

404.371.2155 (o) 404.371.4556 (f) DeKalbCountyGa.gov Clark Harrison Building 330 W. Ponce de Leon Ave Decatur, GA 30030

Chief Executive Officer DEPARTMENT OF PLANNING & SU	USTAINABILITY Director
Michael Thurmond Application for Certificate of A	Andrew A. Baker, AICP
Date Received: Application No.:	
Address of Subject Property:894 Barton Woods Road NE, Atlanta,	GA 30307 (Unincorporated DeKalb County)
Applicant: Brian Bell	E-Mail:bb@bldgs.org
Applicant Mailing Address: BLDGS, 786 Murphy Avenue SW, Atla	nta, GA 30310
Applicant Phone(s):	Fax:
Applicant's relationship to the owner: Owner Architect: Contractor/Bu	
Owner(s):Caroline Bridges Driebe	
Charles Driebe	E-Mail: charles@blindambitionmgt.com
Owner(s) Mailing Address: 894 Barton Woods Road NE, Atlanta, GA 3	
Owner(s) Telephone Number: Charles Driebe (404) 371-8930	
Approximate age or date of construction of the primary structure on the proper project:	erty and any secondary structures affected by this
Nature of work (check all that apply):	
New construction □ Demolition □ Addition □ Moving a building □ New accessory building □ Landscaping □ Fence/Wall □ Other € Sign installation or replacement □ Other □	
Description of Work: 1. SIDE & REAR FACADES: (1) New Window, (1) Enlarged V Replacement Sliding Door involving framing revisions, exterior windows (to mimic existing historic detail).	
2. INTERIOR: A complete Kitchen and Dining Room renovati framing, new cabinets, new appliances, new ceiling, new lighti built-in bench at the dining corner.	
<u>This form must be completed in its entirety</u> before the Planning Departm supporting documents (plans, material, color samples, photos, etc.). Provide supporting documentation. If plans/drawings are included, provide eight (8) three (3) additional sets at scale. All documents submitted in hard copy mu relevant items from the application checklist must be addressed. An application	e eight (8) collated sets of the application form and all) collated sets on paper no larger than 11" x 17" and ist also be submitted in digital form (.pdf format). All

PASSed 2.12.18 Signature of Applicant/Date

Revised 1/26/17

be determined incomplete and will not be accepted.



Clark Harrison Building 330 W. Ponce de Leon Ave Decatur, GA 30030

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

(I) / (We),

Charles Driebe

being (owner) (owners) of the property 894 Barton Woods Road NE, Atlanta, GA 30307

hereby delegate authority to Brian Bell

to file an application in (my) (our) behalf.

Signature of Owner/Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371-2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

Revised 1/26/17



Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. Three copies of drawings at scale (plus nine reduced sets) should be submitted. Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dccullis@dekalbcountyga.gov. Applicants are also referred to the DeKalb County website, http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability.

I have reviewed the "Design Manual for the Druid Hills Local Historic District" N I have reviewed the DeKalb County Tree Ordinance N I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers

- 1. General Included
 - a. Label all drawings with the address of the site, owners' name, and contact phone number.
 - b. Number all drawings.
 - c. Include a graphic scale on reductions.
 - d. Date all revisions.
 - e. Indicate all unverified numbers with +/- signs
 - e. Include photos of the existing condition of the property.
- 2. Site Plan (existing and proposed) to include No sitework is part of this project, No trees are impacted
 - a. Topographical plan with significant trees sized and located;
 - b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
 - c. Distance between houses;
 - d. Façade width to finished face of material;
 - e. Grading and elevations across site;
 - f. Dirt removal or regrading if more than 18";
 - g. Tree protection plan;
 - h. Tree removal and replacement plan

3. Driveways and Walkways Not Applicable

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



4. Fences & Retaining Walls Not Applicable

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans << Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred); Included as re
- b. House orientation on site plan;

c. Scalable elevations for front, rear, left, right;

- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions Not Applicable

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;

Not Applicable. Roof is shown in photos and elevation drawings -

c. Overhang;

no changes are proposed to the existing roof.

d. Louvers and vents;e. Chimney height and material

8. Dormers Not Applicable

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);

Not Applicable

d. Shown in plan and elevation to scale

Included as related to our project.



10. Facade Shown in existing photos and existing and proposed elevation drawings.

- a. Consistency in style;
 - b. Materials and their combinations

brick size and color stone type and color fiber-cement (e.g. Hardieplank) or wood siding shake or shingle other

- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance Not Applicable

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.
- **13. Materials** No change to existing materials or colors are proposed. See existing photos and labeled
 - a. Show all materials and label them on drawings;
 - b. Provide samples of brick or stone;
 - c. Provide samples if new or unusual materials

Shown in existing photos and existing and proposed elevation drawings. None of the proposed changes are visible from right-ofway. Construction details for site-built wood windows are also included.



