



## **DeKalb County Department of Planning & Sustainability**

**330 Ponce De Leon Avenue, Suite 300**

**Decatur, GA 30030**

**(404) 371-2155 / [plandev@dekalbcountyga.gov](mailto:plandev@dekalbcountyga.gov)**

**Planning Commission Hearing Date: September 6, 2018, 6:30 P.M.**

**Board of Commissioners Hearing Date: September 25, 2018, 6:30 P.M.**

### **STAFF ANALYSIS**

**Case No.:** 2018-2443/ Z-18-1235090 **Agenda #:** N.3

**Location/Address:** The east side of Briarcliff Road and the south side of Emory Road within the Druid Hills Historic District at 1325 Emory Road, Atlanta, Georgia. **Commission District: 2 Super District: 6**

**Parcel ID:** 18-054-12-001

**Request:** To rezone property from R-75 (Residential Medium Lot) District to R-60 (Residential Small Lot) District to create another lot to construct a second single-family detached residence on the site.

**Property Owners:** Dave Howe

**Applicant/Agent:** Dave Howe

**Acreage:** 0.44 Acres

**Existing Land Use:** Single-Family Residence

**Surrounding Properties:** Single-Family detached residences

**Adjacent & Surrounding Zoning:** North, South, East & West: R-75 (Residential Medium Lot) District

**Comprehensive Plan:** Traditional Neighborhood Consistent X

<b>Proposed Units:</b> 2 Single-Family Detached Residences	<b>Existing:</b> 1 Single Family Detached Residence
<b>Proposed Lot Coverage:</b> < 35% Per Lot	<b>Existing Lot Coverage:</b> N/A

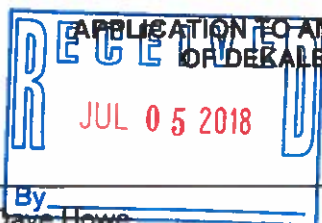
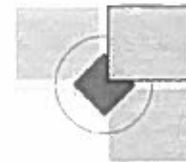
KFH



# DeKalb County Department of Planning & Sustainability

Michael L. Thurmond  
Chief Executive Officer

Andrew A. Baker, AICP  
Director



## APPLICATION TO AMEND OFFICIAL ZONING MAP OF DEKALB COUNTY, GEORGIA

Z/CZ No. 2-18-1235090  
Filing Fee: \_\_\_\_\_

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_  
By: Dave Howe  
Applicant: Dave Howe E-Mail: davelh206@gmail.com

Applicant Mailing Address: 1325 Emory Road NE Atlanta, GA 30306

Applicant Phone: 678-276-5999 Fax: \_\_\_\_\_

Owner(s): Dave Howe E-Mail: davelh206@gmail.com  
(If more than one owner, attach as Exhibit "A")

Owner's Mailing Address: 1325 Emory Road NE Atlanta, GA 30306

Owner(s) Phone: 404-391-4319 Fax: \_\_\_\_\_

Address/Location of Subject Property: 1325 Emory Road NE Atlanta, GA 30306

District(s): 18 Land Lot(s): 54 Block: 33-12 Parcel(s): 18-054-12-001

Acreage: 0.448 Commission District(s): 2

Present Zoning Category: R75 Proposed Zoning Category: R60

Present Land Use Category: TN

### PLEASE READ THE FOLLOWING BEFORE SIGNING

This form must be completed in its entirety before the Planning Department accepts it. It must include the attachments and filing fees identified on the attachments. An application, which lacks any of the required attachments, shall be determined as incomplete and shall not be accepted.

### Disclosure of Campaign Contributions

In accordance with the Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A, the following questions must be answered:

Have you the applicant made \$250 or more in campaign contributions to a local government official within two years immediately preceding the filing of this application? Yes X No

