

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 894 Barton Woods Road NE, Atlanta, GA 30307 (Unincorporated DeKalb County)

Applicant: Brian Bell E-Mail: bb@bldgs.org

Applicant Mailing Address: BLDGS, 786 Murphy Avenue SW, Atlanta, GA 30310

Applicant Phone(s): 404-758-0466 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

Owner(s): Caroline Bridges Driebe E-Mail: carolinebd@gmail.com

Charles Driebe E-Mail: charles@blindambitionmgt.com

Owner(s) Mailing Address: 894 Barton Woods Road NE, Atlanta, GA 30307

Owner(s) Telephone Number: Charles Driebe (404) 371-8930

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1954

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
- New accessory building Landscaping Fence/Wall Other environmental changes
- Sign installation or replacement Other

Description of Work:

1. SIDE & REAR FACADES: (1) New Window, (1) Enlarged Window, (1) Replacement Window and (1) Replacement Sliding Door involving framing revisions, exterior wall flashing and site-built insulating windows (to mimic existing historic detail).

2. INTERIOR: A complete Kitchen and Dining Room renovation including demo of existing kitchen to framing, new cabinets, new appliances, new ceiling, new lighting and new wall finishes, including a new built-in bench at the dining corner.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

RAB 2.12.18
Signature of Applicant/Date

Revised 1/26/17

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

(I) / (We),

Charles Driebe

being (owner) (owners) of the property 894 Barton Woods Road NE, Atlanta, GA 30307,
hereby delegate authority to Brian Bell
to file an application in (my) (our) behalf.

 2/12/18
Signature of Owner/Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project’s architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. Three copies of drawings at scale (plus nine reduced sets) should be submitted. Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dcullis@dekalbcountyga.gov. Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the “Design Manual for the Druid Hills Local Historic District”	<input checked="" type="radio"/> Y	<input type="radio"/> N
I have reviewed the DeKalb County Tree Ordinance	<input checked="" type="radio"/> Y	<input type="radio"/> N
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers	<input checked="" type="radio"/> Y	<input type="radio"/> N

1. General

- a. Label all drawings with the address of the site, owners’ name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18”;
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

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4. Fences & Retaining Walls Not Applicable

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred); Included as related to our project.
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions Not Applicable

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material; Not Applicable. Roof is shown in photos and elevation drawings - no changes are proposed to the existing roof.
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers Not Applicable

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights Not Applicable

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

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10. Façade Shown in existing photos and existing and proposed elevation drawings.

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g. Hardieplank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance Not Applicable

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

Shown in existing photos and existing and proposed elevation drawings. None of the proposed changes are visible from right-of-way. Construction details for site-built wood windows are also included.

13. Materials No change to existing materials or colors are proposed. See existing photos and labeled

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

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14. Garages / Accessory Buildings Not Applicable

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions Interior and new window opening demo only - see plan and details for engineer's requirements

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

DRIEBE RESIDENCE KITCHEN REMODEL

894 BARTON WOODS ROAD NE ATLANTA, GA 30307

UNINCORPORATED DEKALB COUNTY

CERTIFICATE OF APPROPRIATENESS

NOTE: DO NOT SCALE DRAWINGS FOR DIMENSIONS. ANY REQUIRED DIMENSIONS NOT PROVIDED SHALL BE REQUESTED FROM THE ARCHITECT.

SEAL



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#	DESCRIPTION	DATE
1	CERT. OF APP. SET	9 FEB 2018

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STRUCTURAL ENGINEER

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(770) 645-6520 | www.cfdstructural.com

CONTRACTOR

Live Oak Construction Group, LLC
PO BOX 5327
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(404) 512-9513 TEL

OWNER

CHARLES AND CAROLINE DRIEBE
894 BARTON WOODS ROAD NE
ATLANTA, GA 30307
(404) 371-8930 TEL

SCALE 1" = 30'-0"

PROJECT 1603

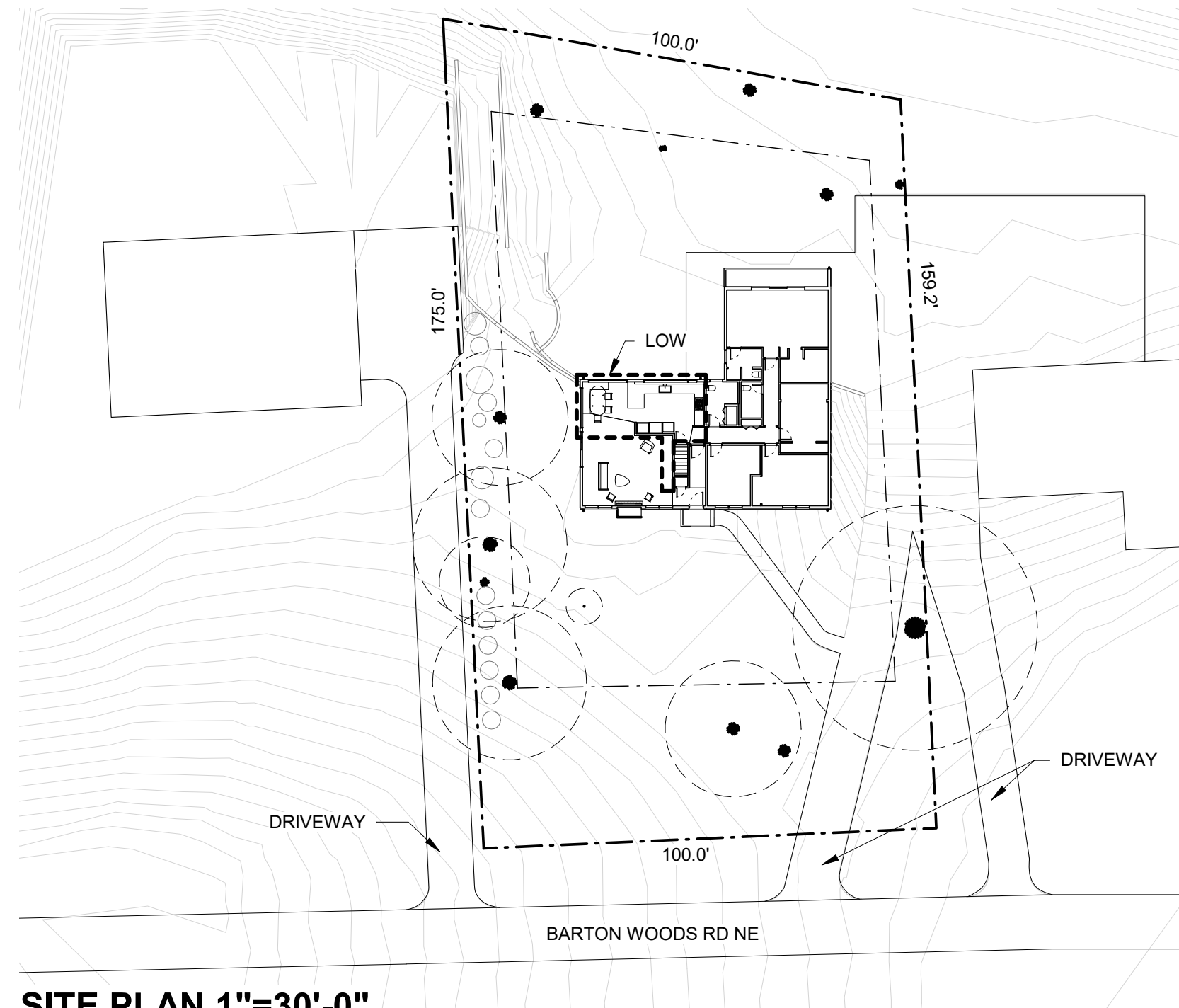
NAME **DRIEBE RESIDENCE**

ADDRESS 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

SHEET

TITLE **TITLE SHEET**

NUMBER **T1**



SITE PLAN 1"=30'-0"

APPLICABLE BUILDING CODES

- International Residential Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- National Electrical Code, 2017 Edition (No Georgia Amendments)
- International Energy Conservation Code, 2009 Edition, with Georgia Supplements and Amendments (2011) (2012)
- International Swimming Pool and Spa Code, 2012 Edition, with Georgia Amendments (2014)

SCOPE OF WORK

The project is an interior kitchen renovation within an existing Single-Family House - including the creation of new window openings within existing wood-framed construction. See Site Location Plan for Limit of Work (LOW). Headers over the new window openings, and stud-packs to support the new headers, have been engineered and specified, and constitute the only structural work on the project. The remaining work is interior finishes, cabinets/casework, electrical and the installation of new appliances and plumbing fixtures.

Specifically, the project is conceived as three primary scopes of work:

1. A complete Kitchen renovation including demo down to framing, new cabinets, new appliances (except dishwasher, to be reused), new ceiling, new lighting and new wall finishes, including a new built-in bench at the dining corner.
2. New windows and sliding door at kitchen, dining and living room, involving framing revisions, exterior wall flashing and site-built insulating windows (to mimic existing historic detail).
3. A new wall and floor mounted casework element for the living room.

NO SITING WORK IS INCLUDED WITH THIS PROJECT.
NO TREES ARE IMPACTED WITH THIS PROJECT.