14. Garages / Accessory Buildings

Not Applicable

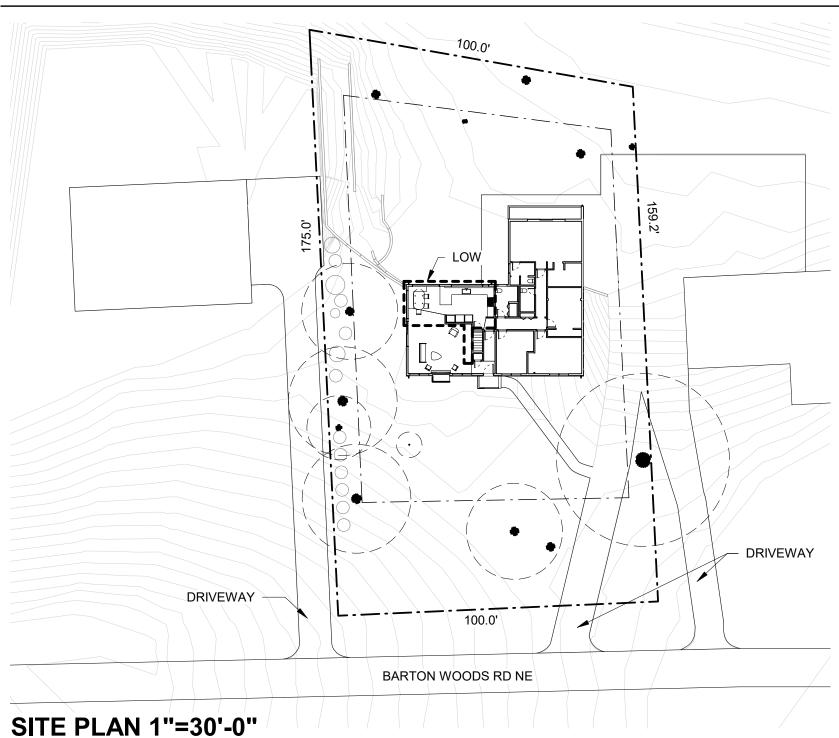
- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

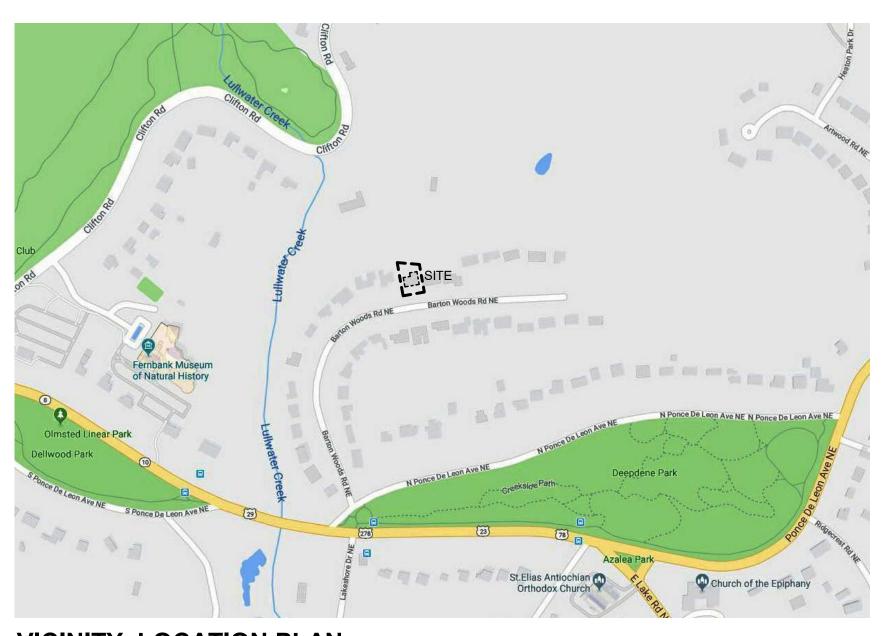
15. Demolitions Interior and new window opening demo only - see plan and details for engineer's requirements

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Revised 1/26/17

DRIEBE RESIDENCE KITCHEN REMODEL 894 BARTON WOODS ROAD NE ATLANTA, GA 30307 UNINCORPORATED DEKALB COUNTY **CERTIFICATE OF APPROPRIATENESS**





APPLICABLE BUILDING CODES

•	International R
•	International F
•	International P
•	International M
•	International F
•	National Elect
•	International E
•	International S

SCOPE OF WORK

	oject is an inter
openin	igs within existir
Heade	ers over the new
constit	ute the only stru
installa	ation of new app
Specif	ically, the project
1.	A complete K
	reused), new
2.	New windows

3.

NO SITEWORK IS INCLUDED WITH THIS PROJECT. NO TREES ARE IMPACTED WITH THIS PROJECT.

INDEX OF DRAWINGS

GENERAL

T1	TITLE SHEET	9 FEB 2018
T1.1	RESIDENCE PHOTOS	9 FEB 2018
DEMOLITION		
A1.0	DEMO PLAN	9 FEB 2018
ARCHITECTUR	PE	
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A0.1	SITE PLAN	9 FEB 2018
A1.1	FLOOR PLAN	9 FEB 2018
A2.0	EXISTING ELEVATIONS	9 FEB 2018
A2.1	NEW ELEVATIONS	9 FEB 2018
A4.0	EXISTING WINDOW DETAILS	9 FEB 2018
A4.1	OPENING DETAILS	9 FEB 2018
A4.2	CASEMENT DETAILS	9 FEB 2018

T1 T1.1 DEMOLITION	TITLE SHEET RESIDENCE PHOTOS	9 FEB 2018 9 FEB 2018
A1.0	DEMO PLAN	9 FEB 2018
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A2.1	NEW ELEVATIONS	9 FEB 2018
A4.0	EXISTING WINDOW DETAILS	9 FEB 2018
A4.1	OPENING DETAILS	9 FEB 2018
A4.2	CASEMENT DETAILS	9 FEB 2018
A4.3	SLIDING DOOR DETAILS	9 FEB 2018

DEKALB ZONING ORDINANCE / R-85 / PARCEL 10: 15 243 02 043

ordinance.

