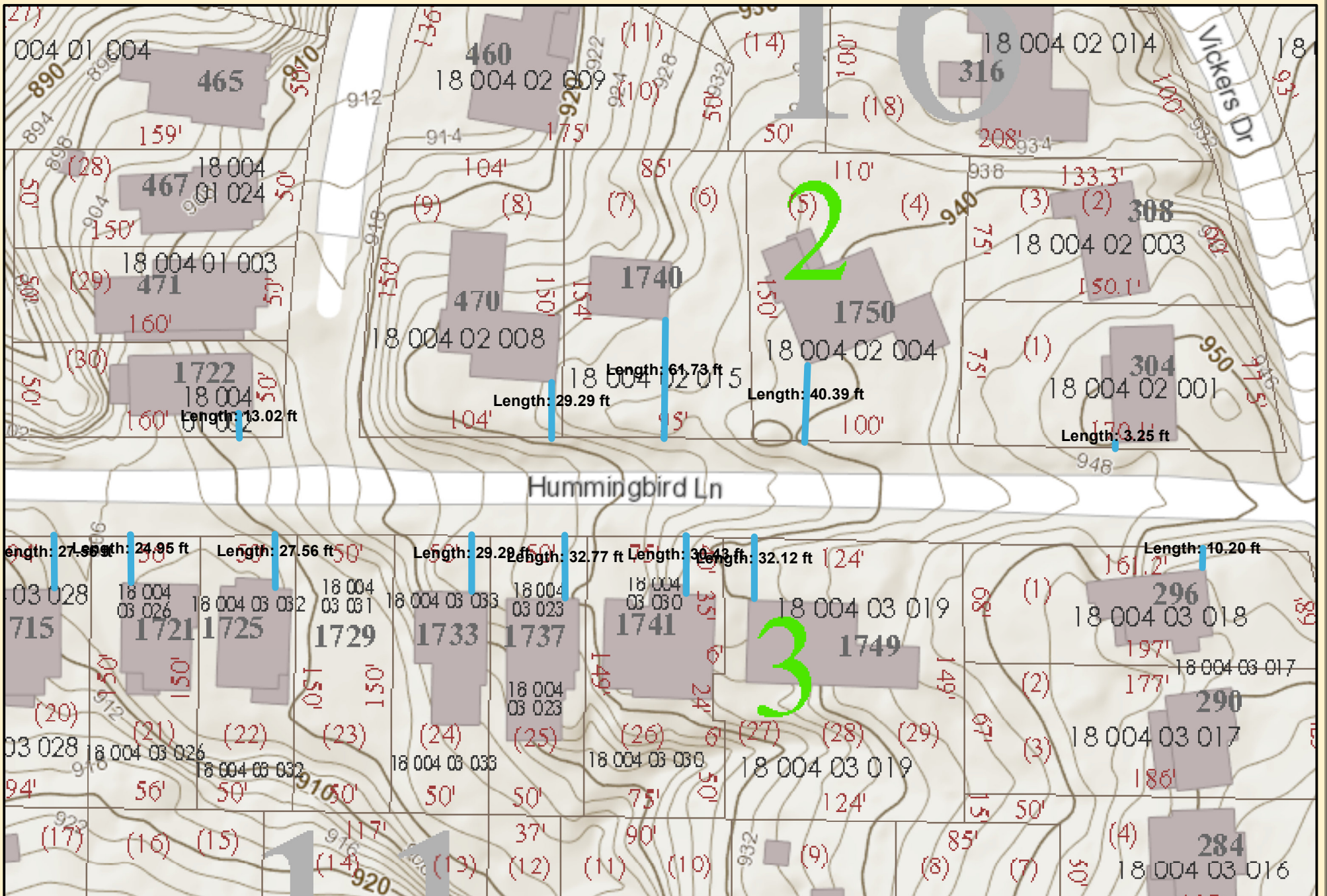
Both sides of this graph report refer to and are part of the specified Service Agreement.

1. The purpose of this inspection and graph is for evaluation or work procedures and consideration of control methods and findings, which are related thereto. Only the primary structure considered for treatment is included unless otherwise noted herein.
2. The inspection is limited to those parts of the structure that are visible and readily accessible at the time of the inspection. Examples of inaccessible areas include, but are not limited to, areas concealed by wall covers, floor covers, furniture, insulation, equipment and stored articles and any portion of the structure in which inspection would necessitate removing or defacing any part of the structure (including the surface appearance of the structure). Inspection would not reveal any condition or damage which was not visible at the time of the inspection but which may be revealed in the course of repair, remodeling, replacement work or existing damage that becomes visible over time.
3. Due to the characteristics and behavior of various wood destroying insects and/or organisms, it may not always be possible to determine the presence of infestation or damage without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surfaces, etc. are frequently repaired prior to the inspection with putty, spackling compounds, tape or other devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. Arrow Exterminators, Inc (The Company) cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered specific pest(s) inactive. This inspection may not reveal all areas of damage or infestation; there is a possibility of hidden damage or infestation.
4. If visible evidence of active or previous infestation of a listed wood destroying insect or organisms is reported, it should be assumed that some degree of damage is present.
5. If visible evidence of damage is reported, this report will not specify structural damage or cosmetic damage and it does not imply that damage must be repaired or replaced. The Company's termite specialists are not structural engineers and are not qualified to give an opinion regarding the degree of structural integrity of noted damage(s). Evaluation of damage and any corrective action should be performed by a qualified expert.
6. Should The Company be contracted for service work at this location, this graph report and other company forms will be used as a guide. A service agreement covering specific procedures, charges, limitations, areas of treatment, option, service policies, terms and conditions and other information requirements will be furnished to the contracting party. The Company will assume no responsibility or duty to provide this information to anyone else unless a written request is submitted and approved by The Company.
7. The various control options offered by The Company may be further defined herein along with additional materials that are available to the customer. In other variations of specialized applications specifics will be explained and defined to the customer should circumstances of their usage be necessary. Options will vary depending on cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
8. While The Company may in some cases provide service for moisture conditions and wood decaying fungi, this property was not and will not be inspected for the presence or absence of health related molds or fungi. The Company's specialists are not qualified, authorized or licensed to inspect for health related molds or fungi. For such inspections the customer should contact an industrial hygienist.

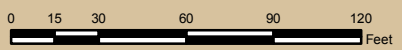
NOTICE TO THE PROPERTY OWNER/CUSTOMER

This graph report is not a structural damage report nor is it a warranty as to the absence of wood destroying organisms or damage. It will not reveal all possible areas of damages or infestations. It should be assumed that there could be hidden damages or infestations. A structural engineer or professional qualified in structural repairs should be sought to determine the degree of damages or repairs should this report indicate active infestation, visible evidence of prior infestation and/or visible damages. The Company's personnel are not trained to make such determinations regarding structural damages.





1750 Humm w dims



Date Printed: 8/27/2018



DeKalb County GIS Disclaimer

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