INDEX OF DRAWINGS

GENERAL

T1	TITLE SHEET	9 FEB 2018
T1.1	RESIDENCE PHOTOS	9 FEB 2018

DEMOLITION

A1.0	DEMO PLAN	9 FEB 2018
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ARCHITECTURE

A0.1	SITE PLAN	9 FEB 2018
A1.1	FLOOR PLAN	9 FEB 2018
A2.0	EXISTING ELEVATIONS	9 FEB 2018
A2.1	NEW ELEVATIONS	9 FEB 2018
A4.0	EXISTING WINDOW DETAILS	9 FEB 2018
A4.1	OPENING DETAILS	9 FEB 2018
A4.2	CASEMENT DETAILS	9 FEB 2018
A4.3	SLIDING DOOR DETAILS	9 FEB 2018

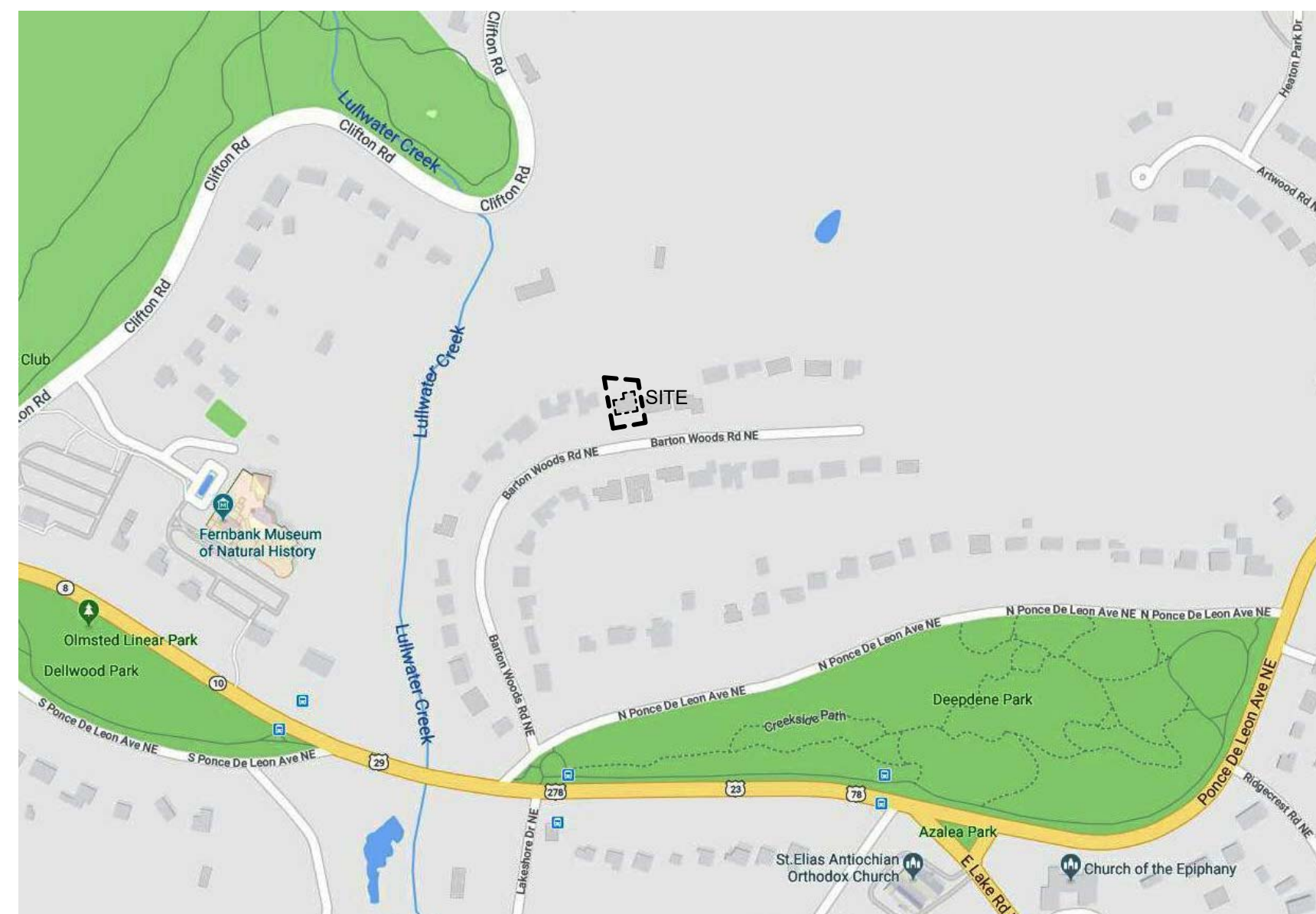
DEKALB ZONING ORDINANCE / R-85 / PARCEL 10: 15 243 02 043

894 Barton Woods Road is within the R-85 zoning district, however as an interior renovation no aspect of the project is affected by the ordinance.

DRUID HILLS LOCAL HISTORIC DISTRICT / CERTIFICATE OF APPROPRIATENESS

The house is located in unincorporated DeKalb County, Georgia, District 15, Land Lot 243, and IS within the Druid Hills Local Historic District. While the house is not historically listed, the proposed exterior alterations (new windows) do require a design review and Certificate of Appropriateness from the Historic Preservation Commission per page 7 of the Druid Hills Design Guidelines.

The Barton Woods Road subdivision is within Druid Hills Character Area #1, but is considered an area of "non-historic intrusion" per page 104 of the Druid Hills Design Guidelines.



VICINITY LOCATION PLAN

894 Barton Woods Road NE, Atlanta, GA 30307



SOUTH ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307



NORTH ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307



WEST ELEVATION, FROM RIGHT OF WAY / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307



EAST ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307



WEST ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

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 (404) 371-8930 TEL

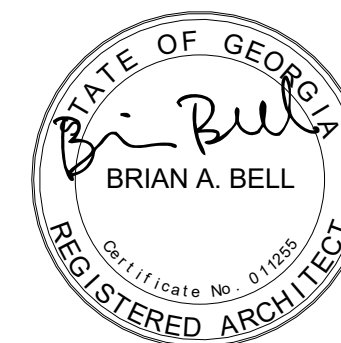
SCALE

PROJECT 1603
NAME DRIEBE RESIDENCE
ADDRESS 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

SHEET
TITLE RESIDENCE PHOTOS
NUMBER

NOTE: DO NOT SCALE DRAWINGS FOR DIMENSIONS. ANY REQUIRED DIMENSIONS NOT PROVIDED SHALL BE REQUESTED FROM THE ARCHITECT.

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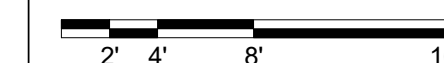
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SCALE 1/8" = 1'-0"



PROJECT 1603

NAME DRIEBE RESIDENCE

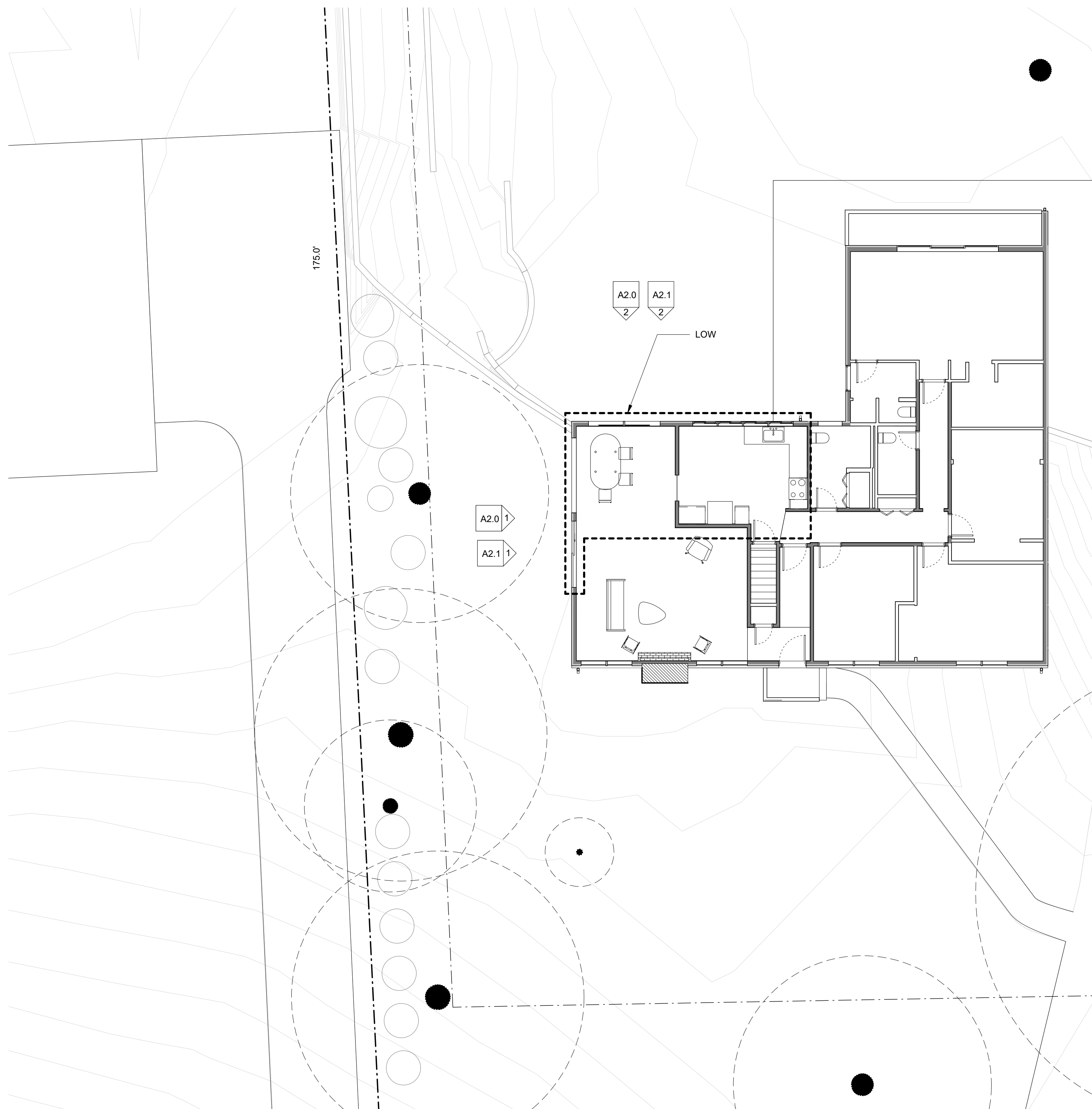
ADDRESS 894 BARTON WOODS ROAD NE
ATLANTA, GA 30307