DRUID HILLS LOCAL HISTORIC DISTRICT / CERTIFICATE OF APPROPRIATENESS

The Barton Woods Road subdivision is within Druid Hills Character Area #1, but is considered an area of "non-historic intrusion" per page 104 of the Druid Hills Design Guidelines.

VICINITY LOCATION PLAN 894 Barton Woods Road NE, Atlanta, GA 30307

- Residential Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- Fire Code, 2012 Edition, with Georgia Amendments (2014) Plumbing Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- Mechanical Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014) (2015)
- trical Code, 2017 Edition (No Georgia Amendments)
- Energy Conservation Code, 2009 Edition, with Georgia Supplements and Amendments (2011) (2012) Swimming Pool and Spa Code, 2012 Edition, with Georgia Amendments (2014)

rior kitchen renovation within an existing Single-Family House - including the creation of new window ng wood-framed construction. See Site Location Plan for Limit of Work (LOW). window openings, and stud-packs to support the new headers, have been engineered and specified, and

uctural work on the project. The remaining work is interior finishes, cabinets/casework, electrical and the pliances and plumbing fixtures.

ect is conceived as three primary scopes of work:

Kitchen renovation including demo down to framing, new cabinets, new appliances (except dishwasher, to be ceiling, new lighting and new wall finishes, including a new built-in bench at the dining corner. s and sliding door at kitchen, dining and living room, involving framing revisions, exterior wall flashing and

- site-built insulating windows (to mimic existing historic detail).
- A new wall and floor mounted casework element for the living room.

894 Barton Woods Road is within the R-85 zoning district, however as an interior renovation no aspect of the project is affected by the

The house is located in unincorporated Dekalb County, Georgia, District 15, Land Lot 243, and IS within the Druid Hills Local Historic District. While the house is not historically listed, the proposed exterior alterations (new windows) do require a design review and Certificate of Appropriateness from the Historic Preservation Commission per page 7 of the Druid Hills Design Guidelines.

NOTE: DO NOT SCALE DRAWINGS FOR DIMENSIONS. ANY REQUIRED DIMENSIONS NOT PROVIDED SHALL BE REQUESTED FROM THE ARCHITECT. SEAL



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(404) 512-9		
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SOUTH ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307



NORTH ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307



WEST ELEVATION, FROM RIGHT OF WAY / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

