DeKalb County
GEORGIA

404.371.2155 (o)
404.371.4556 (f)
DeKalbCountyGa.gov

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

DEPARTMENT OF PLANNING & SUSTAINABILITY

SPECIAL LAND USE PERMIT APPLICATION

Amendments will not be accepted after 5 working days after the filing date.

Date Received: _____ Application No.: _____

APPLICANT NAME: Walter A Collins [Project Engineer]

Daytime Phone #: 706 444 7551 (O) 404 502 1233 (C) Fax #: 706 444 7768

Mailing Address: 5094 Island Creek Church Road, Sparta, Georgia 31087

E-mail: collinsw@bellsouth.net

OWNER NAME: Medhanealem Eritrean Orthodox Church [Solomon Asmerson - Chairman, Building Committee]
(If more than one owner, attach contact information for each owner)

Daytime Phone #: [770] 375 9753 Fax #: [770] 925 0351

Mailing Address: 1115 Morgan Garner Drive, Liburn, Georgia 30047

E-mail: solasmerom@gmail.com

SUBJECT PROPERTY ADDRESS OR LOCATION: 1904 South Stone Mountain-Lithonia Road

Lithonia, DeKalb County, GA, 30058

District(s): 16th Land Lot(s): 93 Block(s): 05 Parcel(s): 004

Acreage or Square Feet: 2.55 Acres Commission District(s): 5 Existing Zoning: R-100

Proposed Special Land Use (SLUP): Same as existing [Church]. Proposal is to erect an additional building

I hereby authorize the staff of the Planning and Development Department to inspect the property that is the subject of this application.

Owner: _____ Agent: X **Signature of Applicant:** Walter A Collins
(Check One)

Printed Name of Applicant: Walter A Collins

Notary Signature and Seal:

Aja' N. Wilson

AJA' N. WILSON NOTARY PUBLIC HANCOCK COUNTY, GA Comm. Exp. 10-13-19

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Decatur, GA 30030

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

PRE-APPLICATION FORM
REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE

(Pre-application conference is required prior to filing application: copy must be submitted at filing)

Applicant Name: Medhanealem Eritrean Orthodox Church Walter Collin Phone: 706/444-2551 Email: collinsw@bellsouth.net

Property Address: 1904 S. Stone Mtn Lithonia Rd

Tax Parcel ID: 16-093-05-004 Comm. District: 5 & 7 Acreage: 2.55

Existing Use: church Proposed Use gym

Rezoning: Yes _____ No ✓

Existing Zoning: R-100 Proposed Zoning: _____ Square Footage/Number of Units: _____

Rezoning Request: _____

_____

_____

Land Use Plan Amendment: Yes____ No ____

Existing Land Use: NC Proposed Land Use: _____ Consistent ___ Inconsistent___

Special Land Use Permit: Yes ✓ No ____ Article Number(s) 27

Special Land Use Request(s) _____

Next to Redan Elem. 20' side yard, existing church

Major Modification:

Existing Case Number(s): _____

Condition(s) to be modified and request:

Checklist Item Number 2

PRE-SUBMITTAL COMMUNITY MEETING

PRE-SUBMITTAL COMMUNITY MEETING

On 11 June 2018, I mailed flyers to surrounding neighborhood residents and Homeowners Associations [See Attachment 2A - Flyers] See Attachment 2B for the names and addresses of residents and Homeowners Associations I mailed Flyer to.

The Community Meeting was held on June 27, 2018 at the Medhanealem Eritean Orthodox Church. No one except myself and Church Officials attended the meeting. [See Attachment 2C - Sign - In Sheet]. We received no reply from the Homeowners Association we sent the Flyer to.

Notice Date: **11 June 2018**

PUBLIC NOTICE

To

Request for a Special Land Use Permit

Filed by: Medhanealem Eritrean Orthodox Church
Located at: 1904 South Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Current Use: Church

Proposed Use of Addition: Recreational Gymnasium [Basketball]

Hours of Operations:

Current: Saturday: 5:00PM - 6:00PM →Evening Prayer
6:00PM - 8:00PM → Bible Study
Sunday: 9:00AM →Morning Prayer
10:00AM → Divine Liturgy

Proposed: [Gymnasium → After School - Schedule is presently undefined]

Capacity: No Change

PRE-SUBMITTAL COMMUNITY MEETING TO TAKE PLACE AT:
Medhanealem Eritrean Orthodox Church

LOCATION:
1904 South Stone Mountain Lithonia Road
Lithonia, Georgia 30058

DATE & TIME: June 27th, 2018 at 6:00PM

Attachment 2A

ADDRESSES FOR THE CHURCH MEETING

Redan Elementary School
1914 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Parex, Inc.
1870 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Redan United Methodist Church
1845 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Redan Methodist Church
1847 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Prosperity Leasing Management
1869 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

June M Sutton
1893 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Stephan B Isom
591 Rice Road
Lithonia, Georgia 30058

William C. Moore
1601 Rice Road
Lithonia, Georgia 30058

Miller Holding and Investment
1641 Rice Road
Lithonia, Georgia 30058

Fairfield Baptist Church
1610 Rice Road
Lithonia, Georgia 30058

Summit Crossing at Redan, LLC
1879 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Attachment 2B

Stone Mountain Lithonia Land Trust
1903 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Van Jennings
1609 Rice Road
Lithonia, Georgia 30058

Summit Crossing at Redan, LLC
1893 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

Miller Holding and Investment
1614 Rice Road
Lithonia, Georgia 30058

Fairfield Baptist Church
1610 Rice Road
Lithonia, Georgia 30058

Walter H Sheppard
1604 Phillip Road
Lithonia, Georgia 30058

Althea McDonald
193 S. Stone Mountain Lithonia Road
Lithonia, Georgia 30058

TDR Investor, LLC
6200 Holt Road
Lithonia, Georgia 30058

Sylvia Najera
6229 Dogwood Trail
Lithonia, Georgia 30058

Jasmel & Karen Ryans
6235 Dogwood Trail
Lithonia, Georgia 30058

Sheldon Holkaday
6242 Dogwood Trail
Lithonia, Georgia 30058

Jacqueline Bach
6236 Dogwood Trail
Lithonia, Georgia 30058

Attachment 2B

Anthony Dotson
6230 Dogwood Trail
Lithonia, Georgia 30058

Lloyd A Hamilton
6162 Holt Road
Lithonia, Georgia 30058

Mary Pate Lanier
6154 Holt Road
Lithonia, Georgia 30058

Marlon Archer
6154 Holt Road
Lithonia, Georgia 30058

Mary Pate Lanier
6144 Holt Road
Lithonia, Georgia 30058

Harbour Portfolio VII, LP
6134 Holt Road
Lithonia, Georgia 30058

Betty & Allen Jackson
6462 Shadow Rock Drive
Lithonia, Georgia 30058

HOMEOWNERS ASSOCIATIONS

Shadow Rock Lake, HOA
971 Shadow Lake Drive
Lithonia, Georgia 30058

Cove Lake Homeowners Association
2399 Lake Cove Courts
Lithonia, Georgia 30038

MEETING SIGN-IN SHEET

Project: Erect a Recreational Gymnasium	**Meeting Date: June 27, 2018**
Facilitators: Solomon Asmerson [Church Representative] & Walter Collins [Project Engineer]	**Location: 1904 S. Stone Mountain Lithonia Road, Lithonia, GA**

#	Name	Address	Phone No.	E-Mail Address
1	Abraham Asefaw	3249 S. Pointe Ct. Atlanta, GA 30340	404.434.4204	abe@atlrun.com
2	Fr. G. Michael Yohannes	4013 scenic mountain dr. snellville, GA. 30039.	678.464.1068	frgyohannes@yahoo.com.
3	SOLOMON ASMEROM	1115 MORGAN GARNER DR LILBURN, GA 30047	770-310-5078	SOLASMEROM@GMAIL.COM
4	ISAYAS ASIER	1870 Lisa Springs Dr Snellvill GA 30078	(404)569-5512	
5	Walter Collins	5094 Island Creek Church Rd., Sperte, GA	(706)4447551	Collinsw@bellsouth.net
6				
7				
8				
9				
10				
11				
12				

Checklist Item Number 3C1

LETTER OF APPLICATION

This **Letter of Application** is for permitting the erection of a Recreational Gymnasium as part of an existing Religious compound that houses the **Medhanealem Eritrean Orthodox Church**. The following is a list of changes that will be caused by this Project:

1. Proposed Zoning Classification: The present zoning classification of this property is **C-1** and the zoning classification will NOT change and will remain **C-1.**

2. Reason for Rezoning or Special Use: The zoning classification will not change. This is a **Special Land Use Permit** request because the physical plant is being increased [adding Recreational Gymnasium] which requires an evaluation and analysis to ensure that, with the erection of the Gym, all Federal, State, and County [DeKalb County] codes, ordinances, and regulations are complied with.

3. Existing and Proposed Use of the Property: The primary use of the property will not change, The added facility will improve the physical, mental and spiritual well being of the congregation.

4. Detailed Characteristics of the Proposed Use: The new Recreational Gymnasium will be 75 feet wide and 120 long [9,000 square feet] with a 8-foot wide by 20-foot long corridor connecting the Gymnasium to an existing building. The roof eve height is 20 feet and the ridge height is 26 feet; 3 inches. The Recreational Gymnasium is considered to be one unit with no mixed unit types. the new Recreational Gymnasium will have no employees. The hours of operation is presently undetermined but generally after school and weekends.

5. Statement of Conditions: There has been no input from the neighborhood or community. No one from these entities came to the Community Meeting after being invited.

Generally speaking, the erection of this Recreational Gymnasium will have a positive impact on the neighborhood and community.

Checklist Item Number 3C2

IMPACT ANALYSIS

Letter	Answer	Checklist Item
A	**Yes**	Adequacy of the size of the site for use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking and all other applicable requirements of the zoning district in which the use is proposed to be located.
B	**Yes**	Compatible of the proposed use with adjacent properties and land use and other properties and land uses in the district.
C	**Yes**	Adequacy of public services, public facilities and utilities to serve the use contemplated.
D	**Yes**	Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.
E	**No**	Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.
F	**Yes**	Ingress and egress to the subject property and to all proposed buildings, structures and uses thereon with particular references to pedestrian and automotive safety and convenience, traffic flow and control and access in the event of fire or other emergency.
G	**No**	Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor dust or vibration generated by the proposed use.
H	**No**	Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.
I	**No**	Whether or not the proposed use will create adverse impact upon any adjoining land use by reason of the manner of operation of the proposed use.
J	**Yes**	Whether or not the proposed plan is consistent with all of the requirements of the zoning district classification in which the use is proposed to be located.
K	**Yes**	Whether or not the proposed use is consistent with the policies of the comprehensive Plan.
L	**Yes**	Whether or not the proposed plan provides for all required buffer zones and transitional buffer zones where required by the regulation of the district in which the use is proposed to be located.
M	**Yes**	Whether or not there is adequate provision of refuse and service areas.
N	**No**	Whether the length of time for which the special land use permit is granted should be limited in duration.
O	**Yes**	Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of the adjacent and nearby lots and buildings.
P	**No**	Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.

Letter	Answer	Checklist Item
Q	**Yes**	Whether the proposed use satisfies the requirements contained within the Supplemental Regulations for such special land use permit.
R	**No**	Whether or not the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.
S	**Yes**	Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole be compatible with the neighborhood and would not be in conflict with the overall objectives of the comprehensive plan.

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Decatur, GA 30030

DEPARTMENT OF PLANNING & SUSTAINABILITY

SPECIAL LAND USE PERMIT APPLICATION AUTHORIZATION

The property owner should complete this form or a similar, signed and notarized form if the individual who will file the application with the County is not the property owner.

Date: 2 July 2018

TO WHOM IT MAY CONCERN:

(I) (WE), Medhanealem Eritean Orthodox Church
Name of Owner(s)

being (owner) (owners) of the subject property described below or attached hereby delegate authority to
Walter A Collins
Name of Applicant or Agent

to file an application on (my) (our) behalf.