SHEET

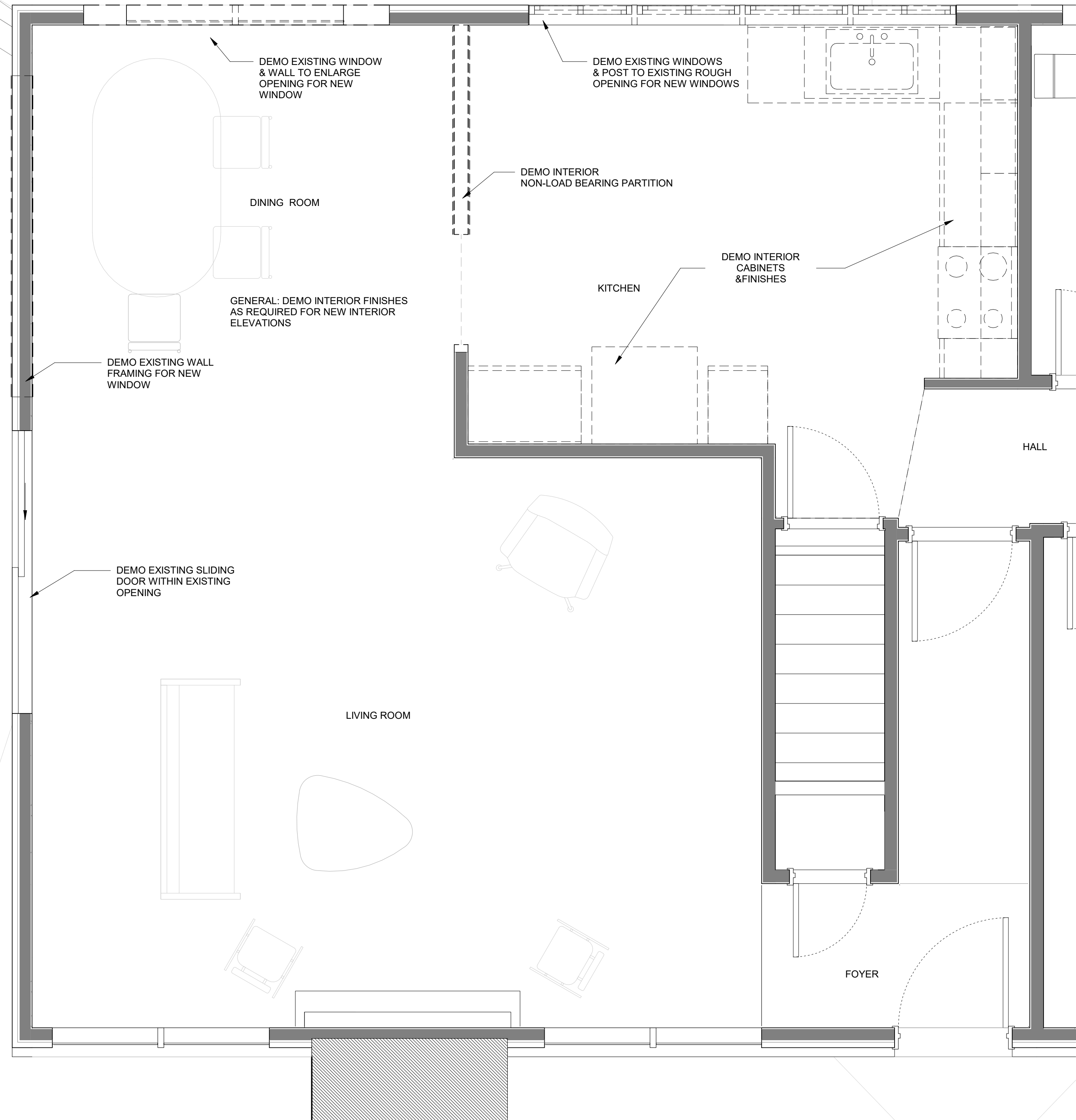
TITLE SITE PLAN

NUMBER

A0.1



1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



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SCALE 1/2" = 1'-0"



PROJECT 1603

NAME **DRIEBE RESIDENCE**

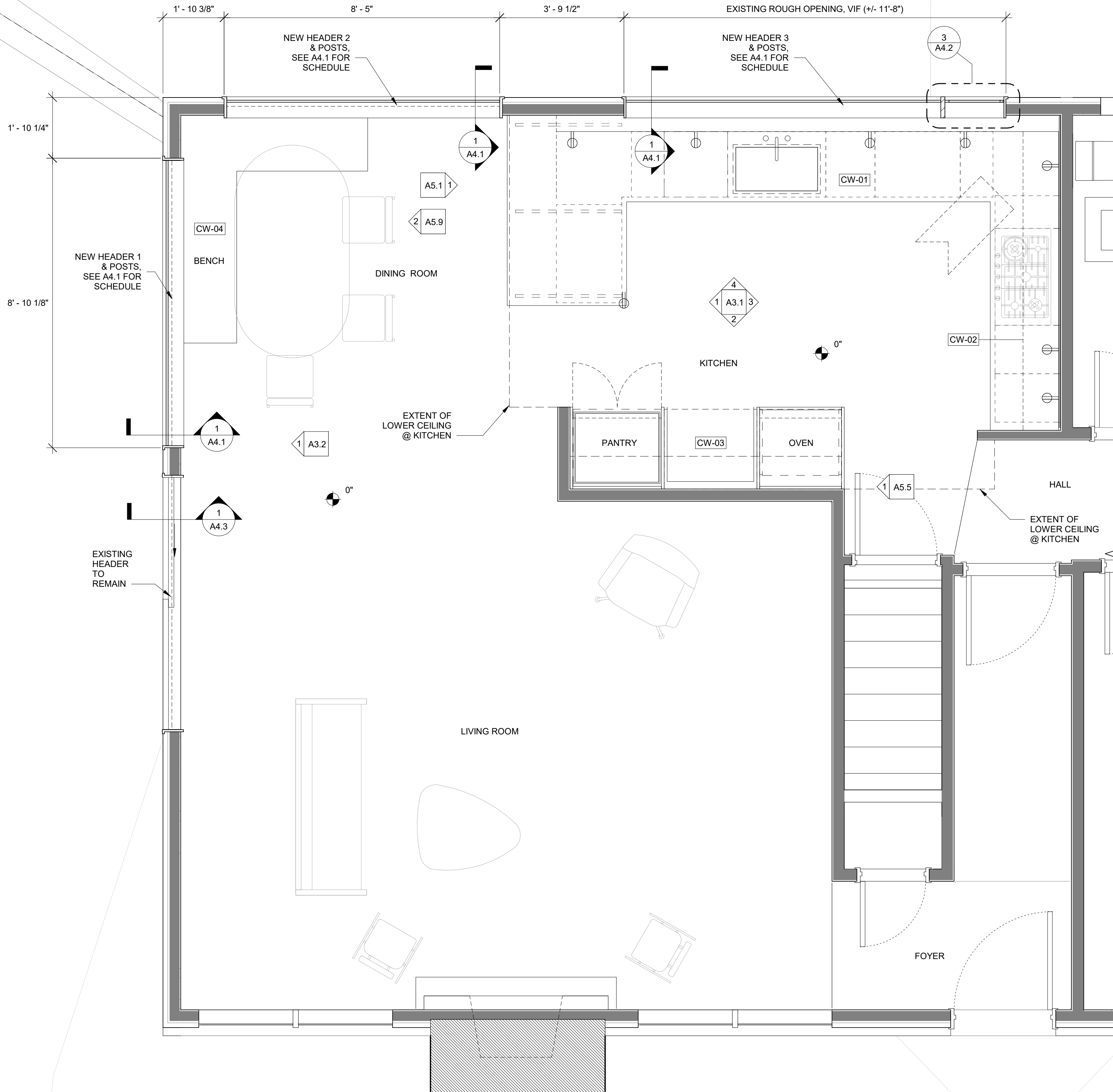
ADDRESS 894 BARTON WOODS ROAD NE
 ATLANTA, GA 30307