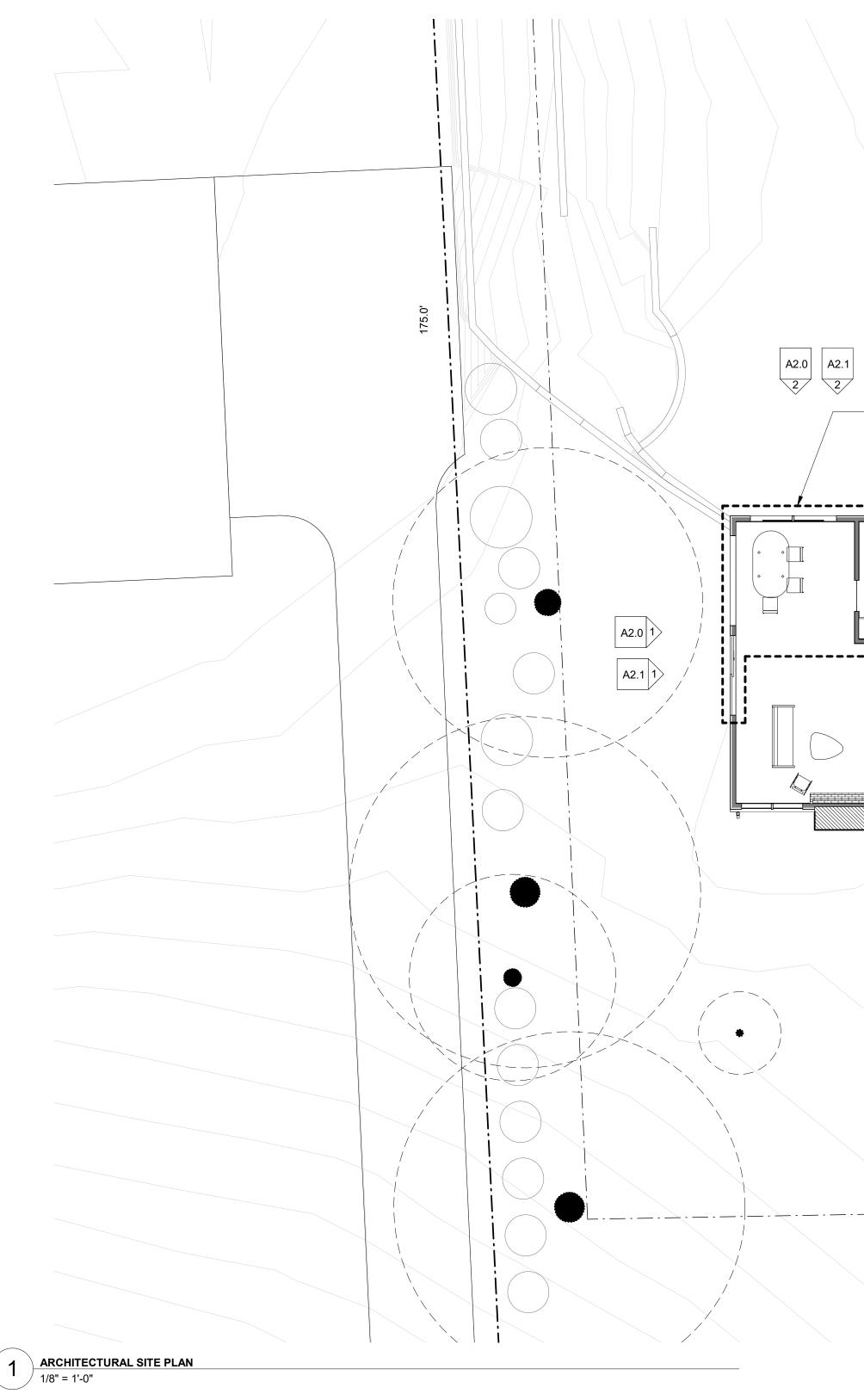


EAST ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

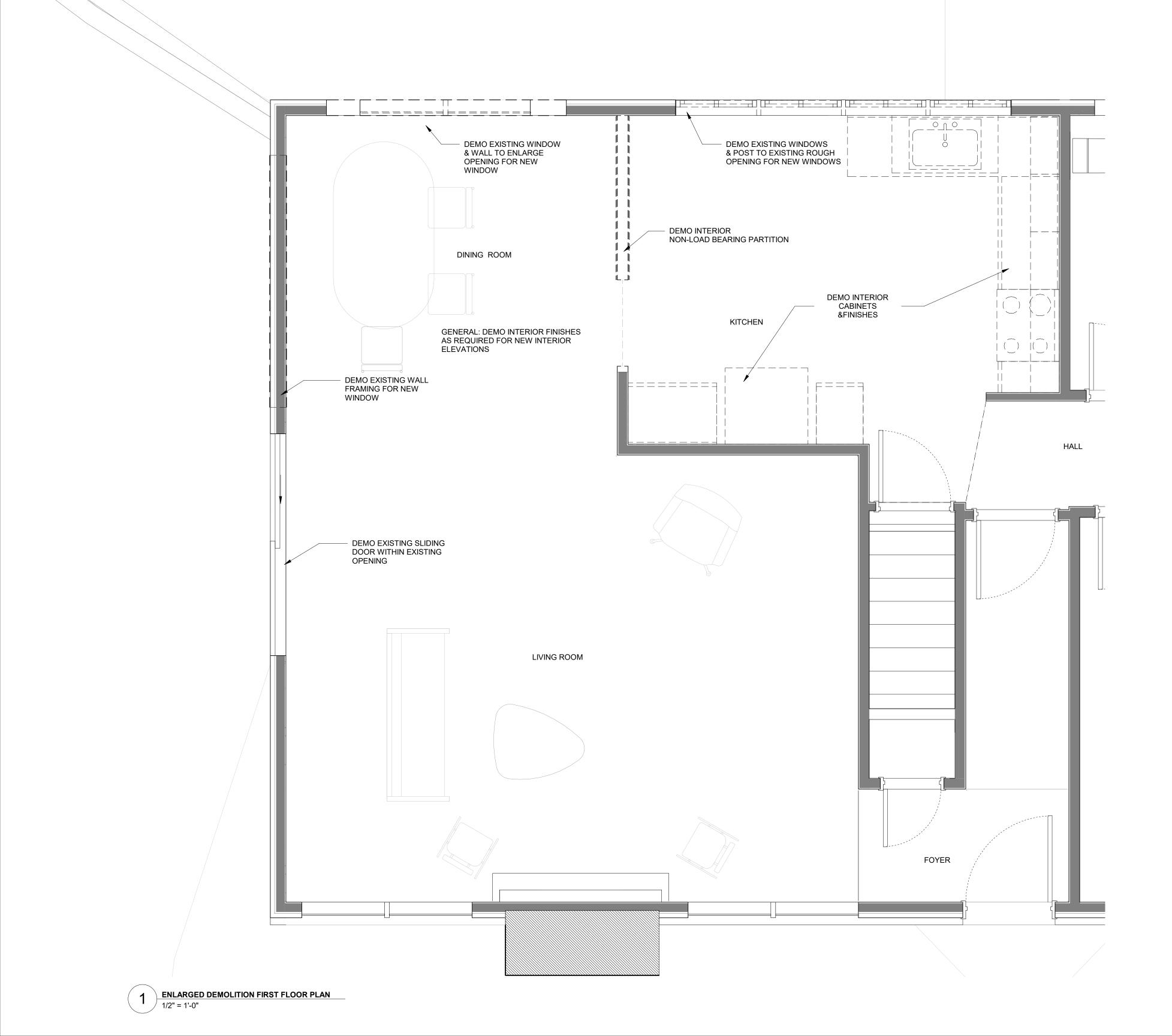


WEST ELEVATION / 894 BARTON