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

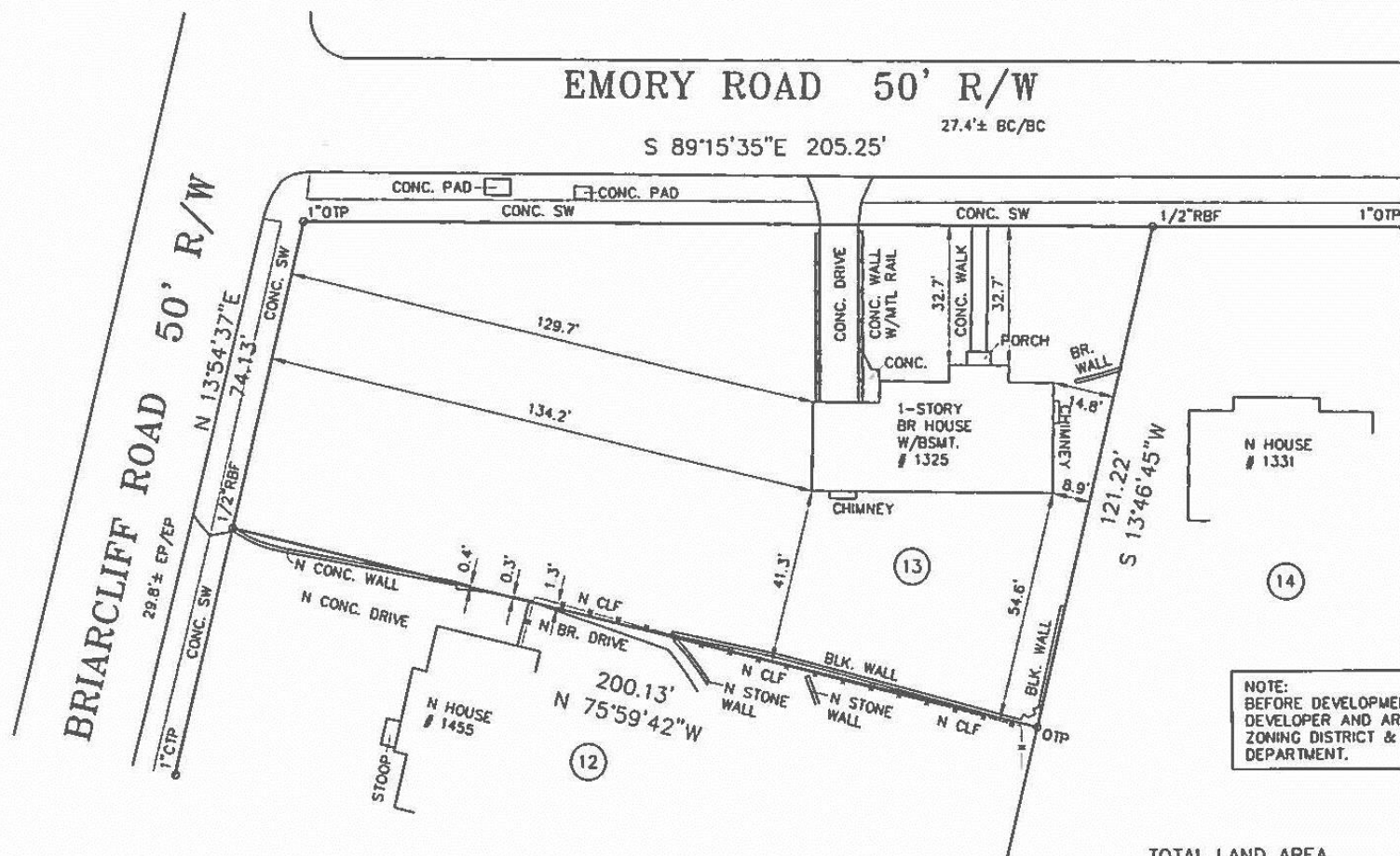
The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and the Board of Commissioners, DeKalb County, 1500 Commerce Drive, Decatur, Ga. 30030.

[Signature]  
NOTARY  
06/12/2021  
EXPIRATION DATE  
Symone Davis  
NOTARY PUBLIC  
DeKalb County, GEORGIA  
Comm. Expires 06/12/2021

[Signature] 7-5-2018  
SIGNATURE OF APPLICANT / DATE  
Check One: Owner X Agent \_\_\_\_\_

330 West Ponce de Leon Avenue - Suites 100-500 - Decatur, Georgia - 30030  
[voice] 404.371.2155 - [Planning Fax] (404) 371-4556 [Development Fax] (404) 371-3007  
Web Address <http://www.dekalbcountyga.gov/planning>  
Email Address: [planninganddevelopment@dekalbcountyga.gov](mailto:planninganddevelopment@dekalbcountyga.gov)