SHEET

TITLE **DEMO PLAN**

NUMBER **A1.0**

1 ENLARGED DEMOLITION FIRST FLOOR PLAN
 1/2" = 1'-0"



1 ENLARGED FIRST FLOOR PLAN
1/2" = 1'-0"

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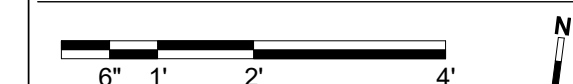
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SCALE 1/2" = 1'-0"



PROJECT 1603

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SHEET

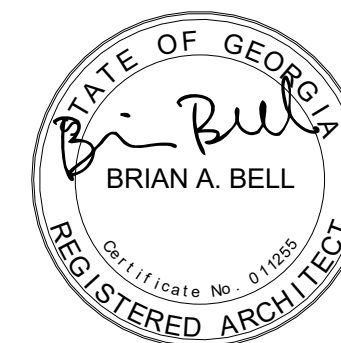
TITLE **FLOOR PLAN**

NUMBER

A1.1

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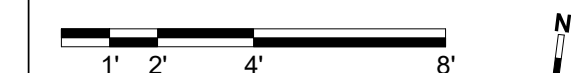
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SCALE 1/4" = 1'-0"



PROJECT 1603

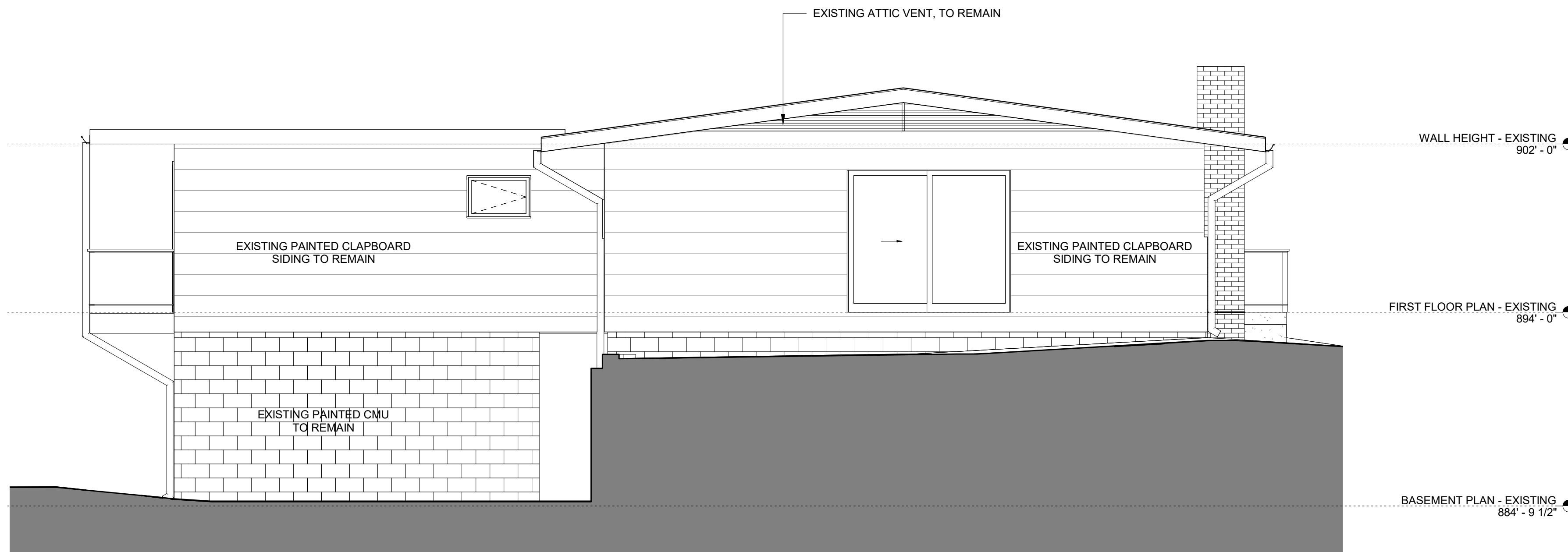
NAME **DRIEBE RESIDENCE**

ADDRESS 894 BARTON WOODS ROAD NE
ATLANTA, GA 30307

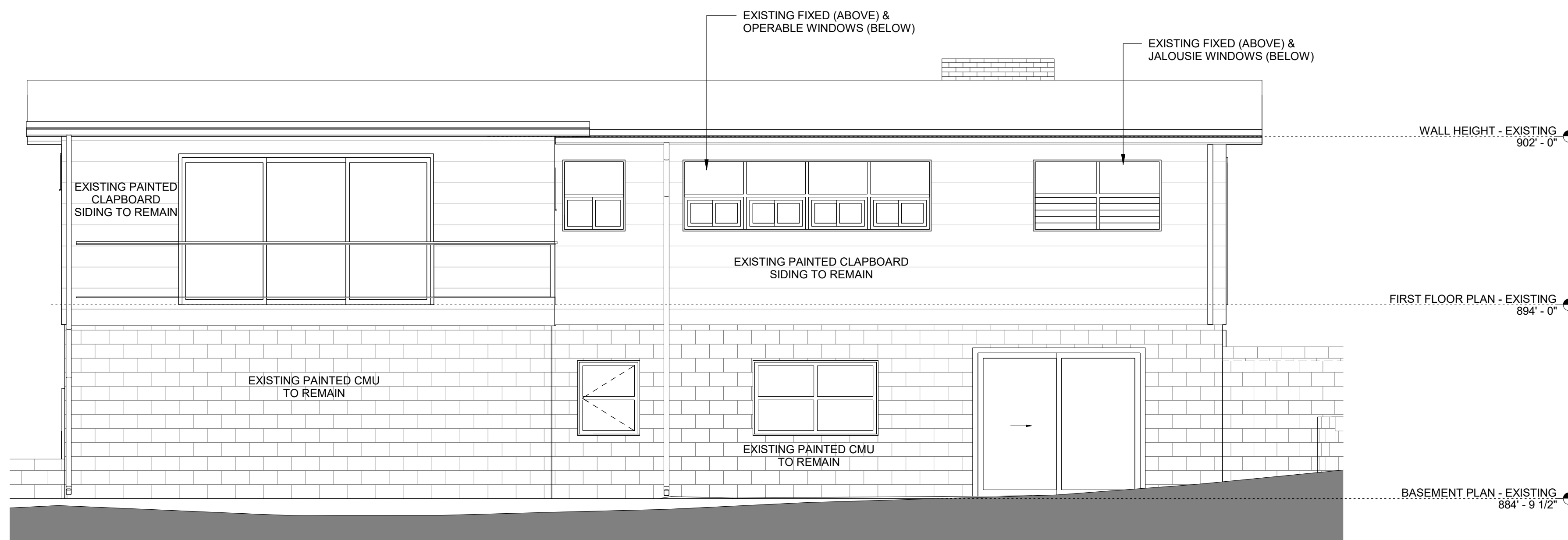
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TITLE **EXISTING ELEVATIONS**

NUMBER **A2.0**



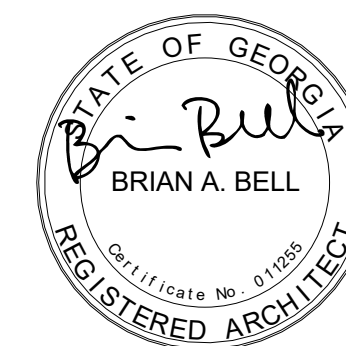
1 WEST ELEVATION - EXISTING
1/4" = 1'-0"