Wasif Sardar 7/2/18
Notary Public

Solomon Asmerson
Owner - Solomon Asmerson
[Chairman, Building Committee]

WASIF SARDAR
NOTARY PUBLIC
GWINNETT COUNTY, GEORGIA
MY COMMISSION EXPIRES MARCH 16, 2020

Notary Public

Owner

Notary Public

Owner

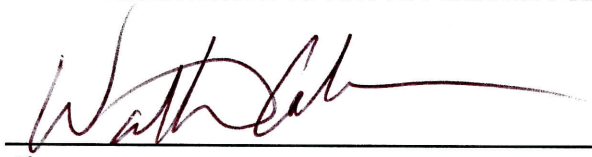
Notary Public

Owner

Checklist Item Number 3E

CAMPAIGN DISCLOSURE STATEMENT

NO CONTRIBUTIONS [MONETARY or SERVICES] HAS BEEN MADE BY ME, A FAMILY MEMBER OR MY REPRESENTATIVE TO ANY APPLICABLE PUBLIC OFFICIAL RELATED TO THIS PROJECT.



Signature

3 July 2018

Date

Agent for Medhanealem Eritrean Orthodox Church

Title

NOMENCLATURE LEGEND

EXIST.	= EXISTING	FC	= FACE OF CURB
LL	= LAND LOT	BC	= BACK OF CURB
PERM.	= PERMANENT	H/C	= HANDICAP
ESMT.	= EASEMENT	F.F.E.	= FINISHED FLOOR ELEVATION
DB / PG	= DEED BOOK & PAGE	SSE	= SANITARY SEWER EASEMENT
P.O.B.	= POINT OF BEGINNING	HORIZ.	= HORIZONTAL
R/W	= RIGHT-OF-WAY	VERT.	= VERTICAL
P/L	= PROPERTY LINE	INV.	= INVERT
IPS	= IRON PIN SET	Rt	= RETRO FIT
IPF	= IRON PIN FOUND	Lv	= LEVEL SPREADER
RB	= REBAR	D.I.P.	= DUCTILE IRON PIPE
LF	= LINEAR FEET	FH	= FIRE HYDRANT
BSL	= BLDG. SETBACK LINE	V.C.P.	= VITRIFIED CLAY PIPE
HDWL	= CONCRETE HEADWALL	A.C.C.M.P.	= ALUMINIZED COATED CORRUGATED METAL PIPE
AGI	= AREA GRATE INLET		
JB	= JUNCTION BOX	R.C.P.	= REINFORCED CONCRETE PIPE
PWI	= PEDESTAL WEIR INLET	P.V.C.	= POLYVINYL CHLORIDE PIPE
		P.P.	= POWER POLE
SWCB	= SINGLE WING CATCH BASIN	x821.50	= SPOT ELEVATION
HCGI	= HOODED CURB GRATE INLET		= SURFACE DRAINAGE DIRECTION

PROPOSED NEW ASPHALT CONC. ACCESS DRIVES (SEE DETAILS ON SHEET 8.0)

PROPOSED NEW CONCRETE SIDEWALKS, PADS, DRIVEWAY, (SEE DETAILS ON SHEET 8.0)

PROPOSED NEW CRUSHED ROCK BASE MATERIAL SURFACING (SEE DETAIL ON SHEET 8.0)

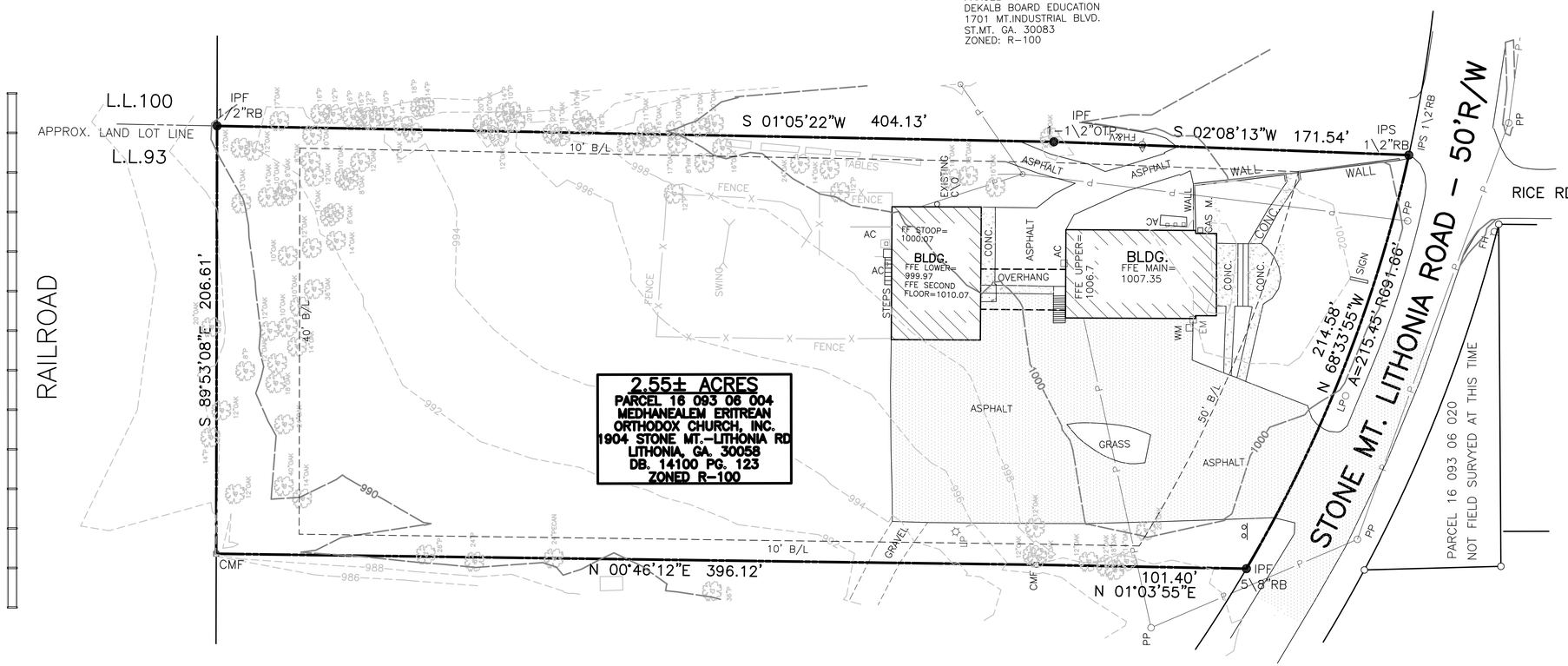
NOTE:
BUILDING PERMIT APPLICATION IS REQUIRED FOR RETAINING WALLS; SHOWING DETAILS OF RETAINING WALL AND BOTH DESIGN AND PROVIDED CALCULATIONS OF FACTORS OF SAFETY FOR: SLIDING, BEARING CAPACITY, AND OVERTURNING, ANY ASSUMPTIONS, DESIGN LOADS, PASSIVE EARTH PRESSURE, ACTIVE EARTH PRESSURE, BACKFILL MATERIALS DESCRIPTION.

Dekalb County Sanitation Notes:
The Dekalb County Sanitation Division has determined that installation of vertical cylindrical concrete posts, molded in place to secure the container, have been successful in preventing structural damage to the commercial property and/or the enclosure. Prior to installation, the commercial property shall schedule a consultation with a Sanitation Department Representative at 404-294-2903, to assess appropriate placement of molded cylinders in relation to the container. It is the responsibility of the commercial property to determine the applicability of regulatory limitations associated with the use of these posts, prior to installation.

The Dekalb County Sanitation division has determined that installation of gate stoppers that are operational and in place to secure enclosure doors have been successful in preventing structural damage to the commercial property and/or the enclosure from high winds and the equipment used to service the container. Prior to installation, the commercial property shall schedule a consultation with a sanitation department representative at 404-294-2903, to assess appropriate placement of the operational gate stoppers. It is the responsibility of the commercial property to determine the applicability of regulatory limitations associated with the use of these posts, prior to installation.

NOTE 'A': (DUMPSTER PAD REQUIREMENTS)
A 15' DEEP x 20' WIDE x 6" THICK CONCRETE SLAB (3500 PSI) WITH 4" CRUSHED STONE UNDER THE PAD SHALL BE CONSTRUCTED (WITH # 5@ STEEL REBARS AT 12" O.C. BOTH WAYS AND TWO CONTINUOUS #5 BARS 12' APART RUNNING ALOUNG THE BACK SIDE OF THE SLAB). IN ADDITION, IF THE OWNER/DEVELOPER CHOOSES, THE DUMPSTER PAD SHALL BE ENTIRELY ENCLOSED WITH A 6' HIGH ALL WEATHER BARRIER/FENCE. THE DUMPSTER(S) SHALL BE ACCESSED VIA A DOUBLE SWINGING LOCKABLE GATE. 6" DIAMETER STEEL CONCRETE FILLED BOLLARDS (●) SHALL BE PLACED 2' INSIDE AND OUTSIDE THE THE DUMPSTER PAD AREA WHERE SHOWN. THE BOLLARDS SHALL BE SET IN AN 18" WIDE CONCRETE FOOTING, THREE FEET DEEP AND THE TOP OF THE BOLLARD SHALL EXTEND THREE FEET ABOVE GRADE. THE DUMPSTER PAD SHALL SLOPE FROM THE BACK OF THE PAD AT 1/4" PER FT TO THE FRONT OF THE PAD. THE CONCRETE REQIREMENTS FOR THE NEW DRIVEWAY ENTRANCE TO THE OUTDOOR STORAGE AREA SHALL BE THE SAME AS DESCRIBED ABOVE FOR THE DUMPSTER PAD SPECIFICATIONS. THE TOP ELEVATION OF THE BACK 7.5' OF THE DRIVEWAY AND THE BACK OF THE DUMPSTER PAD SHALL BE SET AT THE SAME HEIGHT OF THE TOP OF THE NEW CONCRETE CURB.

GRID



PARCEL 16 093 05 003
PAREX INC.
4125 E LA PALMA AVE STE 250
ANAHEIM CA. 92807
DB.15439 PG.241
ZONED: M

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

GEORGIA811
Utilities Protections Center, Inc.
Know what's below! Call before you dig

30 0 30 60
SCALE: 1"=30'

MASTER 31556

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9209

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H WALTON

GSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/10/2020

JOB NO. 17-738	
COMPUTED No.	
DRAWN BY: MH	
CHECKED BY: MW	
DATE: 01/05/2018	
SCALE: 1"=30'	

NO.	DATE	REVISION	BY

EXISTING SITE CONDITIONS PLAN
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 2 OF: 13

SITE DEVELOPMENT AND ESPC CONSTRUCTION PLANS FOR:

MEDHANEALEM ERITREAN ORTHODOX CHURCH, LLC

GENERAL NOTES:
1. DEKALB COUNTY SANITATION DEPARTMENT IS NOT RESPONSIBLE FOR GARBAGE PICK-UP ON PRIVATE STREETS.
2. NOTIFY WATER & SEWER INSPECTOR AT (770) 414-2355 PRIOR TO START OF CONSTRUCTION.
3. CONTACT UTILITY COORDINATOR AT (404) 297-3840 FOR ROADS & DRAINAGE INFO.
4. THE OWNER WILL BE RESPONSIBLE FOR ANY REPAIR OR REPLACEMENT OF ANY IMPROVEMENTS WITHIN THE SANITARY SEWER/WATER/DRAINAGE EASEMENT(S) DUE TO MAINTENANCE OF SEWER/WATER/STORM DRAIN BY DEKALB COUNTY.
5. ALL CORRUGATED METAL PIPE SHALL BE FULLY COATED WITH PAVED INVERTS.
6. ALL CATCH BASINS ARE TO BE FLUSH-MOUNTED PER STD'S. 402 AND 403 (ALTERNATE PLAN).
7. SHOW ONE FOOT LID OFFSET IN CUL-DE-SACS.
8. DETENTION FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
9. LENGTH OF RIP-RAP AREA SHALL BE SIX TIMES THE DIAMETER OF THE STORM DRAIN.
10. SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
11. CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
12. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THOROGHOUT THE WIDENING OF AND CONSTRUCTION ON DEKALB COUNTY ROADS.
13. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED. ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
14. NO PARKING, STORAGE, OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
15. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE DEVELOPMENT DEPARTMENT STARTING WITH THE ISSUANCE OF THE DEVELOPMENT PERMIT AND ENDING WHEN PROJECT IS RELEASED BY INSPECTOR.
16. COMPACTION AND ALL FILL MATERIAL BETWEEN THE FRONT AND REAR BUILDING LINES TO 95% STANDARD PROCTOR MUST BE CERTIFIED BY A GEORGIA REGISTERED SOIL ENGINEER PRIOR TO THE INSTALLATION OF CURB. THIS CERTIFICATION WILL BE SUBMITTED TO THE CHIEF OF DEVELOPMENT INSPECTION.
17. THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' OF THIS SITE.
18. A TAX STATEMENT IS REQUIRED SHOWING AD VALOREM TAXES DUE AND PAID.
19. THERE ARE NO EXISTING OR PROPOSED INERT WASTE BURY PITS ON THIS PROPERTY.
20. ALL STRUCTURES SHALL BE NUMBERED OR ADDRESS SHALL BE PLAINLY VISIBLE FROM THE STREET.
21. THE PERMIT APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH N.P.D.E.S. GENERAL PERMIT NO. 100000 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
22. CONTACT BELLSOUTH @ 770-391-2810 BEFORE STARTING CONSTRUCTION.
23. THIS PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN AS PER F.I.R.M. PANEL NO. 13089C0161J.
24. THERE ARE NO STREAMS OR STATE WATERS ON THIS SITE.
25. THE OWNER WILL BE RESPONSIBLE FOR ANY REPAIR OR REPLACEMENT OF ANY IMPROVEMENTS WITHIN THE SANITARY SEWER/WATER/DRAINAGE EASEMENT(S) DUE TO MAINTENANCE OF SEWER/WATER/STORM DRAIN BY DEKALB COUNTY.
26. PAVING LOAD CAPACITY SHALL BE GREATER THAN 75,000 LB.
27. THERE SHALL REMAIN AN UNOBSTRUCTED WIDTH OF 20' BETWEEN BUILDINGS.
28. BUILDING AND SIGN CLEARANCE SHALL BE GREATER THAN 13'-6".
29. PAVING SLOPES TO BE NO GREATER THAN 7%.
30. CUT AND FILL SLOPES SHALL BE EQUAL TO OR LESS THAN 2.5(H):1(V).
31. PROXIMITY TO BUILDING PERIMETER TO BE NO GREATER THAN 40', NO LESS THAN 10'.
32. OWNER TO SUBMIT GATE POLICY TO FIRE DEPARTMENT.
33. ALL TURNING RADII TO BE 35' INSIDE DIMENSION AND 50' OUTSIDE DIMENSION MINIMUM.

PROJECT DESCRIPTION:
THIS PROJECT, ZONED R-100, IS FOR THE SITE TO DEVELOPED FOR THE CONSTRUCTION OF A CHURCH GYMNASIUM ON A SITE THAT IS CURRENTLY USED FOR A CHURCH, STORM DRAINAGE SYSTEM, SANITARY SEWER (ON-SITE SEPTIC) AND WATER SERVICE LATERALS (POTABLE LINES).

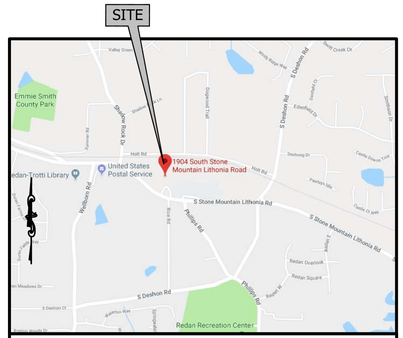
OWNER & PRIMARY PERMITTEE:
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MNT. LITHONIA ROAD
CONTACT: OTIS DARBY
PHONE NO. 404-790-4675

PROPERTY INFORMATION:
2.55± ACRES
PARCEL 16 093 06 004
1904 STONE MTN - LITHONIA RD
LITHONIA, GA. 30058
DB. 14100 PG. 123
ZONED C-1

DEVELOPER:
DARDY CONSTRUCTION CO. LTD
ATTN: OTIS DARDY
1897 SMYRNA ROAD
CONYERS, GEORGIA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

24 HOUR CONTACT PERSON
RESPONSIBLE FOR ESPC:
OTIS DARDY #0000046564
PH NO. 404-790-4675
LEVEL 1A EXPIRES 10-24-2019

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745



VICINITY MAP
NOT TO SCALE

*SITE ADDRESS: 1904 STONE MTN-LITHONIA ROAD
*PROPOSED CHURCH GYMNASIUM TO MAINTAIN EXISTING PRIMARY ADDRESS (1904 STONE MTN - LITHONIA ROAD).
*TOTAL AREA: 2.55 ACRES
*TOTAL DISTURBED AREA: 1.43 ACRES
* WATER PROVIDED BY: DEKALB COUNTY
* SEWAGE DISPOSAL BY: DEKALB COUNTY
* EXISTING USE: CHURCH
* PROPOSED USE: CHURCH WITH GYMNASIUM
* THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY FEMA OFFICIAL HAZARD FIRM MAP PANEL NO. 13089C0157-J, DATED MAY 16, 2013.
* THERE ARE NO STATE WATERS ON OR WITHIN 200' FEET OF THIS SITE
* TOPOGRAPHICAL INFORMATION PROVIDED BY PATRICK AND ASSOCIATES, CONYERS, GA.

PARKING ANALYSIS:
NO ADDITIONAL PARKING IS REQUIRED NOR PROPOSED FOR THE ADDITION OF THE GYMNASIUM ON THIS SITE.

PARKING PROVIDED(EXISTING);
9'x20' SPACES= 25
9'x20' HC SPACES= 3
TOTAL SPACES= 28

IMPERVIOUS DATA;
TOTAL LOT AREA = 2.55 ACRES
PERVIOUS AREA = 1.62 ACRES
EXIST IMPERVIOUS AREA = 0.69 ACRES
PROP IMPERVIOUS AREA = 0.24
IMPERVIOUS LOT COVERAGE = 36.47%

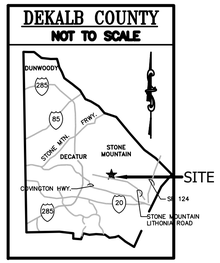
Dekalb County Construction Plan Notes:
- 72 hrs notice is required to Georgia 811 Utility Protection Center before any planned digging.
- Dekalb County is not responsible for any errors or omissions by engineers or other design professionals on design or County code requirements for this project.
- Sewer laterals outside of building require separate plumbing permit.
- Prior to construction of any utility facilities within the right-of-way of any county maintained roadway a permit must be obtained from the utility coordinator.
- Prior to construction of water mains and sanitary sewer lines final design approval must be obtained from Department of Watershed Management.
- As-builts of the storm pipe system, including location, size, slope and invert elevations of piped segments of the storm drainage systems to be provided to Dekalb County.
- All corrugated metal pipes to be fully asphalt coated with paved inverts or aluminum coated Type II.
- All catch basins are to be flush mounted per STD 402 and 403 (alternative plan). Show one food lid offset in cul-de-sacs and streets with header curb.
- Detention facilities and erosion control measures are to be accomplished prior to any other construction on the site and maintained until permanent ground cover is established.
- Non-erosive flows will be provided for leaving the site.

TOTAL PROPOSED WATER/SANITARY SEWER INFRASTRUCTURE
SS: # MHS: 0 SIZE/MATERIAL OF SS: N/A
WATER: # FHS: 0 SIZE/MATERIAL OF WATER: N/A

CONTRACTOR MUST NOTIFIY THE DWM CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIORTO COMMENCING CONSTRUCTION ACTIVITIES.
MERCER MCGUIRE: (770)274-9024
LONNIE KELLEY: (404)391-4164LES
MOSLEY: (404) 538-5101
DANIEL TUCKER: (404) 732-6411
BRUCE MAYHEW: (678) 516-8627

LAND LOT 93, 16th LAND DISTRICT
DEKALB COUNTY, GEORGIA

PARCEL ID# 16-093-06-004
PROJECT/AP#------



REV. NO.	REV. DATE	REVISION DESCRIPTION	BY

TABLE OF CONTENTS

SHEET	SHEET DESCRIPTION
1.0	= COVER SHEET, GENERAL NOTES
2.0	= EXISTING SITE CONDITIONS PLAN
3.0	= SITE GEOMETRY & STAKING PLAN
4.0	= INITIAL ESPC PLAN (PH 1)
4.1	= INTERMEDIATE ESPC PLAN (PH 2)
4.2	= FINAL ESPC PLAN (PH 3)
4.3	= ESPC NOTES
4.4	= ESPC DETAILS
4.5	= ESPC DETAILS
5.0	= GRADING & DRAINAGE PLAN
5.1	= DRAINAGE BASINS (POST DEVELOP)
6.0	= UTILITIES PLAN (WATER & SS)
7.0	= TREE PRESERVATION PLAN

(*SS=SANITARY SEWER , SD=STORM DRAIN)
(*ESPC=EROSION, SEDIMENTATION & POLLUTION CONTROL)

NOMENCLATURE LEGEND

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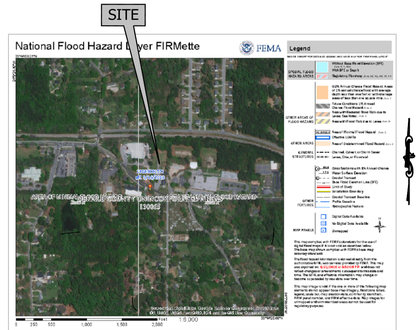
UTILITY LOCATION & COORDINATION COUNCIL UNIFORM COLOR CODE
RED- ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
YELLOW- GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
ORANGE- COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
BLUE- WATER, IRRIGATION AND SLURRY LINES GREEN- SEWERS AND DRAIN LINES
WHITE- PROPOSED EXCAVATION

If You Dig Georgia... Call Us First ! 1-800-282-7411



FEMA FIRM MAP PANEL
NOT TO SCALE

TOTAL LAND DISTURBANCE AREA: 1.43 AC±

$40.00/ACRE x 1.43 DIST. ACRES= $57.20
COUNTY$40.00/ACRE x 1.43 DIST.ACRES= $57.20 STATE

NOTE: REFER TO SHEET 4.0 THROUGH SHEET 4.5 FOR ESPC PHASING, ADDITIONAL NOTES AND DETAILS

EROSION, SEDIMENTATION AND POLLUTION CONTROL NOTICE:
"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE." "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES."
"ALL EROSION, SEDIMENT AND POLLUTION CONTROLS MEASURES SHALL BE INSTALLED AND IN PLACE PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES."