## \* LEGEND \*

APD	AS PER DEED	IR	IRON ROD FOUND
AE	ACCESS EASEMENT	IV	IRRIGATION VALVE
APF	AS PER FIELD	JB	JUNCTION BOX
A	ANGLE IRON FOUND	LL	LAND LOT LINE
APP	AS PER PLAT	LLM	MAGNETIC READING MP
APR	AS PER RECORD	MGN	MAGNOLIA TREE
BC	BACK OF CURB	WH	WATER HOLE
BLK	BLOCK	MTF	METAL FENCE
BLS	BUILDING LINE SETBACK	N	NAIL
BRK	BRICK	OH	OVERHANG
BSMT	BASEMENT	OTP	OPEN TOP PIPE FOUND
CBX	CABLE BOX	OU	OWNERSHIP UNCLEAR
C	CONCRETE	P	PORCH
CB	CATCH BASIN	PC	PROPERTY CORNER
CL	CENTER LINE	PL	PROPERTY LINE
CLF	CHAIN LINK FENCE	PWT	PINE TREE
CMP	CORRUGATED METAL PIPE	PCH	POINT OF BEGINNING
C.O.A.	CITY OF ATLANTA	PP	POWER POLE
CO	SAN SEWER CLEANOUT	PW	POWER LINE
CRWL	CRAWL SPACE	P	PORCH
CP	CALCULATED POINT	(P)	PLAT
CPT	CARPENTRY	R	RECORD
CTP	CRIMP TOP PIPE FOUND	RBF	REINFORCING BAR FOUND
DE	DEED	RBS	REINFORCING BAR SET
DI	DRAINAGE INLET	RCP	REINFORCED CONC. PIPE
EB	ELECTRIC POWER BOX	R/W	RIGHT-OF-WAY
EM	ELECTRIC METER	SH	SIGN
EP	EDGE OF PAVEMENT	SSE	SANITARY SEWER LINE
F	FIELD	SP	SCREENED PORCH
FP	FENCE POST	SW	SIDEWALK
FC	FENCE CORNER	TB	TOP OF BANK
FR	FIRE HYDRANT	UE	UTILITY EASEMENT
FR	FRAME	UD	WOOD
GL	GAS LINE	WOF	WOOD FENCE
GM	GAS METER	WOK	WOOD DECK
GV	GAS VALVE	WL	WATER LINE
GW	GUY WIRE	WM	WATER METER
HW	HARDWOOD TREE	WFF	WIRE FENCE
IPF	IRON PIN FOUND	WV	WATER VALVE
IPS	IRON PIN SET	WW	WET WEATHER
		W/	WITH
		Y	YARD INLET

PROPERTY IS ZONED R-75  
BUILDING SETBACK LINE:  
FRONT AVERAGE 50.3' & 32.7'  
SIDE 7.5'  
REAR 40'  
MAX. BUILDING HEIGHT 35'  
MAX. LOT COVERAGE 35%  
MIN. FRONTAGE 75'  
MIN. LOT AREA 100000 SF

TOTAL LAND AREA  
19537.55 SF / 0.448 AC

0 30  
SCALE 1" = 30'

## SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

LOT 13	BLOCK 33
SUBDIVISION DRUID HILLS	UNIT
LAND LOT 54	18TH DISTRICT
DEKALB COUNTY, GEORGIA	PB.7/PG.77 DB.13512/PG.606
FIELD WORK DATE JULY 06, 2018	PRINTED/SIGNED JULY 11, 2018
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 11" x 17"