2 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

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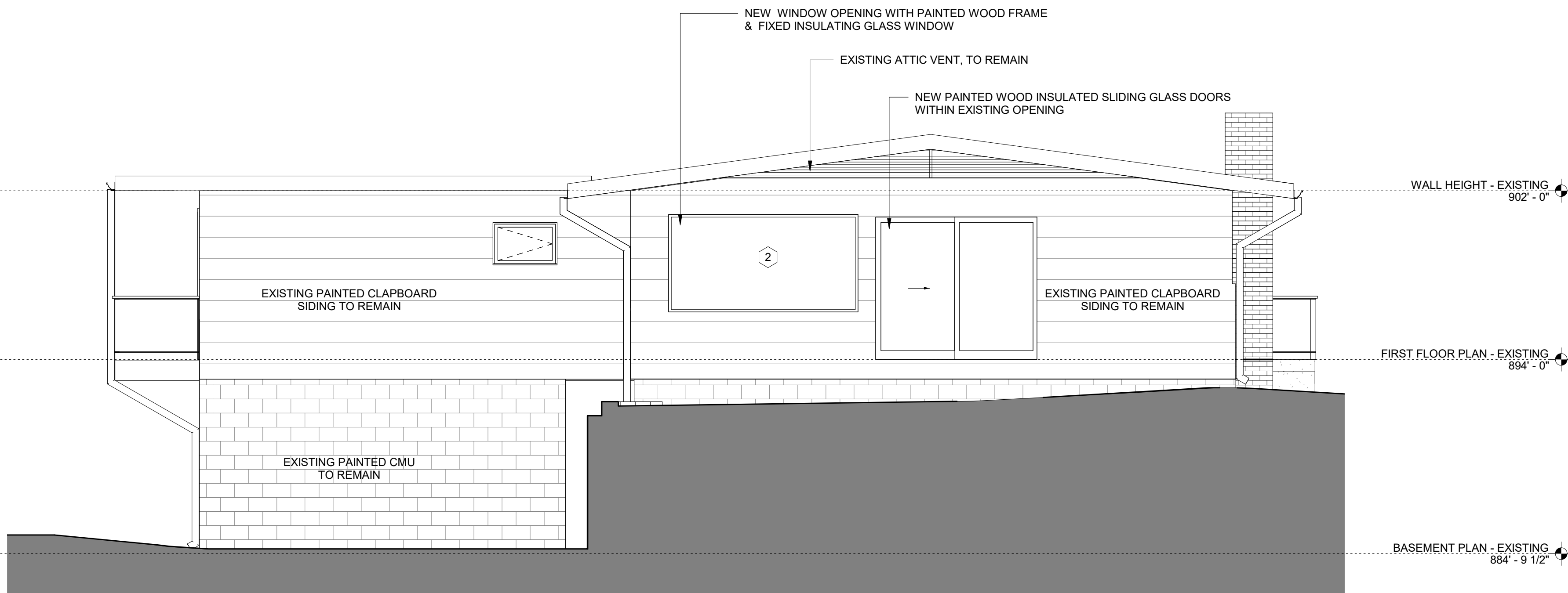
PROJECT 1603

NAME DRIEBE RESIDENCE

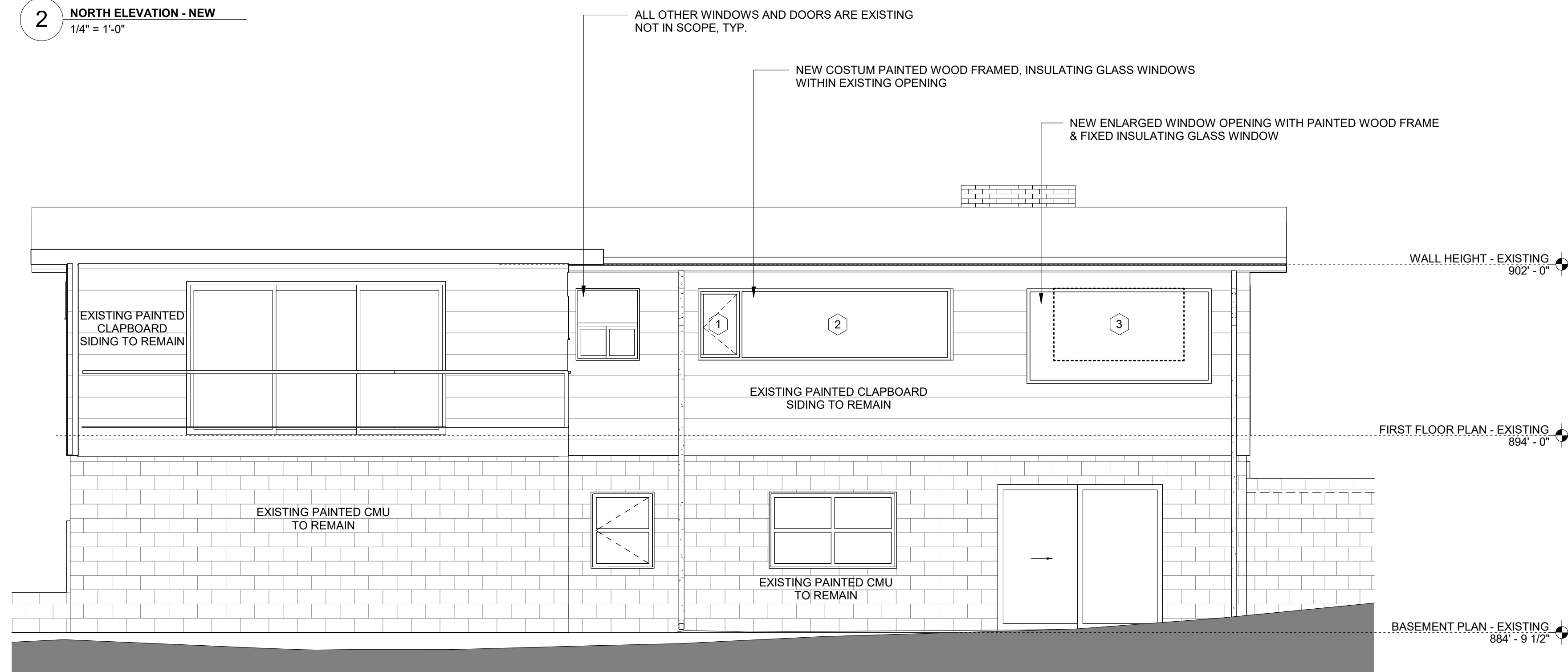
ADDRESS 894 BARTON WOODS ROAD NE
ATLANTA, GA 30307

SHEET
TITLE NEW ELEVATIONS

NUMBER **A2.1**



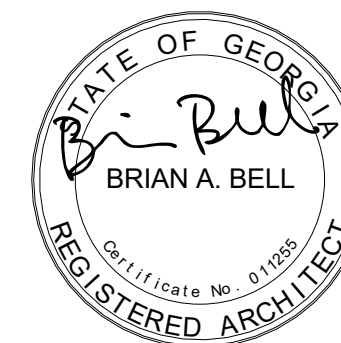
2 NORTH ELEVATION - NEW
1/4" = 1'-0"



1 WEST ELEVATION - NEW
1/4" = 1'-0"

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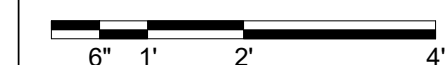
CONTRACTOR

Live Oak Construction Group, LLC
PO BOX 5327
ATLANTA, GA 31107
(404) 512-9513 TEL

OWNER

CHARLES AND CAROLINE DRIEBE
894 BARTON WOODS ROAD NE
ATLANTA, GA 30307
(404) 371-8930 TEL

SCALE 6" = 1'-0"



PROJECT 1603

NAME DRIEBE RESIDENCE

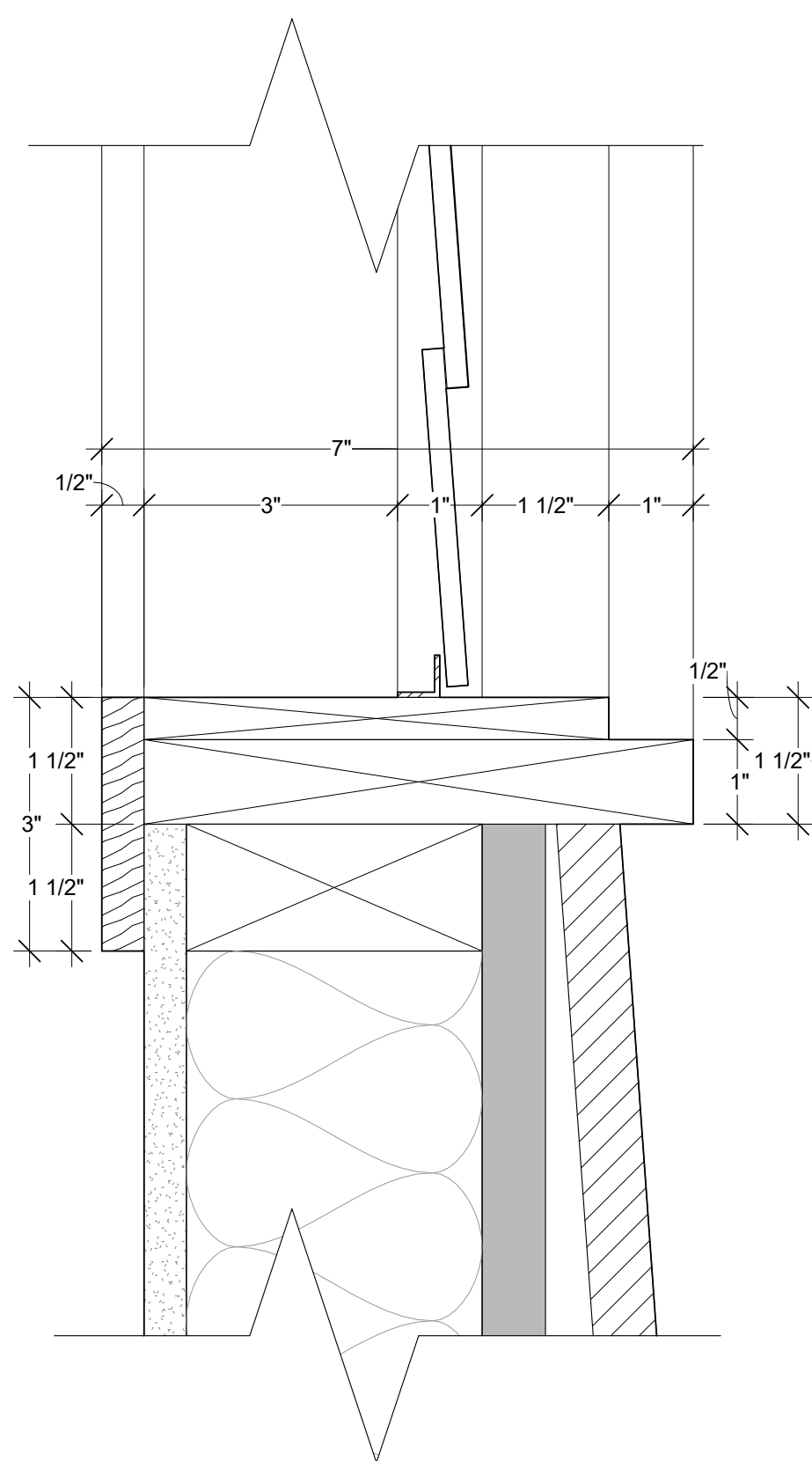
ADDRESS 894 BARTON WOODS ROAD NE
ATLANTA, GA 30307