WOODS ROAD NE ATLANTA, GA 30307

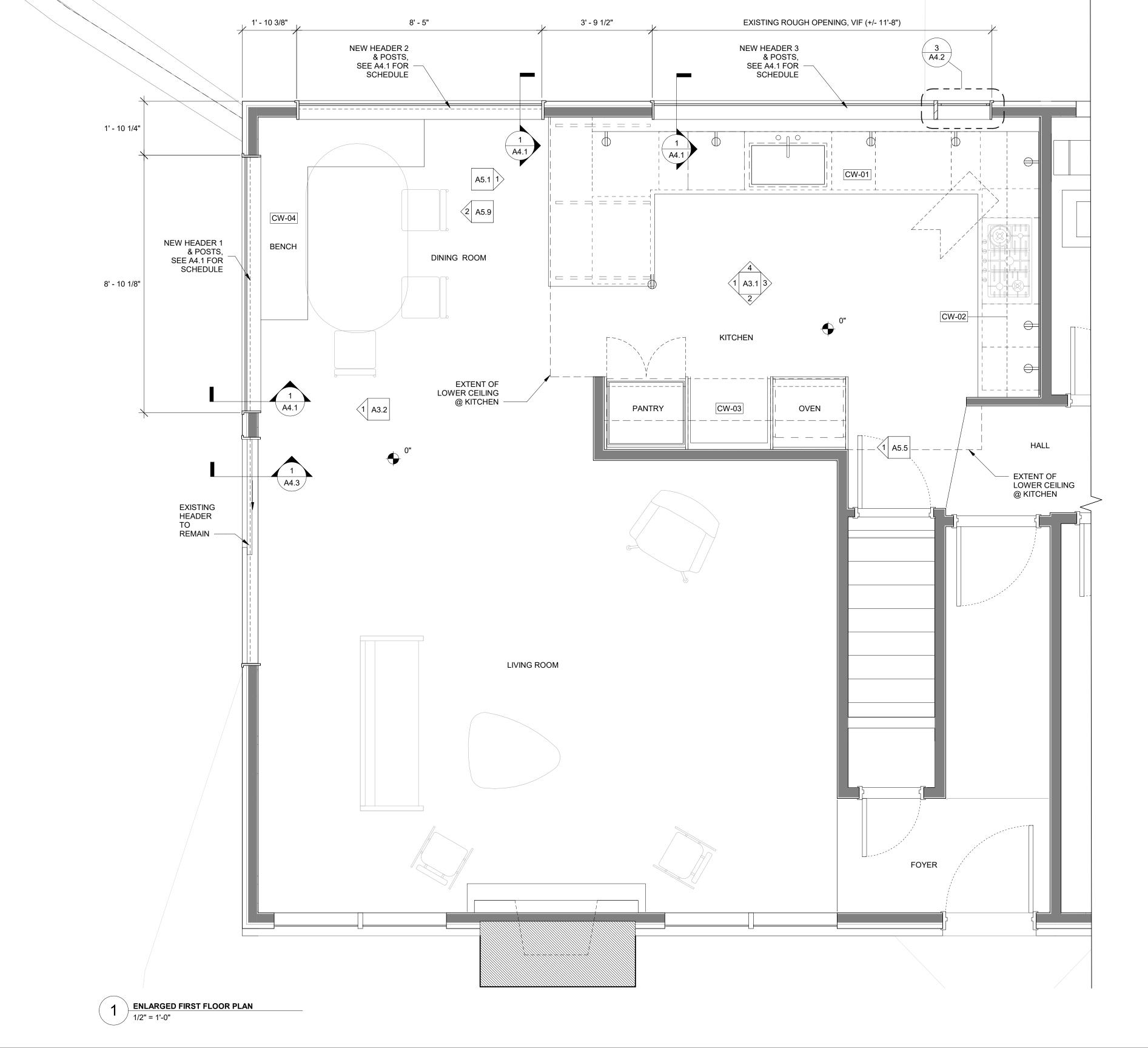
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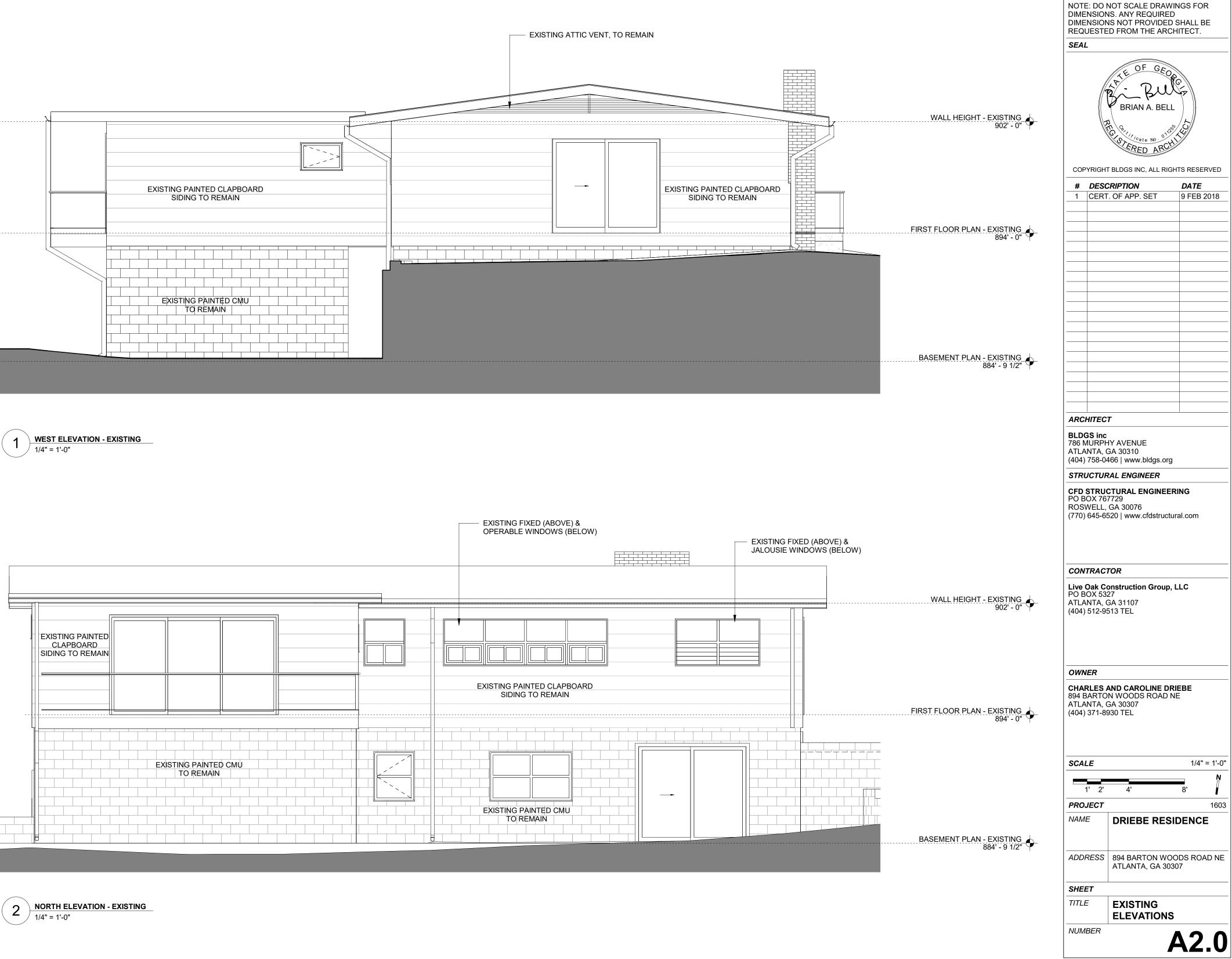