BUILDING DATA (PHASE ONE, TO BE CONSTRUCTED):
A: ONE 75'X120' GYMNASIUM (9,160 SF)

GEORGIA811 Utilities Protections Center, Inc.
Know what's below! Call before you dig

72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING. http://www.georgia811.com

EROSION CONTROL NOTES
1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. EARTH DISTURBING ACTIVITIES SHALL BE KEPT AT A MINIMUM. SEDIMENT PONDS, AND FILL SLOPES WHERE CONSTRUCTION ACTIVITY WILL NOT BE ON GOING; SHALL BE GRASSED AS SOON AS GRADING OF AREAS IS COMPLETED.
3. ANY ADDITIONAL EROSION CONTROL DEVICES NECESSARY TO PROHIBIT SEDIMENT FROM LEAVING THE SITE SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER AND/OR LOCAL INSPECTOR.
4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
5. SEDIMENT BARRIERS, TRAPS, AND PONDS SHALL BE INSPECTED AND MAINTAINED AS OFTEN AS NECESSARY SUCH THAT ALL DEVICES ARE FUNCTIONING PROPERLY. ANYTIME THAT USEFUL VOLUMES ARE FILLED TO 22 CY/ACRE OR 1/3 CAPACITY, INSTALL STAKE INDICATING THIS LEVEL DEVICES SHALL BE CLEANED OF SEDIMENT AND RETURNED TO ORIGINAL USEFUL VOLUME. SILT BARRIERS, CONSTRUCTION EXITS, CHECK DAMS SHALL BE REPLACED, ADDED TO OR OTHERWISE MAINTAINED TO INSURE PROPER FUNCTION.
6. FREQUENT INSPECTIONS, MAINTENANCE AND/OR REPAIR OF EROSION AND SEDIMENT CONTROL PRACTICES INCLUDING PROPER VEGETATION COVER SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR PROPERTY OWNER.
7. CONSTRUCTION EXITS SHALL BE MAINTAINED AT ALL TIMES, AND ANY MUD TRACKED ONTO STREETS SHALL BE CLEANED IMMEDIATELY.
8. AREAS SHALL BE PLOWED TO A DEPTH OF 4 INCHES OR MORE FOR SHOULDERS AND FILL SLOPES 6 INCHES OR MORE FOR CUT SLOPES: AREAS SHALL BE CLEANED, HARROWED UNTIL WELL PULVERIZED FOR A SMOOTH, UNIFORM, WELL BROKEN SOIL. LIME AND FERTILIZER SHALL BE THOROUGHLY MIXED IN THE TOP 4 INCHES OF PREVIOUSLY LOOSENED SOIL AND SOIL RETURNED TO A SMOOTH UNIFORM CONDITION. AFTER PLANTING AREAS TO BE MULCHED WITH HAY OR STRAW OF APPROVED GRASSES OR GRAIN CROPS.
9. EROSION CONTROL DEVICES SHALL INCLUDE BUT NOT BE LIMITED TO: CONSTRUCTION EXIT AS DETAILED STORMDRAIN INLET AND OUTLET PROTECTION SILT BARRIERS AT TOE OF FILL SLOPES.
10. ALL DRAINAGE EASEMENTS & DETENTION PONDS SHALL BE STABILIZED UPON COMPLETION.
11. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
12. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
13. MUST PROVIDE A 75 FOOT NATURAL UNDISTURBED STATE BUFFER ADJACENT TO THE BANKS OF ALL CREEKS, STREAMS, LAKES, PONDS, AND SPRINGS MEASURED FROM THE STREAM BANKS.
14. MUST PROVIDE A 50 FOOT NATURAL UNDISTURBED COUNTY BUFFER ADJACENT TO THE BANKS OF ALL CREEKS, STREAMS, LAKES, PONDS, AND SPRINGS MEASURED FROM THE STREAM BANKS. MUST PROVIDE A 25' NON-IMPERVIOUS SETBACK AS MEASURED FROM THE 50' COUNTY BUFFER.
15. MAXIMUM CUT OR FILL SLOPES IS 2H:1V.
16. LENGTH OF RIP-RAP AREA SHALL BE SIX TIMES THE DIAMETER OF THE STORM DRAIN AND WIDTH SHALL BE THREE TIMES THE DIAMETER OF THE STORM DRAIN. THIS IS MINIMUM AND CAN INCREASE.
17. GRADING OPERATIONS OR OTHER SOIL DISTURBING ACTIVITIES THAT ARE SUSPENDED FOR MORE THAN SEVEN (7) CALENDAR DAYS SHALL HAVE TEMPORARY VEGETATION, MULCHING, SILT FENCE, AND/OR OTHER EROSION CONTROL MEASURES, AT THE DISCRETION OF DEKALB COUNTY, EMPLOYED TO PROTECT THE SOIL FROM EROSIVE ELEMENTS.
18. GRADING OPERATIONS OR OTHER SOIL DISTURBING ACTIVITIES THAT ARE ABANDONED OR WITHOUT ACTIVITY FOR THIRTY (30) CALENDAR DAYS SHALL HAVE PERMANENT GRASSING, SILT FENCE AND/OR OTHER EROSION CONTROL MEASURES EMPLOYED TO PROTECT THE AREA. IF THE SITE INCLUDES PROPOSED ROADBEDS, IT SHALL BE REGRADED TO REMOVE ANY GRASS, WEED OR OTHER PERISHABLE MATTER PRIOR TO FINAL ACCEPTANCE OF SUBGRADE.
19. LENGTH OF RIP-RAP AREA SHALL BE DESIGNED PER MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, CURRENT AND LATESTEST EDITION.

SURVEYORS NOTES:
1. PATRICK & ASSOCIATES, INC. NOR THE LICENSED PROFESSIONAL ASSUME ANY LIABILITY FOR THE EXISTENCE, LOCATION, MATERIAL OR SIZE OF ANY UNDERGROUND UTILITY SHOWN ON THIS SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, EXACT LOCATION, MATERIAL AND SIZE OF ANY UNDERGROUND UTILITY BEFORE BIDDING OR EXCAVATING ON THIS PROJECT.
2. PATRICK & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR OBTAINING ANY OFFSITE EASEMENTS.
3. SURVEY AND BOUNDARY PROVIDED BY PATRICK & ASSOCIATES, INC. ON ERROR OF CLOSURE PRECISION: ONE FOOT IN 315,747 FT FIELD WORK DATED: 12/12/2017.

ENGINEERS CERTIFICATION:
With my initials at the line above and my seal and signature below, I MARK H. WALTON A Professional Engineer, licensed in the State of Georgia, hereby certify that I have personally reviewed the attached submittal plans for a land disturbance permit.
In my opinion these submittal plans meet all applicable regulations and ordinances of DeKalb County. Dekalb County and other affected parties may rely on this certification.

Signed: _____. Dated: _____
Mark Walton. Georgia Reg. #25863

PATRICK & ASSOCIATES, INC.
SURVEYING & ENGINEERING
928 BLACKLAWN ROAD,
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9219

GEORGIA REGISTERED No. 25863 PROFESSIONAL ENGINEER MARK H WALTON
GSWCC #2494 CERTIFIED DESIGN PROFESSIONAL EXPIRES 11/16/2020

DWG NO. 31873-E

TAX ID: 16 093 06 020
DEKALB COUNTY
DEVELOPMENT FILE #
PROJECT/AP#----

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PROPOSED NEW CONCRETE SIDEWALKS, PADS, DRIVEWAY, (SEE DETAILS ON SHEET 8.0)

PROPOSED NEW CRUSHED ROCK BASE MATERIAL SURFACING (SEE DETAIL ON SHEET 8.0)

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Dekalb County Sanitation Notes:
The Dekalb County Sanitation Division has determined that installation of vertical cylindrical concrete posts, molded in place to secure the container, have been successful in preventing structural damage to the commercial property and/or the enclosure. Prior to installation, the commercial property shall schedule a consultation with a Sanitation Department Representative at 404-294-2903, to assess appropriate placement of molded cylinders in relation to the container. It is the responsibility of the commercial property to determine the applicability of regulatory limitations associated with the use of these posts, prior to installation.

The Dekalb County Sanitation division has determined that installation of gate stoppers that are operational and in place to secure enclosure doors have been successful in preventing structural damage to the commercial property and/or the enclosure from high winds and the equipment used to service the container. Prior to installation, the commercial property shall schedule a consultation with a sanitation department representative at 404-294-2903, to assess appropriate placement of the operational gate stoppers. It is the responsibility of the commercial property to determine the applicability of regulatory limitations associated with the use of these posts, prior to installation.

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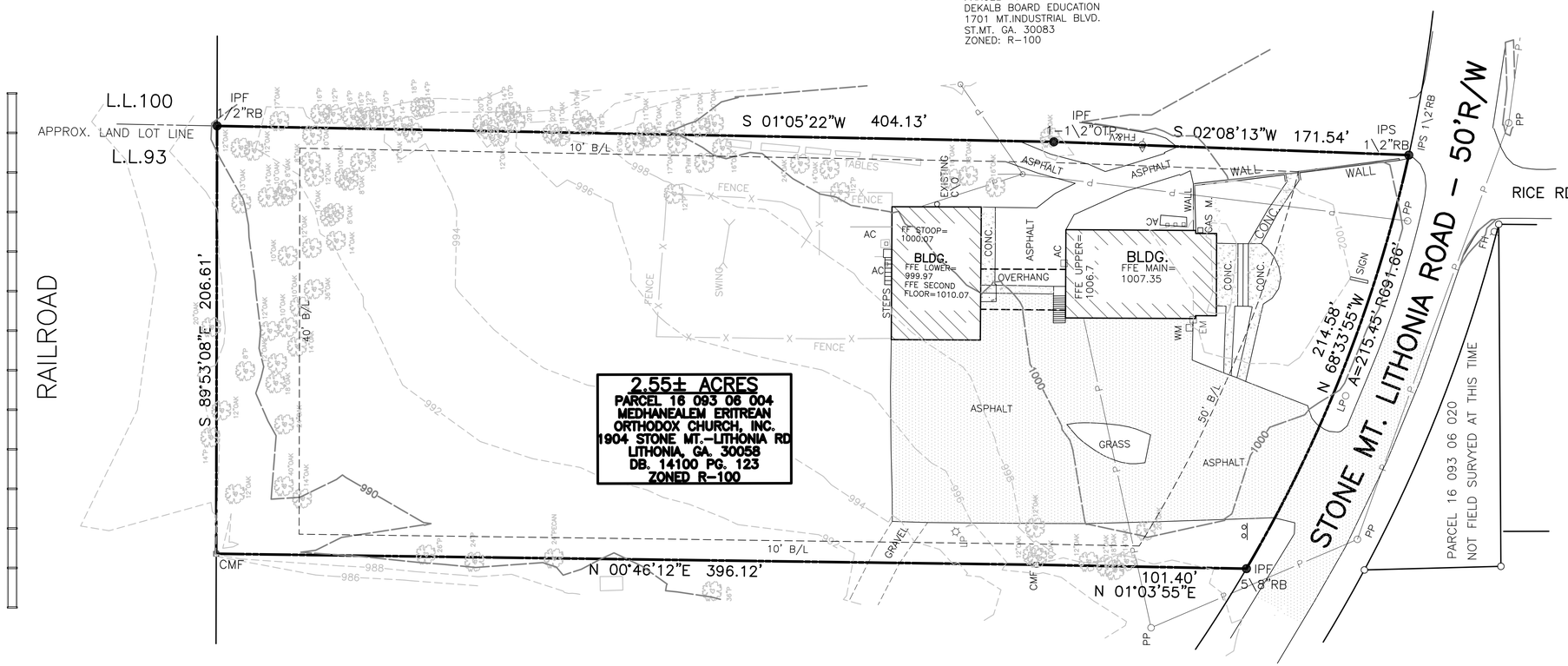
GRID



PARCEL 16 093 05 003
PAREX INC.
4125 E LA PALMA AVE STE 250
ANAHEIM CA. 92807
DB.15439 PG.241
ZONED: M

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

GEORGIA811
Utilities Protections Center, Inc.
Know what's below! Call before you dig

30 0 30 60
SCALE: 1"=30'

MASTER 31556

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9209

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H WALTON

GSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/10/2020

JOB NO. 17-738	
COMPUTED No.	
DRAWN BY: MH	
CHECKED BY: MW	
DATE: 01/05/2018	
SCALE: 1"=30'	

NO.	DATE	REVISION	BY

EXISTING SITE CONDITIONS PLAN
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 2 OF: 13