SHEET

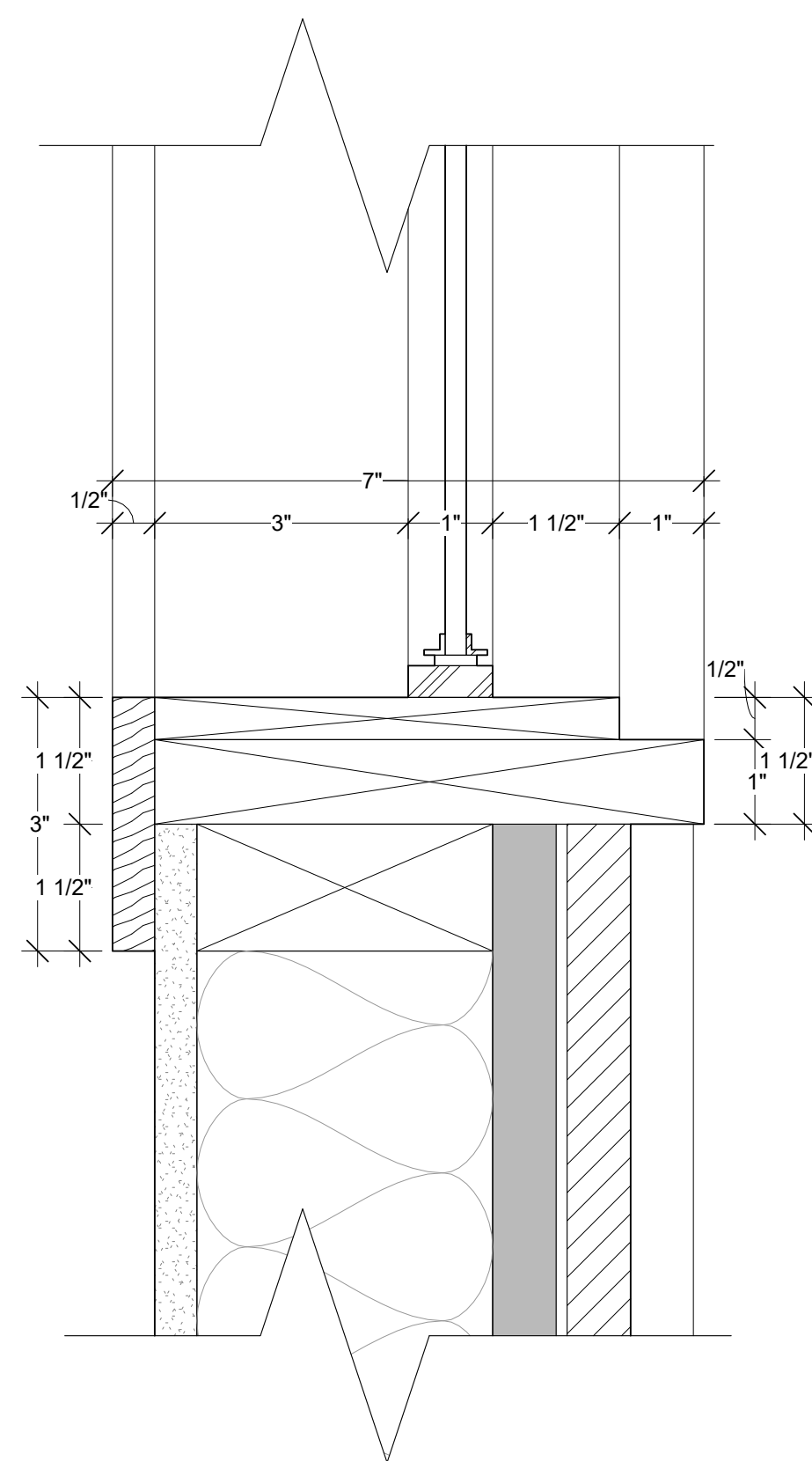
TITLE EXISTING WINDOW
DETAILS

NUMBER

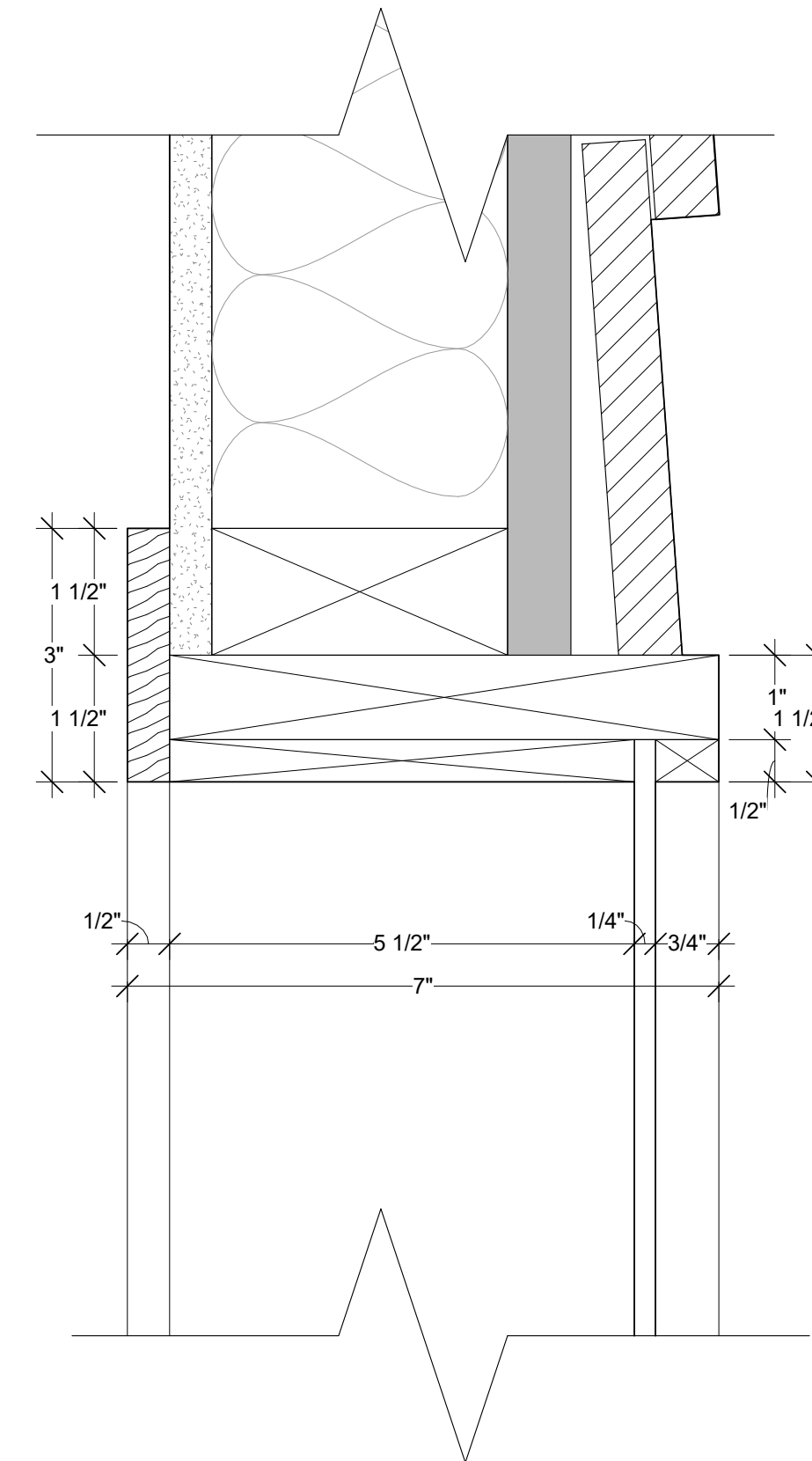
A4.0



3 EXISTING WINDOW - JALOUSIE SILL
6" = 1'-0"



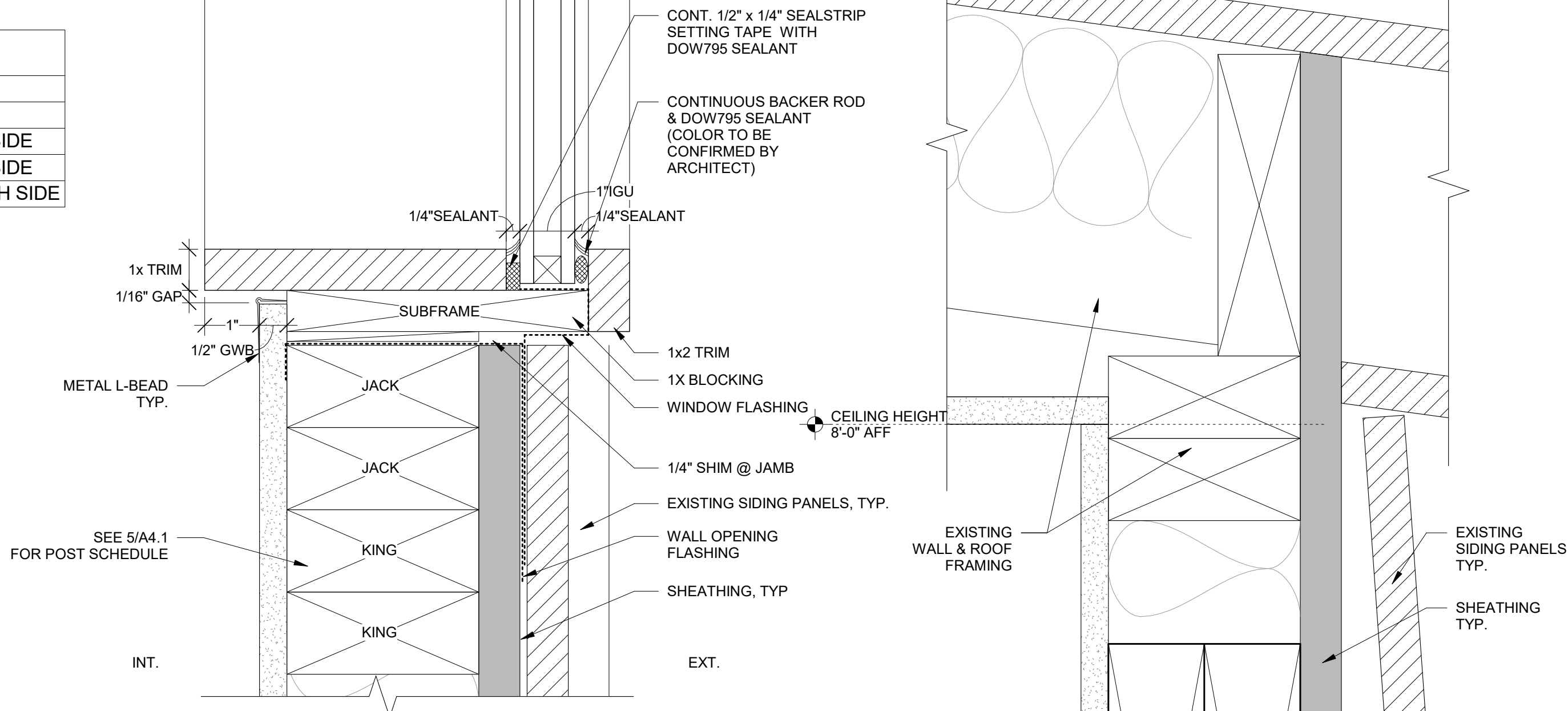
2 EXISTING WINDOW - JALOUSIE JAMB
6" = 1'-0"



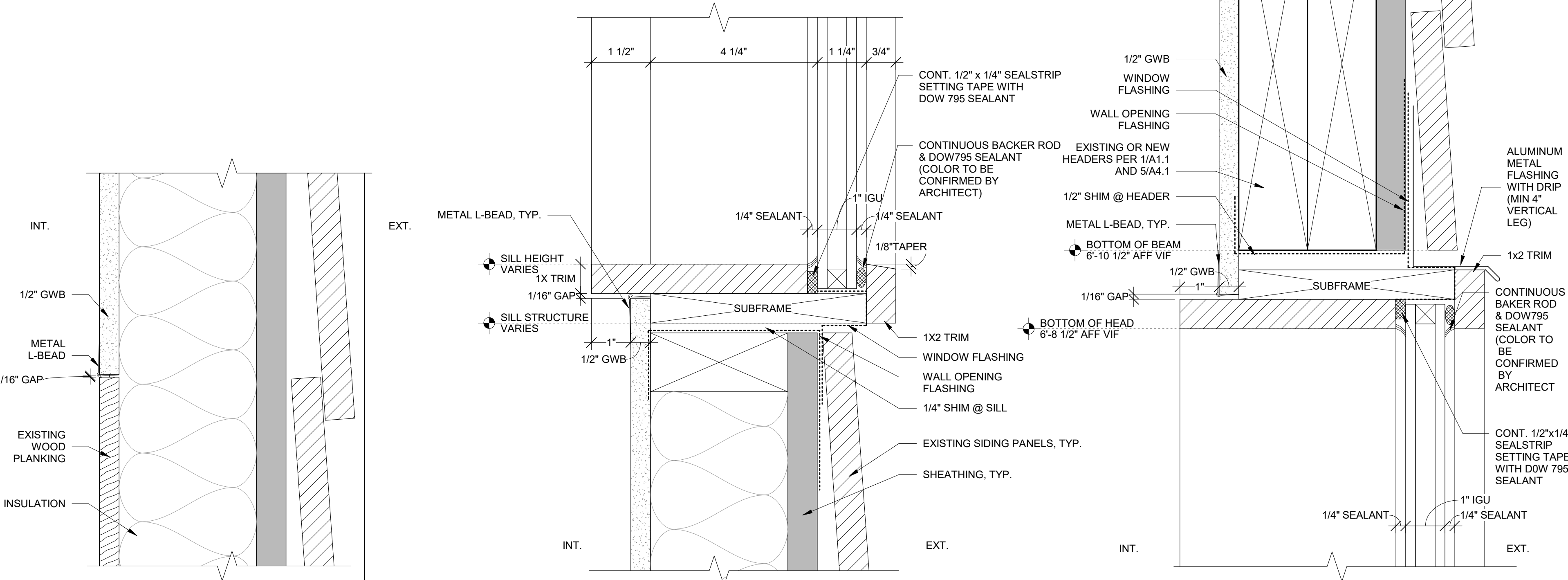
1 EXISTING WINDOW - FIXED HEAD
6" = 1'-0"

STRUCTURAL HEADER SCHEDULE		
HEADER SIZE	POST	
H1	(2) 2x10 #2 SYP	(3) JACK & (2) KING STUDS EACH SIDE