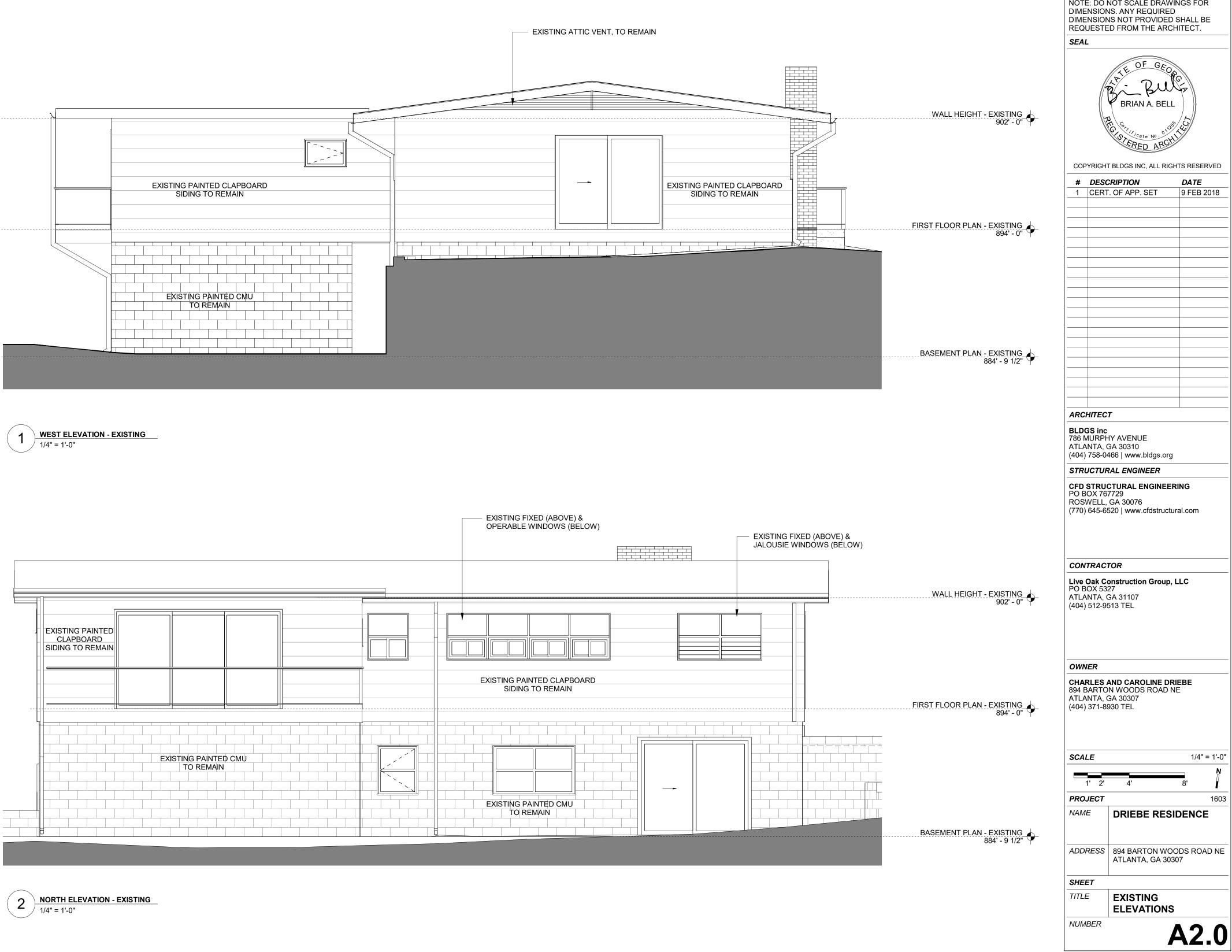
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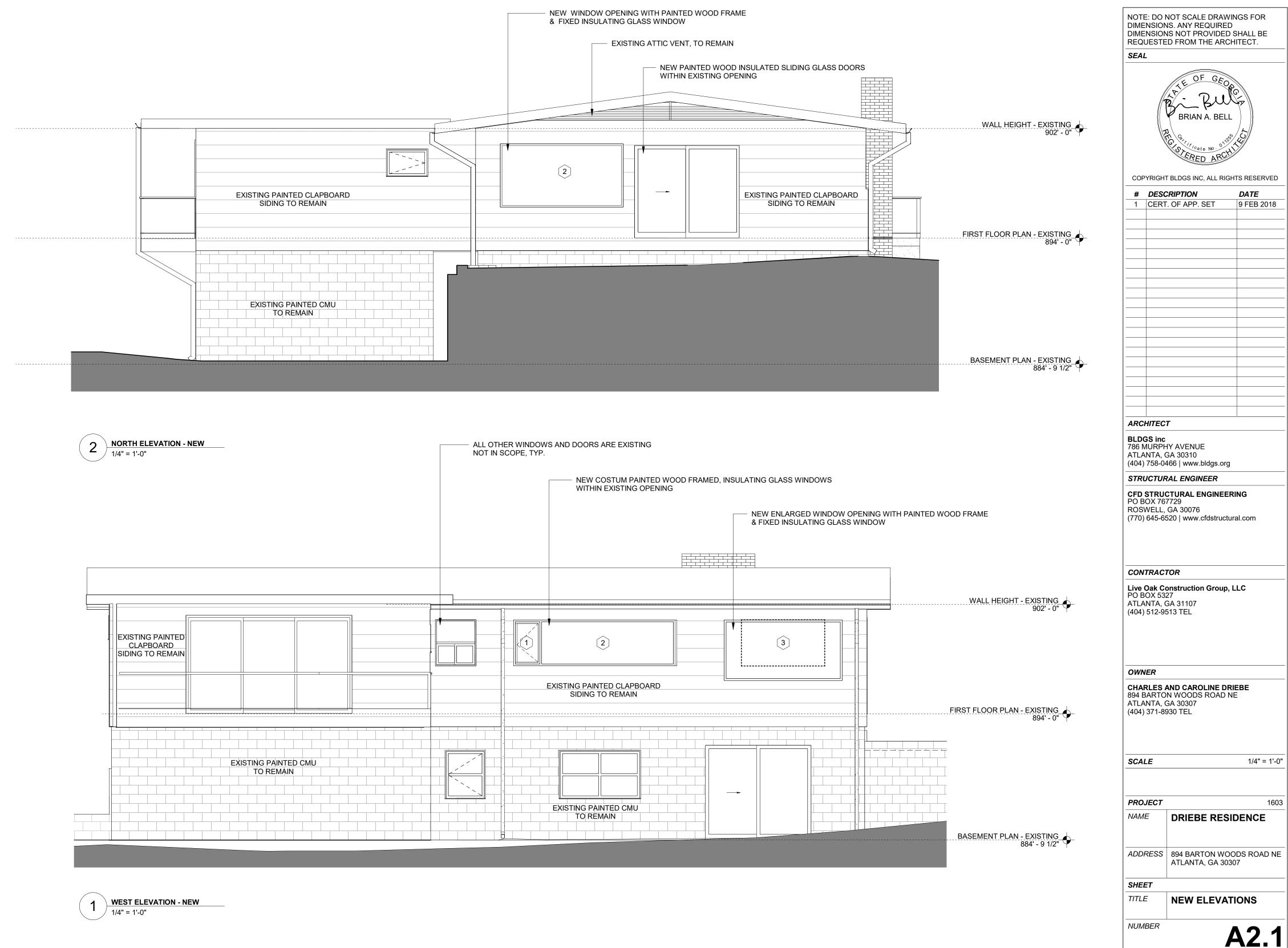