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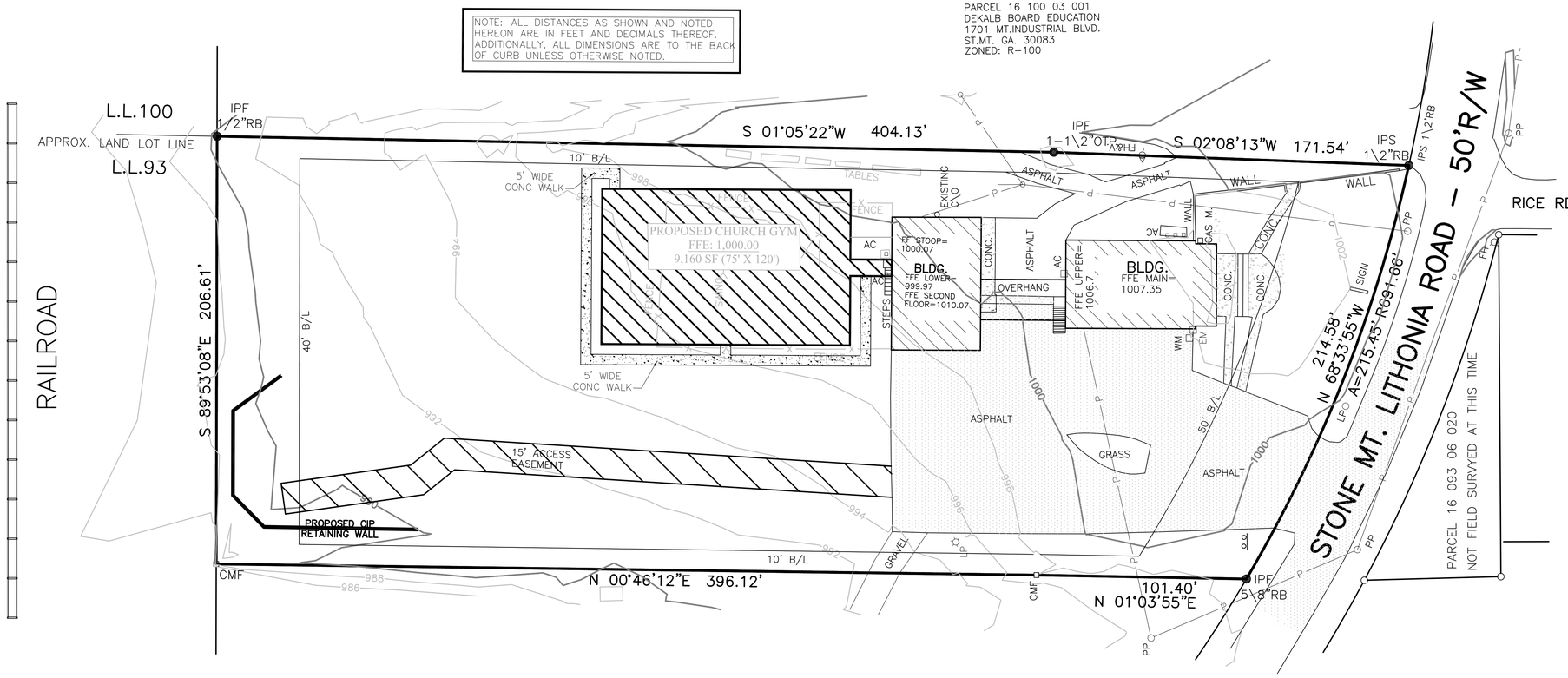
GRID

NOTE: ALL DISTANCES AS SHOWN AND NOTED HEREON ARE IN FEET AND DECIMALS THEREOF. ADDITIONALLY, ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

PARCEL 16 100 03 001
DEKALB BOARD EDUCATION
1701 MT.INDUSTRIAL BLVD.
ST.MT. GA. 30083
ZONED: R-100



OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

24 HOUR CONTACT PERSON RESPONSIBLE FOR ESPC:
OTIS DARBY #0000046564
PH NO. 404-790-4675
LEVEL 1A EXPIRES 10-24-2019

24 HOUR CONTACT & PERSON RESPONSIBLE FOR ES&PC:
MR. OTIS DARDY
24 HR. PH. NO.: 404-790-4675

GEORGIA811 Utilities Protections Center, Inc.
Know what's below! Call before you dig

30 0 30 60
SCALE: 1"=30'

MASTER 31556

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9209

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H WALTON

CSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/10/2020

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

NO.	DATE	REVISION	BY

SITE PLAN FOR:
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 3 OF: 13

NOMENCLATURE LEGEND

EXIST.	= EXISTING	FC	= FACE OF CURB
LL	= LAND LOT	BC	= BACK OF CURB
PERM.	= PERMANENT	H/C	= HANDICAP
ESMT.	= EASEMENT	F.F.E.	= FINISHED FLOOR ELEVATION
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SWCB	= SINGLE WING CATCH BASIN	×821.50	= SPOT ELEVATION
HCGI	= HOODED CURB GRATE INLET		= SURFACE DRAINAGE DIRECTION

GRID

NOTE:
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NOTE:
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NOTE:
GRADING OPERATIONS OR OTHER SOIL DISTURBING ACTIVITIES THAT ARE ABANDONED OR WITHOUT ACTIVITY FOR THIRTY (30) CALENDAR DAYS SHALL HAVE PERMANENT GRASSING, SILT FENCE AND/OR OTHER EROSION CONTROL MEASURES EMPLOYED TO PROTECT THE AREA. IF THE SITE INCLUDES PROPOSED ROADBEDS, IT SHALL BE REGRADED TO REMOVE ANY GRASS, WEED OR OTHER PERISHABLE MATTER PRIOR TO FINAL ACCEPTANCE OF SUBGRADE.

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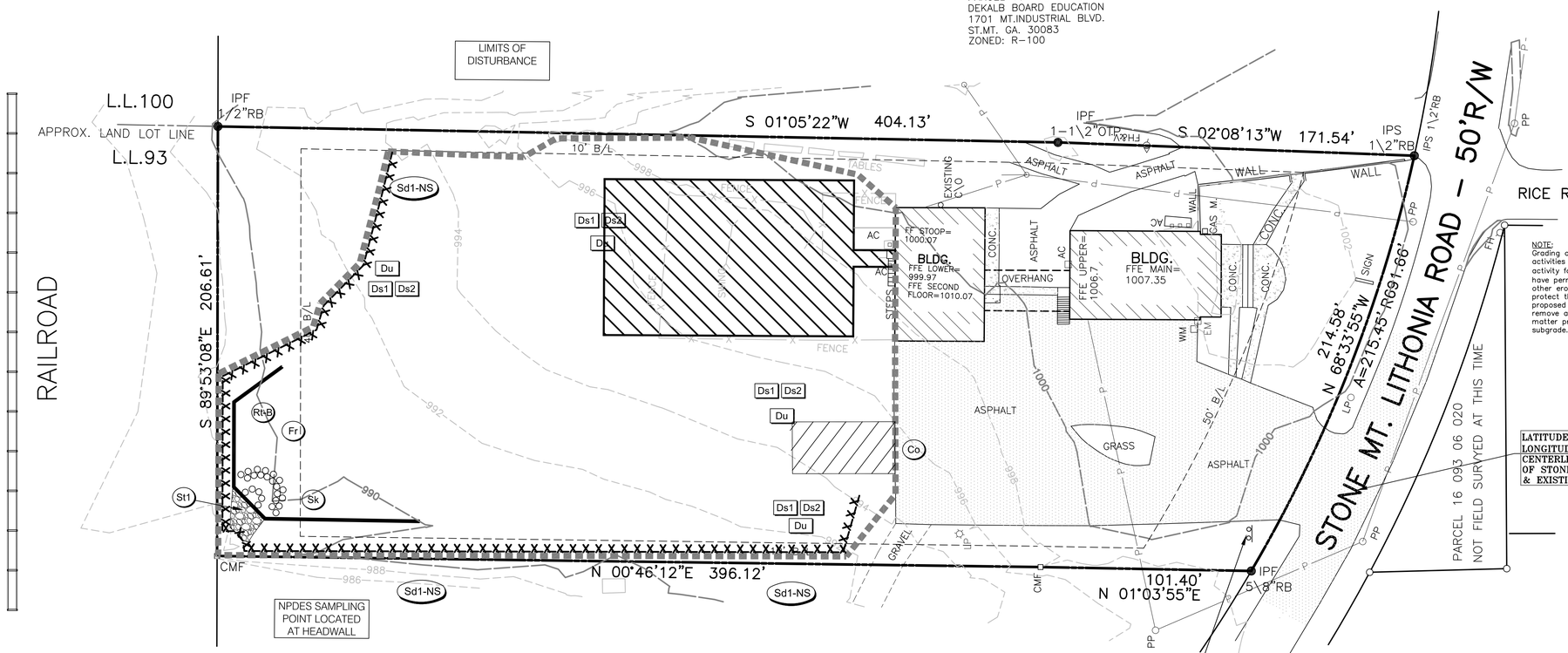
DEKALB BOARD EDUCATION
1701 MT.INDUSTRIAL BLVD.
ST.MT. GA. 30083
ZONED: R-100



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LATITUDE: 33.745995
LONGITUDE:-84.137229
CENTERLINE INTERSECTION OF STONE MNT-LITHONIA RD & EXISTING DRIVEWAY

Total Sediment Storage required:
1.43 Ac x 67 CY/Disturbed Acre = 96 CY req'd
96 CY x 27 CF/CY = 2,592 CF

Rt Storage Calculations (Pond 1):
1. Required Stormwater Storage = 17,942 Cu. Ft.
2. Required Sediment Storage = 2,592 Cu. Ft.
3. Total Required Storage = 20,534 Cu. Ft.
4. Available Storage = 24,300 Cu. Ft.
5. Is the available storage (4) greater than the total required storage (3)? Yes
6. If "no", the storage capacity of the pond must be increased. Choose the method used to be used: N/A
7. Clean-out elevation = 989.20
8. Is the length-width ratio 2:1 or greater? Yes
9. If "no", the length of flow must be increased. Choose the method to be used: N/A

PARCEL 16 093 05 003
PAREX INC.
4125 E LA PALMA AVE STE 250
ANAHEIM CA. 92807
DB.15439 PG.241
ZONED: M

8′ × 4′

Construction Site:
Medhanealem Eritrean Orthodox Church, Inc.
1904 Stone Mtn - Lithonia Road
Lithonia, GA 30058

Developer/Primary Permittee:
Dardy Construction Co, LTD
1897 Smyrna Road
Conyers, GA 30094
Contact: Otis Dardy
Ph: 404-790-4675

Engineer:
Patrick & Associates, Inc.
928 Blacklawn Road
Conyers, GA 30094
Contact: Mark Walton
Ph: 770-483-9745

SOIL EROSION INFORMATION SIGN (PER APPENDIX 1)

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

(St)- STORM DRAIN OUTLET PROTECTION

St #	D_s(IN)	Q_{100}(cfs)	V_{100}(fps)	TAILWATER CONDITION	L_a (ft)	W_1(ft)	W_2(ft)	D_s(ft)	D (IN)
1	--	15.0	2.5	<0.5 D_s	15.0	7.5	22.5	1.5	27

TOTAL DISTURBED AREA= 1.43 AC.