H2	(2) 9 1/2" LVL	(2) JACK & (2) KING STUDS EACH SIDE
H3	(2) 12" LVL	(1) JACK AND (2) KING STUDS EACH SIDE

5 STRUCTURAL HEADER SCHEDULE



2 WINDOW - JAMB
6" = 1'-0"

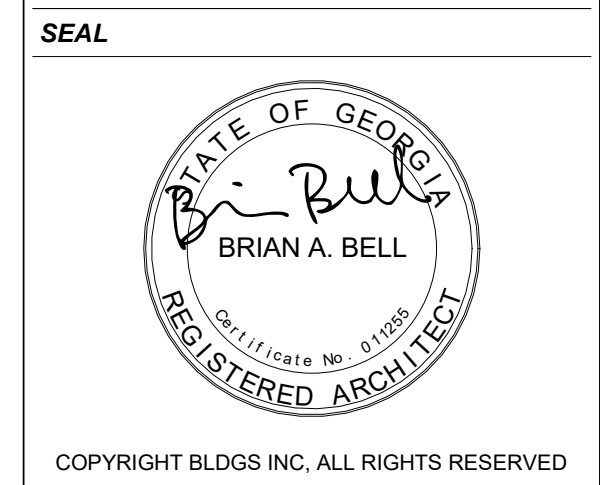


3 SECTION - PLANK TO GWB TRANSITION (PLAN SIM)
6" = 1'-0"

4 WINDOW - SILL
6" = 1'-0"

1 WINDOW - HEAD
6" = 1'-0"

NOTE: DO NOT SCALE DRAWINGS FOR DIMENSIONS. ANY REQUIRED DIMENSIONS NOT PROVIDED SHALL BE REQUESTED FROM THE ARCHITECT.