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

AM  
COORD #20161498  
OWC #20161498

**SURVEY LAND EXPRESS, INC**  
LAND SURVEYING SERVICES

PROPERTY ADDRESS:  
1325 EMORY ROAD, NE  
ATLANTA, GA 30306

24 LENOX POINTE  
ATLANTA, GA 30324  
FAX 404-601-0941  
TEL 404-252-3747

#FDS@SURVEYLANDEXPRESS.COM

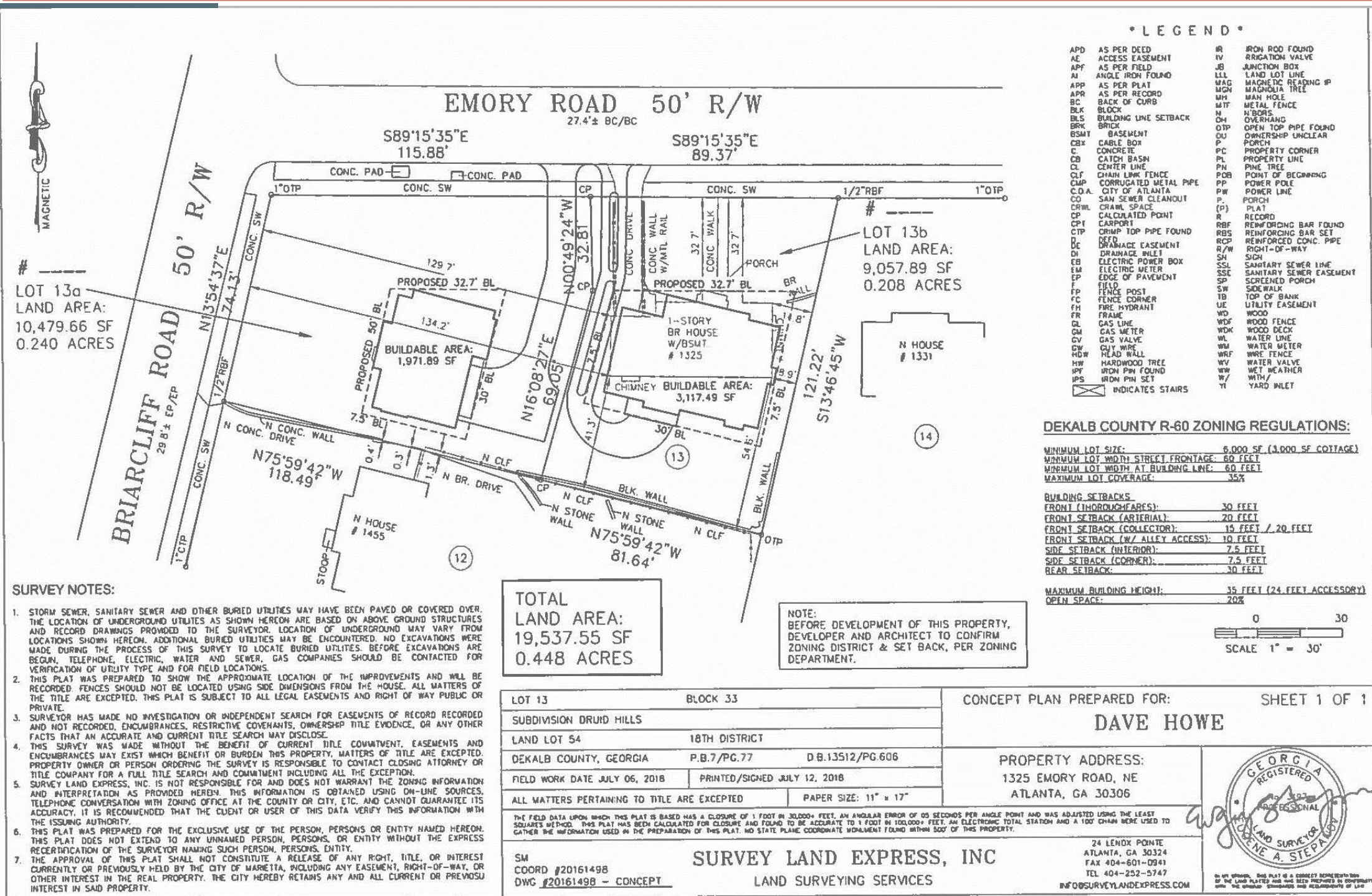
BOUNDARY SURVEY PREPARED FOR:  
**DAVE HOWE**