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SHEET	PO B(ROSV (770) CON Live (PO B(ATLA (404) OWN CHAF 894 B ATLA (404) SCAL 6 PRO .	DX 767 VELL, 645-65 TRAC1 Dak Cc DX 532 NTA, C 512-95 ER RLES A ARTO NTA, C 371-85 .E	7729 GA 30076 520 www.c FOR Distruction 27 5A 31107 513 TEL AND CARO N WOODS 5A 30307 930 TEL 2'	a Group, L	al.com
	PO B(ROSV (770) CON Live (PO B(ATLA (404) OWN CHAF 894 B ATLA (404) SCAL 6 PRO .	DX 767 VELL, 645-65 TRAC1 Dak Cc DX 532 NTA, C 512-95 ER RLES A ARTO NTA, C 371-85 .E	7729 GA 30076 520 www.c 70R 5A 31107 513 TEL AND CARO N WOODS 5A 30307 930 TEL 2' 2' BRIEB	a Group, L NOAD NE	al.com
TITLE FLOOR PLAN	PO B(ROSV (770) CON Live (PO B(ATLA (404) OWN CHAF 894 B ATLA (404) SCAL 6 PRO .	DX 767 VELL, 645-65 TRAC1 Dak Cc DX 532 NTA, C 512-95 ER RLES A ARTO NTA, C 371-85 .E	7729 GA 30076 520 www.c 70R 5A 31107 513 TEL AND CARO N WOODS 5A 30307 930 TEL 2' 2' BRIEB	a Group, L NOAD NE	al.com
	PO B(ROSV (770) CON Live (PO B(ATLA (404) OWN CHAF 894 B ATLA (404) SCAL 6 PRO . NAME ADDF	DX 767 DX 767 VELL, 645-65 TRAC1 Dak Cc DX 532 NTA, (0 512-95 ER RLES A ARTO NTA, (0 371-85 .E .E .E .E .E .E .E .E .E	7729 GA 30076 520 www.c 70R 5A 31107 513 TEL AND CARO N WOODS 5A 30307 930 TEL 2' 2' BRIEB	a Group, L NOAD NE	al.com
	PO B(ROSV (770) CON Live (PO B(ATLA (404) OWN CHAF 894 B ATLA (404) SCAL 6 PRO. NAME ADDF SHEE	DX 767 VELL, 645-65 TRAC1 Dak CC DX 532 NTA, C 512-95 ER RLES A ARTO NTA, C 371-85 .E	7729 GA 30076 520 www.c 70R 0nstruction 27 5A 31107 513 TEL AND CARO N WOODS 5A 30307 930 TEL 2' DRIEBI 894 BART ATLANTA	efdstructura	al.com