GEORGIA811 Utilities Protections Center, Inc.
Know what's below! Call before you dig

30 0 30 60
SCALE: 1"=30'

MASTER 31556

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928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9209

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H WALTON

CSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/10/2020

NO.	DATE	REVISION	BY

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

INITIAL ESPC PLAN (PH 1)
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 4 OF: 13

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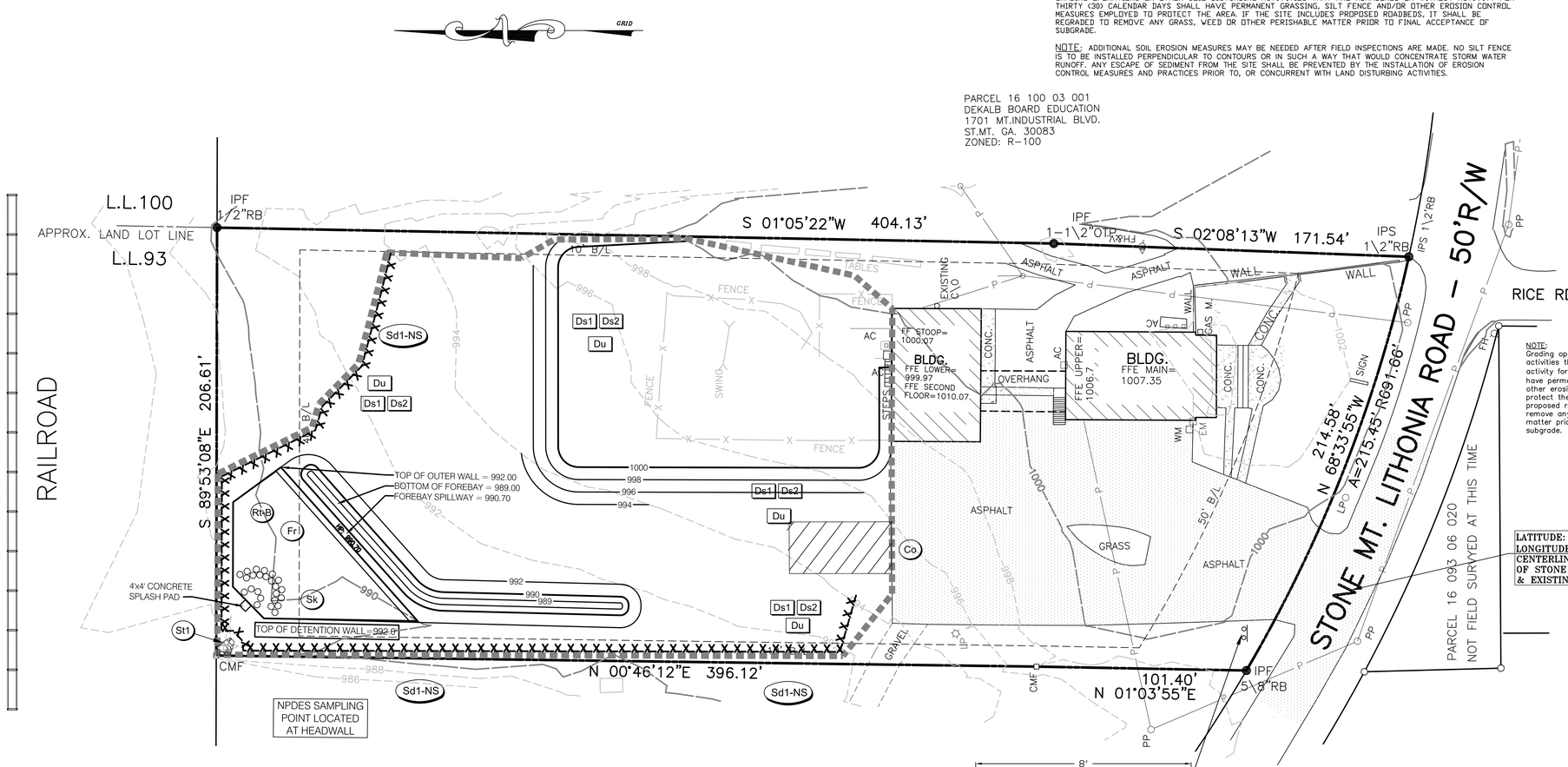

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PARCEL 16 093 05 003
PAREX INC.
4125 E LA PALMA AVE STE 250
ANAHEIM CA. 92807
DB.15439 PG.241
ZONED: M

8'

Construction Site:	Engineer:
Medhanealem Eritrean Orthodox Church, Inc. 1904 Stone Mtn - Lithonia Road Lithonia, GA 30058	Patrick & Associates, Inc. 928 Blacklawn Road Conyers, GA 30094 Contact: Mark Walton Ph: 770-483-9745
Developer/Primary Permittee: Dardy Construction Co, LTD 1897 Smyrna Road Conyers, GA 30094 Contact: Otis Dardy Ph: 404-790-4675	

4'

SOIL EROSION INFORMATION SIGN (PER APPENDIX 1)

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
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TOTAL DISTURBED AREA= 1.43 AC.

GEORGIA811 Utilities Protections Center, Inc.
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30 0 30 60
SCALE: 1"=30'

MASTER 31556

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
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PHONE: (770) 483-9745
FAX: (770) 483-9219

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H WALTON

GSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/10/2020

NO.	DATE	REVISION	BY

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

INTERMEDIATE ESPC PLAN (PH 3)
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 5 OF: 13

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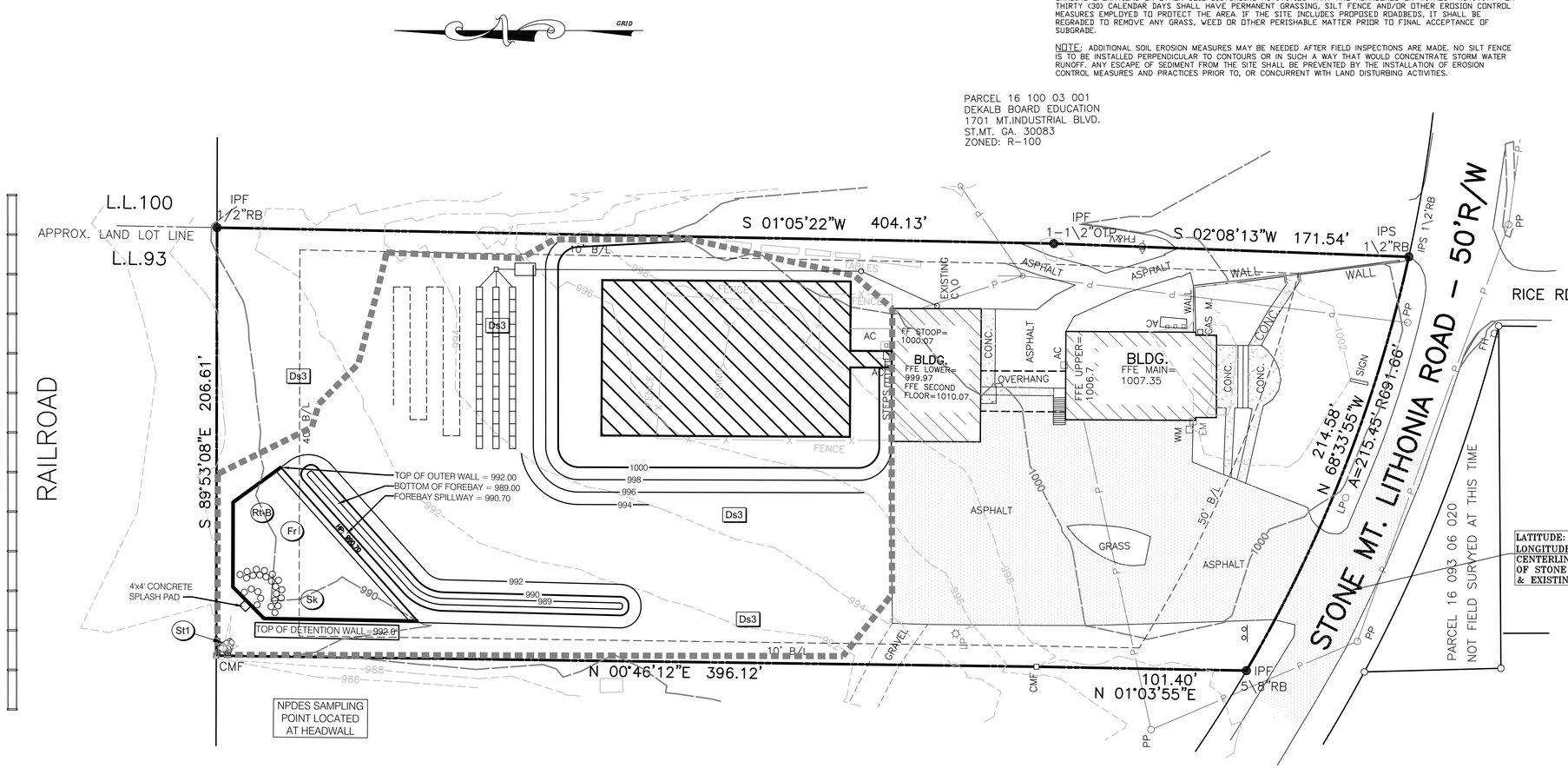

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SCALE: 1"=30'

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JOB NO. 17-738
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DRAWN BY: MH
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SCALE: 1"=30'

FINAL ESPC PLAN (PH 3)
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 6 OF: 13

4. Inspections.
a. Primary Permittee.
(1). Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the primary permittee's site where vehicles enter
or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted.
(2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
(3). Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site ; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the
primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4).. These inspections must be conducted until a Notice of Termination is submitted.
(4). Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).
(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven
(7) calendar days following each inspection. The primary permittee must amend the Plan in accordance with Part IV.D.4.b.(5). when a secondary permittee notifies the primary permittee of any Plan deficiencies.
(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(5).. of the permit shall be made
and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a onstruction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify an incident, the inspection report shall contain a statement that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit.

b. Secondary Permittee.

(1). Each day when any type of construction activity has taken place at a secondary permittee's site, certified personnel provided by the secondary permittee shall inspect: (a) all areas used by the secondary permittee where petroleum products are stored, sed, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the secondary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
(2). Certified personnel (provided by the utility companies and utility contractors if they are secondary permittees) shall inspect the following each day any type of construction activity has taken place at the construction site: (a) areas of the construction site disturbed by the utility companies and utility contractors that have not undergone final stabilization or established a crop
of annual vegetation and a seeding of target perennials appropriate for the region; (b) areas used by the utility companies and utility contractors for storage of materials that are exposed to precipitation that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the utility companies and utility contractors' construction activities shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing service line installations or when conducting repairs on existing line installations.
(3). Certified personnel (provided by the secondary permittee) shall inspect the following at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the secondary permittee's construction site ; (b) areas used by the secondary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.b.(4). These inspections must be onducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
(4). Certified personnel (provided by the secondary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
(5). Based on the results of each inspection, the secondary permittee must notify the primary permittee within 24-hours of any suspected BMP design deficiencies. The primary permittee must evaluate whether these deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with Part IV.C. of this permit to address
those deficient BMPs within seven (7) days of being notified by the secondary permittee. When the Plan is amended, the primary permittee must notify and provide a copy of the amendment to all affected secondary permittee(s) within this seven (7) day period. The secondary permittees must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee.
(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.b.(5). of the permit shall be made
and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and /or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.

c. Tertiary Permittee.

(1). Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting
repairs on existing line installations.
(2).Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
(3). Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site ; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.c.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
(4). Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (Le., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.
(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (Le., initial, intermediate or final), major observations relating to the Irnplernentatlon of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.c.(5) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the
inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be
signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

"I certify under penalty of law that this report and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and *evaluate* the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

[signature] 4/25/2018

GEORGIA811
Utilities Protections Center, Inc.
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24 HOUR CONTACT & PERSON RESPONSIBLE FOR ES&PC:
MR. OTIS DARDY
24 HR. PH. NO.: 404-790-4675

5. Maintenance.
The Plan shall include a desription of procedures to ensure the timely maintance of vegetation, erosion and sediment control measures and other protective measures indentified in the site plan.