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#	DESCRIPTION	DATE
1	CERT. OF APP. SET	9 FEB 2018

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SCALE 6" = 1'-0"
1' 2' 4' 8'

PROJECT 1603
NAME DRIEBE RESIDENCE
ADDRESS 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

SHEET
TITLE OPENING DETAILS

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SCALE 6" = 1'-0"

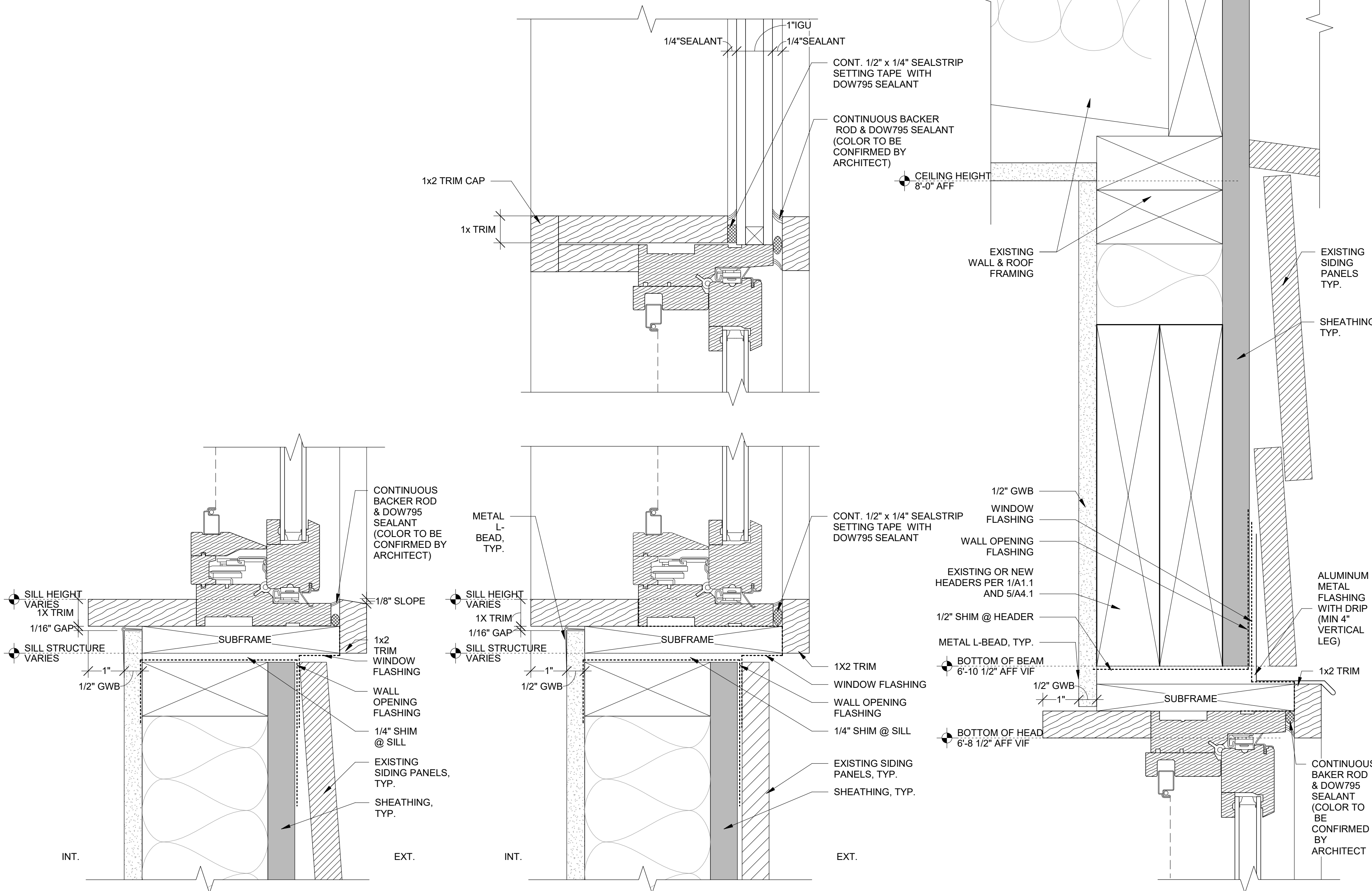
PROJECT 1603

NAME DRIEBE RESIDENCE

ADDRESS 894 BARTON WOODS ROAD NE
ATLANTA, GA 30307

SHEET TITLE CASEMENT DETAILS

NUMBER A4.2



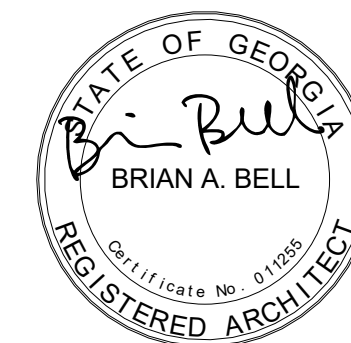
3 CASEMENT SILL DETAIL
6" = 1'-0"

2 CASEMENT JAMB DETAIL
6" = 1'-0"

1 CASEMENT HEAD DETAIL
6" = 1'-0"

NOTE: DO NOT SCALE DRAWINGS FOR DIMENSIONS. ANY REQUIRED DIMENSIONS NOT PROVIDED SHALL BE REQUESTED FROM THE ARCHITECT.

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SCALE 6" = 1'-0"

PROJECT 1603

NAME **DRIEBE RESIDENCE**

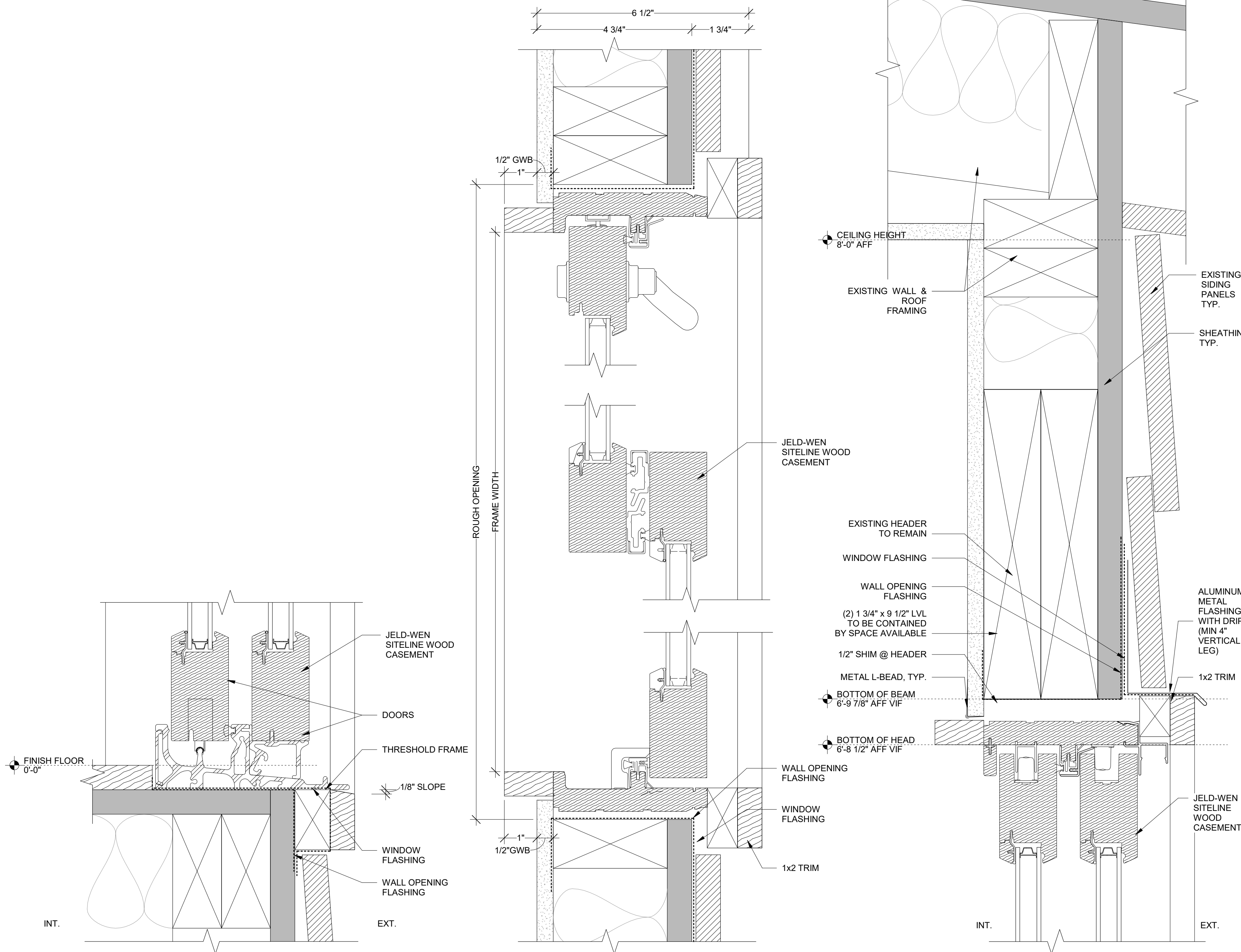
ADDRESS 894 BARTON WOODS ROAD NE
ATLANTA, GA 30307

SHEET

TITLE **SLIDING DOOR
DETAILS**

NUMBER

A4.3



3 DOOR - SILL
6" = 1'-0"

2 DOOR - JAMBS
6" = 1'-0"

1 DOOR - HEAD
6" = 1'-0"