SHEET 1 OF 1

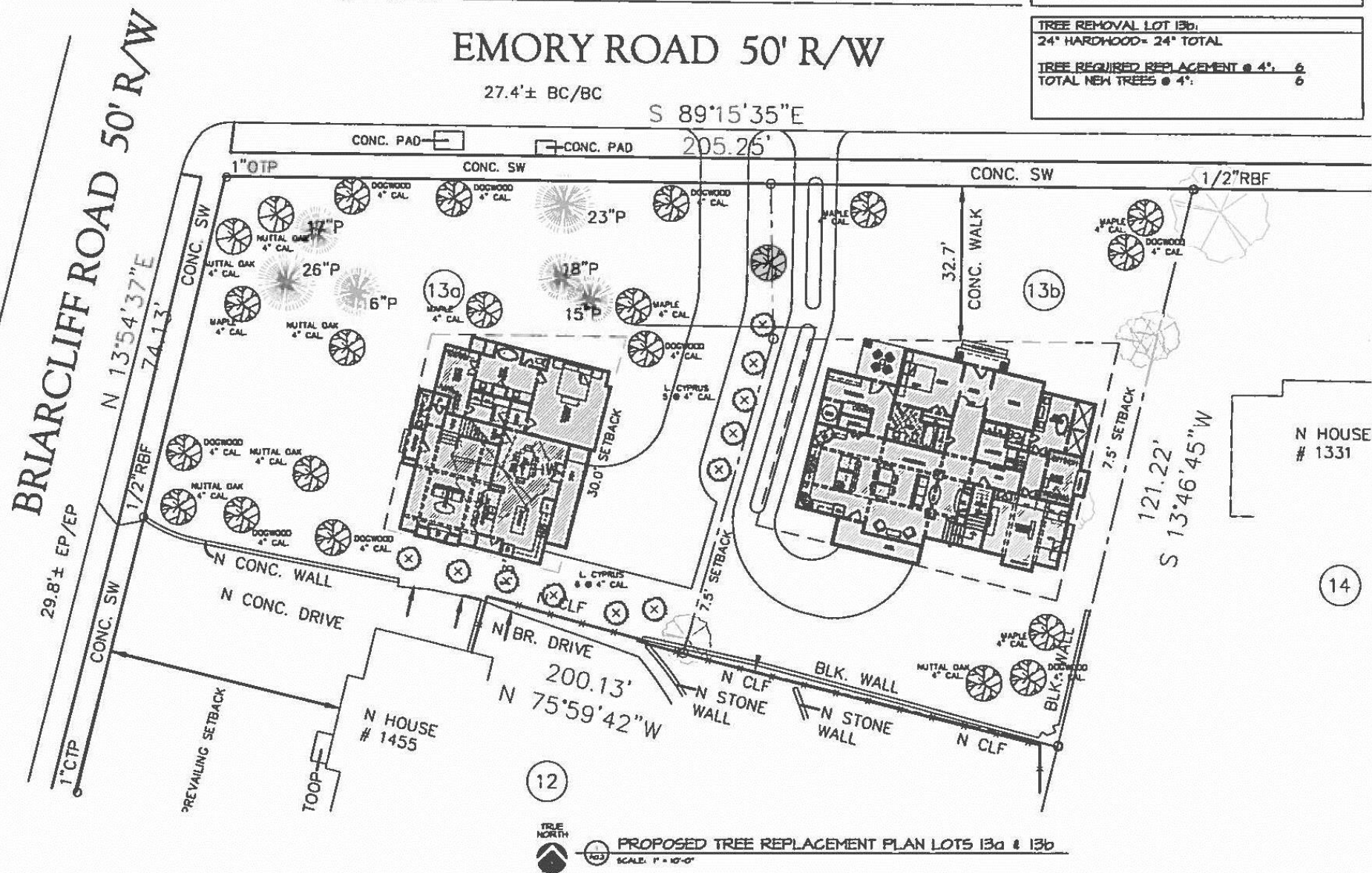


IN WY STATE, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED AND HAS BEEN PREPARED IN ACCORDANCE WITH THE MEASURING STANDARDS AND REGULATIONS OF THE STATE OF GEORGIA.