6. Sampling Requirements.
This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit. This section is applicable to primary permittees with a total planned disturbance equal to or greater than one (1) acre and tertiary permittees with a total planned disturbance equal to or greater than five (5) acres. This section is not applicable to secondary permittees. The following procedures constitute EPD's guidelines for sampling turbidity.

a. *Sampling Requirements* shall include the following:
(1). A USGS topographic map, a topographic map or a drawing (referred to as a topographic map) that is a scale equal to or more detailed than a 1:24000 map showing the location of the site or the common development; (a) the location of all perennial and intermittent streams and other water bodies as shown on a USGS topographic map. and all other perennial and intermittent streams and other water bodies located during mandatory field verification, into which the stormwater is discharged and (b) the receiving water and/or outfall sampling locations. When the permittee has chosen to use a USGS topographic map and the receiving water(s) is not shown on the USGS topographic map, the location of the receiving water(s) must be hand-drawn on the USGS topographic map from where the storm water(s) enters the receiving water(s) to the point where the receiving water(s) combines with the first blue line stream shown on the USGS topographic map;
(2). The analytical method used to collect and analyze the samples including quality control/quality assurance procedures. This narrative must include precise sampling methodology for each sampling location;
(3). When the permittee has determined that some or all outfalls will be sampled, a rationale must be included on the Plan for the NTU limit(s) selected from Appendix 8. This rationale must include the size of the construction site, the calculation of the size of the surface water drainage area, and the type of receiving water(s) (Le., trout stream or supporting warm water fisheries) ; and
(4). Any additional information EPD determines necessary to be part of the Plan. EPD will provide written notice to the permittee of the information necessary and the time line for submittal.

b. *Sample Type.* All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-8-92-001" and guidance documents that may be prepared bythe EPD.
(1). Sample containers should be labeled prior to collecting the samples.
(2). Samples should be well mixed before transferring to a secondary container.
(3). Large mouth, clean and rinsed glass or plastic jars should be used for collecting samples.
The jars should be cleaned thoroughly to avoid contamination.
(4). Manual, automatic or rising stage sampling may be utilized. Samples required by this permit should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed using a direct reading, properly calibrated turbidimeter. Samples are not required to be cooled.
(5). Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IV.E.

c. *Sampling Points.*
(1). For construction activities the primary permittee with a total planned disturbance equal to or greater than one (1) acre and tertiary permittee with a total planned disturbance equal to or greater than five (5) acres must sample all receiving water(s), or all outfall(s), or a combination of receiving water(s) and outfall(s). Samples taken for the purpose of compliance with this permit shall be representative of the monitored activity and representative of the water quality of the receiving water(s) and/or the storm water outtalls using the following minimum guidelines:
(a). The upstream sample for each recervmq water(s) must be taken immediately upstream of the confluence of the first storm water discharge from the permitted activity (i.e., the discharge farthest upstream at the site) but downstream of any other storm water discharges not associated with the permitted activity. Where appropriate, several upstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the upstream turbidity value.
(b). The downstream sample for each receiving water(s) must be taken downstream of the confluence of the last storm water discharge from the permitted activity (i.e., the discharge farthest downstream at the site) but upstream of any other storm water discharge not associated with the permitted activity. Where appropriate, several downstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the downstream turbidity value.
(c). Ideally the samples should be taken from the horizontal and vertical center of the receiving water(s) or the storm water outfall channel(s).
(d). Care should be taken to avoid stirring the bottom sediments in the receiving water(s) or in the outfall storm water channel.
(e). The sampling container should be held so that the opening faces upstream.
(f). The samples should be kept free from floating debris.
(g). Permittees do not have to sample sheetflow that flows onto undisturbed natural areas or areas stabilized by the project. For purposes of this section, stabilized shall mean, for unpaved areas and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPO for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas),or equivalent permanent stabilization measures as defined in the Manual (excluding a crop of annual vegetation and seeding of target crop perennials appropriate for the region).
(h). All sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations, timing, and frequency) as to accurately reflect whether storm water runoff from the construction site is in compliance with the standard
set forth in Parts 111.0 .3. or 111.0.4. , whichever is applicable.

d. *Sampling Frequency.*
(1). The primary permittee with a total planned disturbance equal to or greater than one (1) acre and tertiary permittee with a total planned disturbance equal to or greater than five (5) acres must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any storm water discharge to a monitored receiving water and/or from a monitored outfall within forty-five (45) minutes or as soon as possible.
(2). However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittee's control, the permittee shall take samples as soon as possible, but in no case more than twelve (12) hours after the beginning of the storm water discharge.
(3). Sampling by the permittee shall occur for the following qualifying events: (a). For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that allows for sampling during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;

(b). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a NOT, in the drainage area of the location selected as the sampling location, whichever comes first;
(c). At the time of sampling performed pursuant to (a) and (b) above, if BMPs in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours* until the selected turbidity standard is attained, or until post-storm event inspections determine that BMPs are properly designed, installed and maintained.

(d). Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the primary permittee, in accordance with Part IV.D.4.a.(6)" or the tertiary permittee, in accordance with Part IV.D.4.c.(6)., must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and
(e). Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (a) above shall sample in accordance with (b). Those existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.

*Note that the Permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.

7. Non-storm water discharges. Except for flows from fire fighting activities, sources of non-storm water listed in Part III.A.2. of this permit that are combined with storm water discharges associated with construction activity must be identified in the Plan. The Plan shall identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.

ES&PC Plan Review Checklist Notes:
- Estimate of runoff coefficient (CN number), Pre = 55.0 (Wooded area, good cover), Post = 78.3(Impervious area, lawn, soil group B, and wooded area, good cover).
- Constructions activity will consist of installation of soil erosion control, stormwater pond, building construction, and landscaping.
- Amendments/revisions to the ES&PC Plan which have a significant effect on BMP's with a hydraulic component must be certified by the design professional.
- A stormwater (water quality) pond will be used to control pollutants in stormwater. The stromwater pond will be used to control stormwater pollutants after construction is complete.
- There are no State Waters and wetlands on site. There are no State Waters or wetlands within the disturbed area. There are no 25 foot and 35 foot undisturbed buffers applicable for this site. The receiving waters to which the site drains is an un-named tributary of Pole Bridge Creek. The critical areas for this site will be the stormwater pond, stormwater outlet and the construction exit. These areas should be inspected and maintained daily.
- Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation without first acquiring the necessary variances and permits. There are no 25 or 50 undisturbed buffers applicable for this site.
- Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit.
- Documentation must be provided that the ES&PC Plan is in compliance with waste disposal, sanitary sewer or septic tank regulations during and after construction activities have been completed.
- **Washout of the concrete drum at the construction site is prohibited.**
- Boundary line information taken from survey by Patrick & Associates, Inc.
- Topographic information provided by Patrick & Associates, Inc.

NOTE: ADDITIONAL SOIL EROSION MEASURES MAY BE NEEDED AFTER FIELD INSPECTIONS ARE MADE. NO SILT FENCE IS TO BE INSTALLED PERPENDICULAR TO CONTOURS OR IN SUCH A WAY THAT WOULD CONCENTRATE STORM WATER RUNOFF.

E. Reporting.
1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD until such time as a N.O.T. is submitted in accordance with Part VI.

2. All sampling reports shall include the following information:
a. The rainfall amount, date, exact place and time of sampling or measurements;
b. The name(s) of the certified personnel who performed the sampling and measurements;
c. The date(s) analyses were performed;
d. The time(s) analyses were initiated;
e. The name(s) of the certified personnel who performed the analyses;
1. References and written procedures, when available, for the analytical techniques or methods used;
g. The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine these results;
h. Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and
i. Certification statement that sampling was conducted as per the Plan.
3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The applicable permittees shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a N.O.T. is submitted in accordance with Part VI. If an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a paper copy must also be submitted by return receipt certified mail or similar service.

F. Retention of Records.
1. The primary permittee shall retain the followlnq records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a N.O.T. is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.

2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a N.O.T. is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;
c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit; and
d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

3. Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a N.O.T. is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.c. of this permit;
1. A copy of all violation summaries and violation summary reports generated in accordance with Part 111.D.2. of this permit; and.
g. Daily rainfall information collected in accordance with Part IV.D.4.c.(2) . of this permit.

4. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

(i). stripping of vegetation, regarding, and other development activities shall be conducted in such a manner so as to minimize erosion.
(ii). cut and fill operations shall be kept to a minimum;
(iii). development plans must conform to topography and soil type, so as to create the lowest practicable erosion potential;
(iv). whenever feasible, natural vegetation shall be retained, protected, and as soon as practicable;
(v). the disturbed area and the duration of exposure to erosive elements shall be kept to a practicable minimum;
(vi). disturbed soil shall be stabilized as quickly as practicable;
(vii). permanent vegetation or mulching shall be employed to protect exposed critical areas during development;
(viii). permanent vegetation and structural erosion control measures shall be installed (ix). to the extent necessary,sediment in run-off water shall be trapped by the use of debris basins, silt traps, or similar measures until the disturbed area is stabilized;
(x). adequate provisions shall be provided to minimize damage from surface water to the cut face of excavations or sloping surfaces of fills; supplemented;
(xi). cuts and fills shall not endanger adjoining property;
(xii). fills shall not encroach upon natural water courses or constructed channels in a manner so as to adversely affect other property owners;
(xiii). grading equipment shall cross flowing streams by the means of bridges or culverts,except when such methods are not feasible, provided in any case that such crossings shall be kept to a minimum;
(xiv). provisions shall be provided for treatments or control of any source of sediments and adequate sedimentation control facilities to retain sediments on site or preclude sedimentation of adjacent water beyond the levels specified in this permit;
(xv). Except as provided in PartIV.
(xvi). below, no construction activities shall be conducted within a 25 foot buffer along the banks of all state water, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, except where the Director has determined to allow a variance that is at least as protective of natural resources and the environment in accordance with the provisions of O.C.G.A. 12-7-6, or where a drainage structure or roadway drainage structure must be constructed, provided that adequate erosion control measures are incorporated in the project plans and specifications and are implemented;
(xvi). No construction activities shall be conducted within a 50 foot buffer, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, along the banks of any state waters classified as "trout streams' except when approval is granted by the Director for alternate buffer requirements in accordance with the provisions of O.C.G.A. 12-7-6, or where a roadway drainage structure must be constructed; provided, however, that small springs and streams classified as 'trout streams' which discharge an average annual flow of 25 gallons per minute or less shall have a 25 foot buffer or a rule providing for a general variance promulgated by the Board of Natural Resources including notification of such to EPD and the local issuing authority of the location and extent of the piping and prescribed methodology for minimizing the impact of such piping and for measuring the volume of water discharged by the stream. Any such pipe must stop short of the downstream permittee's property, and the permittee must comply with the buffer requirement for any adjacent trout streams; and
(xvii). Except as provided above, for buffers required pursuant to Part IV.(xv). and
(xvi)., no construction activities shall be conducted within a buffer and a buffer shall remain in its natural,undisturbed,state of vegetation until all land-disturbing activities on the construction site are complete. Between the time final stabilization of the site is achieved and upon the submittal of Notice of Termination, a buffer may be thinned or trimmed of vegetation as long as a protective vegetative cover remains to protect water quality and aquatic habitat and a natural canopy is left in sufficient quantity to keep shade on the stream bed.

UTILITY CONTRACTORS (POWER, GAS, PHONE, CABLE)

*Remove all soil from streets and gutter continuously during installation of utility lines.
*Broadcast spread polyacrylamide erosion control powder on any soil disturbed at the end of each work day
*Upon completion of utility line installation, prepare seed bed, seed and mulch with 3 inches of straw all disturbed soil or prepare seed bed, and hydroseed all disturbed soil. Use polyacrylamide powder in conjunction with either the mulch or the hydroseed
*Institute any other needed measures during rainfall events to maintain soil in disturbed areas

BUILDERS

*Install and maintain construction entrance according to Georgia handbook. Remove any soil that is in the street or gutters immediately after this soil is lost from the work site.
*Install and maintain silt fence or other soil erosion control barriers between any disturbed soil and any areas of drainage exiting the property.
*Broadcast spread polyacrylamide erosion control powder on any soil disturbed after the completion of the work that disturbed that soil
*Sod or mulch disturbed area as soon as construction progress allows.
*Institute any other needed measures during rainfall events to maintain soil in disturbed areas.