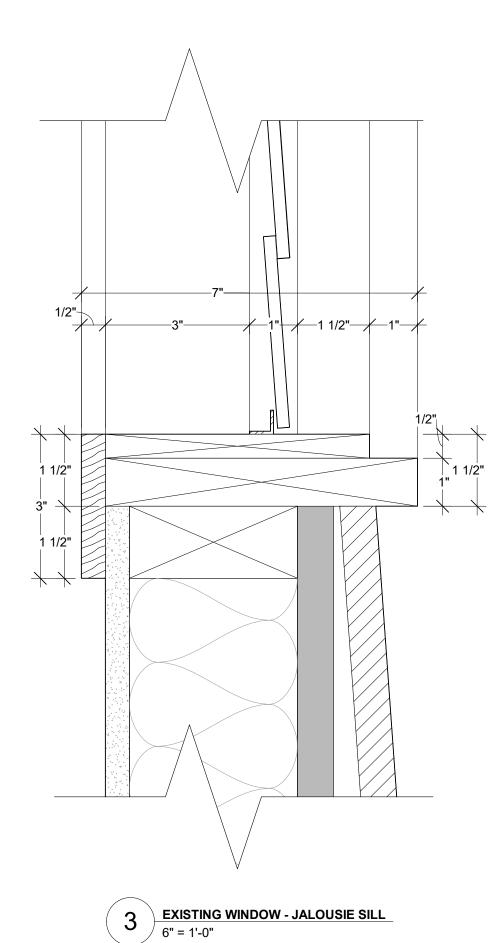


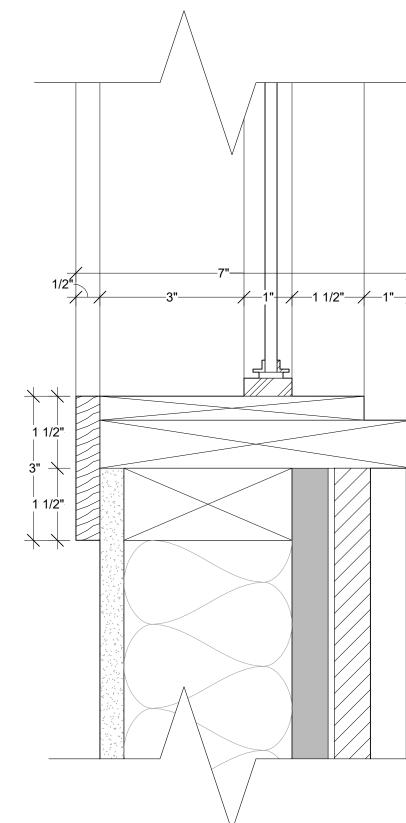












1/2"

1 1/2" 1"

+



2 EXISTING WINDOW - JALOUSIE JAMB 6" = 1'-0"

DIMENSIO DIMENSIO	NOTE: DO NOT SCALE DRAWINGS FOR DIMENSIONS. ANY REQUIRED DIMENSIONS NOT PROVIDED SHALL BE REQUESTED FROM THE ARCHITECT. SEAL					
	CRIPTION T. OF APP. SET	9 FEB 2018				
	<u>.</u>					
BLDGS inc 786 MURPI ATLANTA, (404) 758-0	: HY AVENUE					
CFD STRU PO BOX 76	CTURAL ENGINEER	ING				
ROSWELL	-	al.com				
CONTRAC	TOR					
Live Oak C PO BOX 53 ATLANTA, (404) 512-9	GA 31107	LC.				
OWNER						
CHARLES 894 BARTC ATLANTA, (404) 371-8	ON WOODS ROAD NI GA 30307					
SCALE		6" = 1'-0"				
6" 1'	2'	4'				
		1603				
NAME	DRIEBE RESII	DENCE				
ADDRESS	894 BARTON WOC ATLANTA, GA 3030					
SHEET TITLE						
	EXISTING WIN					
NUMBER	ŀ	\4.0				