PROJECT NUMBER	1402
DATE	JUNE 18, 2018
DRAWN BY	
APPROVED BY	MM
REVISIONS	

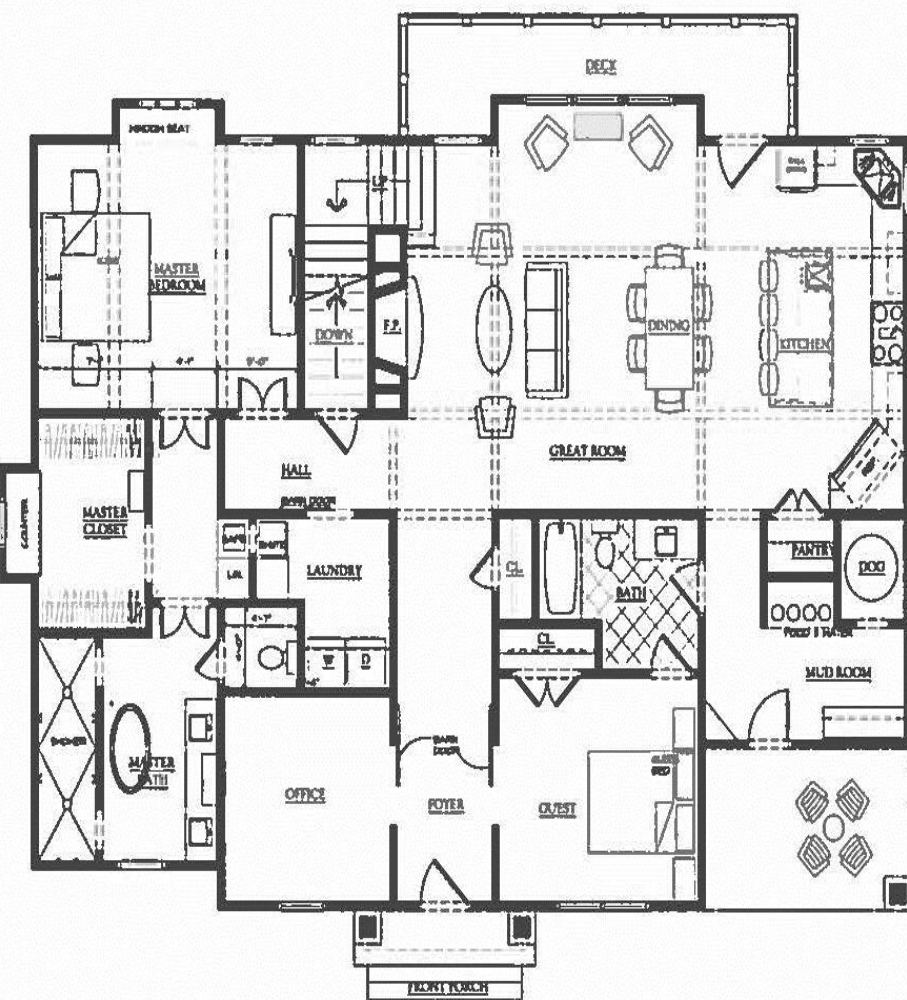
**CONCEPTUAL SITE PLAN**  
**Request for Variance Lot 13**  
**1325 Emory Road NE**  
**Decatur, Georgia**

IS NOT TO BE COPIED  
OR REPRODUCED IN  
WHOLE OR IN PART. IT  
IS ONLY TO BE USED  
FOR THE PROJECT  
SPECIFICALLY IDENTIFIED  
HEREIN.

SECRET NUMBER

### AO.3





13b CONCEPTUAL FLOOR PLAN: MAIN LEVEL

SCALE: 1/4" = 1'-0"



13b CONCEPTUAL FRONT ELEVATION

SCALE: 1/4" = 1'-0"

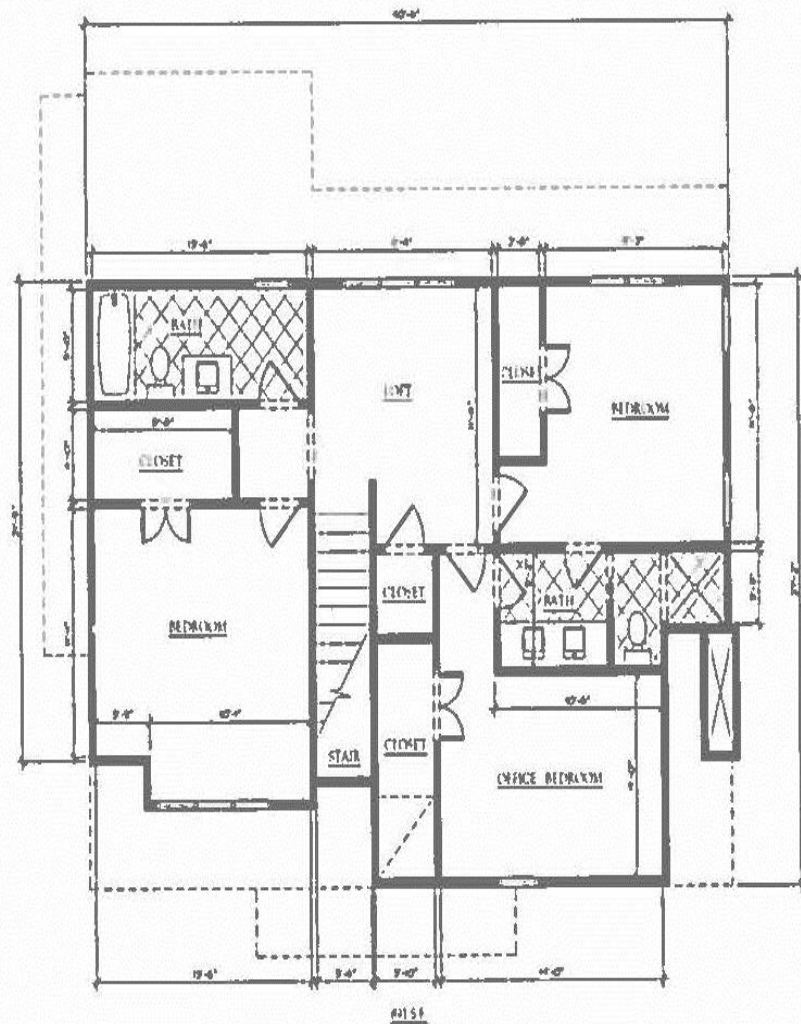
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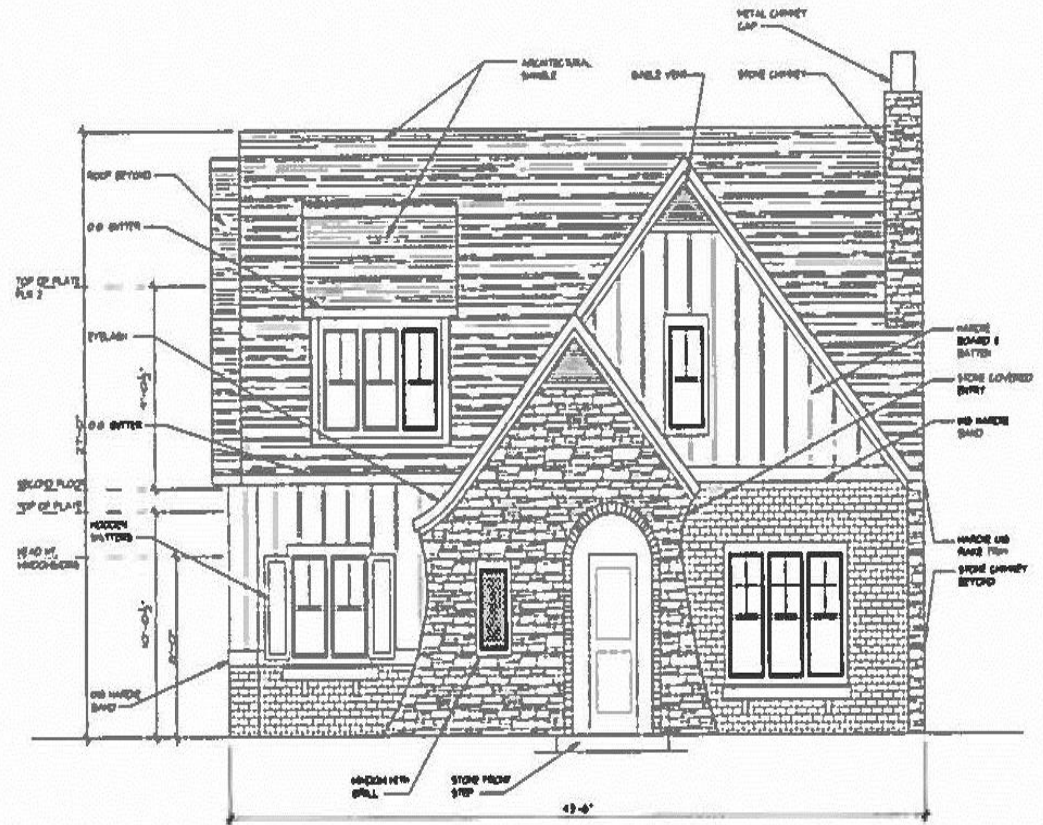
SHEET NUMBER

A13





13a FLOOR PLAN: UPPER LEVEL  
SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"

CONCEPTUAL FLOOR PLAN  
Request for Variance Lot 13  
1325 Emory Road NE  
Decatur, Georgia

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HEREIN.

SHEET NUMBER

A1.2











N.3

Z-18-1235090

Aerial



EMORY ROAD

Site

BRIARCLIFF ROAD

300 ft

POWERED BY

esri