WASTE DISPOSAL

*WASTE DISPOSAL. Solid materials, including building materials, shall not be discharged to waters of the State, except as authorized by a section 404 permit.
*CONSTRUCTION WASTES(stumps,limbs,packing materilal,scraps building material, and rubble from demolition) shall be deposited in appropriate waste containers. The waste container shall be located on ES&CP. Container shall have an adequate cover and shall be covered for all rainfall. Container shall be collected before any overflow or spills, any overflow or spills shall be immediately cleaned up. Additional containers or more frequent pickups may be required. Waste shall be disposed of at authorizes disposal areas.
*HAZARDOUS PRODUCTS(paints,acids,solvents,chemical additives and compounds) shall be disposed of in accordance with manufactured's guidelines. Keep products in original containers and use all of the product before disposal. Never mix products. Check with local authorities for additional requirements. Soils contaminated by hazardous products shall be treated or disposed per solid waste requirements.
*SANITARY/SEPTIC DISPOSAL shall be handled by contracting with a local portable facility supplier. Waste shall be disposed of at authorized disposal sites,
*PETROLEUM STORAGE shall be in only approved container. Containers shall be regularly inspected for leaks any and all spills shall be cleaned up immediatley. An impoundment dike shall be constructed around any storage tank and a cover to divert rainfall shall be in place.
*NOTE: Permittee is required to report any release, equal to or greater than the reporting quantity as established under Georgia's Oil or Hazardous Material Spills Release Act. Reports shall be filed in accordance with Georgia's Oil or Hazardous Material Spills Release Act.

NOTE:
ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. DEKALB NOTES: EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY. AND AND ALL CUT AND FILL SLOPES SHALL NOT EXCEED 2.5(H):1(V) FOR THIS ENTIRE PROJECT. WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE DEVELOPMENT DEPARTMENT STARTING WITH THE ISSUANCE OF THE DEVELOPMENT PERMIT AND ENDING WHEN THE PROJECT IS RELEASED BY THE INPECTOR

NPDES Notes:

A. Keeping Plans Current.
The primary, secondary or tertiary permittees, as applicable, who began construction on or before the effective date of this permit shall amend their Plan or TEC plan whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on BMPs with a hydraulic component, i.e., those BMPs where the design is based upon rainfall intensity, duration and return frequency of storms or on the potential for the discharge of pollutants to the waters of Georgia and which has not otherwise been addressed in the Plan or TEC plan, if the Plan or TEC plan proves to be ineffective in eliminating or significantly minimizing pollutants from sources identified under Part IV.D.2 of this permit, or if the Plan or TEC plan proves to be ineffective in achieving the general objectives of controlling pollutants in storm water discharges associated with construction activity. Amendments to the Plan must be certified by a design professional as provided in this permit. For construction commencing after the effective date of this permit, secondary permittees must notify the primary permittee within 24-hours of becoming aware of any suspected BMP designed deficiencies which are not effective in controlling the discharge of pollutants from the secondary permittee's site. The primary permittee must evaluate whether these deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with this paragraph to address those deficient BMPs within seven (7) days of being notified by the secondary permittee. When the Plan is amended, the primary permittee must notify and provide a copy of the amendment to all affected secondary permittees within this seven (7) day period. The secondary permittee(s) must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee. Notwithstanding the foregoing, the primary or tertiary permittee remains responsible for insuring that the Plan or the TEC plan, as appropriate, meets the requirements of this permit.

Spill Cleanup and Control Practices
Local, State and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
Material and equipment necessary for spill cleanup will be kept in the material storage areas. Typical materials and equipment includes, but is not limited to brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust and properly labeled plastic and metal waste containers.
Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, Slate, and Federal regulations.
FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1 1-800-426 2675.
FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675.
FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS OCCUR, THE GEORGIA E.P.D. WILL BE CONTACTED WITHIN 24 HOURS.
FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS OCCUR, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

The contractor shall notify the licensed professional who prepared this Plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any one piece of equipment has a capacity greater than 660 gallons. The contractor will need a Spill Prevention Containment and Countermeasures Plan prepared by that licensed professional.

Product Specific Practices
Petroleum Based Products – Containers for products such as fuels, lubricants, and tars will be inspected daily for leaks and spills. This includes onsite vehicles and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from State Waters, natural drains, and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination. Discharge of oils, fuels, and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations.

Paints/Finishes/Solvents – All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products, and product containers will be disposed of according to manufacturer's specifications and recommendations.

Concrete Truck Washing – NO concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.

Fertilizer/Herbicides – These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the GSWCC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers.

Building Materials – No building or construction materials will be buried or disposed of onsite. All such material will be disposed of in proper waste disposal procedures.

State of Georgia Permit No. GAR100001 Page 36 of 3
Dept. of Nat'l. Resources - Environmental Protection Division
APPENDIX B Nephelometric Turbidity Unit (NTU) TABLES

Cold Water (Trout Stream)
Surface Water Drainage Area, square miles

Site Size, acres	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
1.00-10	25	50	75	150	300	500	500	500
10.01-25	25	25	50	75	150	200	500	500
25.01-50	25	25	25	50	75	100	300	500
50.01-100	20	25	25	35	59	75	150	300
100.01 +	20	20	25	25	25	50	60	100

Warm Water (Supporting Warm Water Fisheries)
Surface Water Drainage Area, square miles

Site Size, acres	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
1.00-10	(75)	150	200	400	750	750	750	750
10.01-25	5 0	100	100	200	300	500	750	750
25.01-50	50	50	100	100	200	300	750	750
50.01-100	50	50	50	100	100	150	300	600
100.01 +	50	50	50	50	50	100	200	100

1. To use these tables, select the size (acres) of the facility or common development. Then, select the surface water drainage area (square miles). The NTU matrix value arrived at from the above tables is the one to use in Part III.C.4.
2. Example 1: For a site size of 12.5 acres and a cold water drainage area of 37.5 square miles, the NTU value to use in Part III.C.4 is 75 NTU.
3. Example 2: For a site size of 51.7 acres and a warm water drainage area of 72 square miles, the NTU value to use in Part III.C.4 is 100 NTU.

NOTE:
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
NOTE: EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION FO THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

NOTE:
NO LAND-DISTURBING ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL, UNDISTURBED STATE OF VEGETATION UNTIL ALL LAND-DISTURBING ACTIVITIES ON CONSTRUCTION SITE ARE COMPLETED. ONCE THE FINAL STABILIZATION OF THE SITE IS ACHIEVED, A BUFFER MAY BE THINNED OR TRIMMED OF VEGETATION AS LONG AS A PROTECTIVE VEGETATIVE COVER REMAINS TO PROTECT WATER QUALITY AND AQUATIC HABITAT AND A NATURAL CANOPY IS LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON STREAM BED; PROVIDED, HOWEVER, THAT ANY PERSON CONSTRUCTING A SINGLE-FAMILY RESIDENCE, OWNER FOR HIS OR HER OWN OCCUPANCY, MAY THIN OR TRIM VEGETATION IN BUFFER AT ANY TIME AS LONG AS PROTECTIVE VEGETATIVE COVER CANOPY IS LEFT INSUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAM BED (ORDINANCE No #O-2004-20: 6-1009)
NOTE:
GRADING OPERATIONS OR OTHER SOIL DISTURBING ACTIVITIES THAT ARE ABANDONED OR WITHOUT ACTIVITY FOR THIRTY (30) CALENDAR DAYS SHALL HAVE PERMANENT GRASSING, SILT FENCE AND/OR OTHER EROSION CONTROL MEASURES EMPLOYED TO PROTECT THE AREA. IF THE SITE INCLUDES PROPOSED ROADBEDS, IT SHALL BE REGRADED TO REMOVE ANY GRASS, WEED OR OTHER PERISHABLE MATTER PRIOR TO FINAL ACCEPTANCE OF SUBGRADE.

NOTE:
ADDITIONAL SOIL EROSION MEASURES MAY BE NEEDED AFTER FIELD INSPECTIONS ARE MADE. NO SILT FENCE IS TO BE INSTALLED PERPENDICULAR TO CONTOURS OR IN SUCH A WAY THAT WOULD CONCENTRATE STORM WATER RUNOFF. ANY ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

Erosion, Sedimentation, and Pollution Control Plan Certification

I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia," (MANUAL) Published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permits No. GAR 100001.

Signed: [signature]
Mark Walton, PE
Patrick & Associates, Inc.

EROSION & SEDIMENT CONTROL NOTES
1.CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE IN MAINTAINING AND PROTECTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT CONTRACTOR'S EXPENSE.
2. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION, AS DIRECTED BY THE ENGINEER AND/OR LOCAL INSPECTOR.
4. EROSION AND SEDIMENT CONTROL PRACTICES INCLUDING PROPER VEGETATION COVER SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR PROPERTY OWNER.
5. EROSION CONTROL DEVICES SHALL INCLUDE BUT NOT BE LIMITED TO: CONSTRUCTION EXIT, AS DETAILED STORM DRAIN INLET AND OUTLET PROTECTION, SILT BARRIERS AT TOE OF FILL SLOPES.
6. ALL DRAINAGE EASEMENTS & DETENTION PONDS SHALL BE STABILIZED UPON COMPLETION.
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
8. EARTH DISTURBING ACTIVITIES SHALL BE KEPT AT A MINIMUM. SEDIMENT PONDS, AND FILL SLOPES WHERE CONSTRUCTION ACTIVITY WILL NOT BE ON GOING; SHALL BE GRASSED AS SOON AS GRADING OF AREAS IS COMPLETED.
9. CONTRACTOR TO COORDINATE WITH ENGINEER FOR ANY PROPOSED CHANGES TO SILT FENCE LOCATIONS.
10. THE SITE CONTRACTOR IS RESPONSIBLE FOR PRODUCING AND RETAINING AN ON-SITE SPILL PREVENTION PLAN FOR THIS SITE DEVELOPMENT.
11. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
12. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS BUFFER ENCROACHMENTS
13. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
15. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
16. THE APPLICABLE PORTION OF THE PRIMARY PERMITTEES ES&PC PLAN IS TO BE PROVIDED TO EACH SECONDARY PERMITTEE PRIOR TO THE SECONDARY CONDUCTING ANY CONSTRUCTION ACTIVITY AND THAT EACH SECONDARY SHALL SIGN THE PLAN OR PORTION OF THE PLAN APPLICABLE TO THEIR SITE.
17. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
18. EARTH DISTURBING ACTIVITIES SHALL BE KEPT AT A MINIMUM. SEDIMENT PONDS, AND FILL SLOPES WHERE CONSTRUCTION ACTIVITY WILL NOT BE ON GOING; SHALL BE GRASSED AS SOON AS GRADING OF AREAS IS COMPLETED.
19. ANY ADDITIONAL EROSION CONTROL DEVICES NECESSARY TO PROHIBIT SEDIMENT FROM LEAVING THE SITE SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER AND/OR LOCAL INSPECTOR.
20. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
21. SEDIMENT BARRIERS, TRAPS, AND PONDS SHALL BE INSPECTED AND MAINTAINED AS OFTEN AS NECESSARY SUCH THAT ALL DEVICES ARE FUNCTIONING PROPERLY. ANYTIME THAT USEFUL VOLUMES ARE FILLED TO 22 CY/ACRE OR 1/3 CAPACITY, INSTALL STAKE INDICATING THIS LEVEL DEVICES SHALL BE CLEANED OF SEDIMENT AND RETURNED TO ORIGINAL USEFUL VOLUME. SILT BARRIERS, CONSTRUCTION EXITS, CHECK DAMS SHALL BE REPLACED, ADDED TO OR OTHERWISE MAINTAINED TO INSURE PROPER FUNCTION.
22. FREQUENT INSPECTIONS, MAINTENANCE AND/OR REPAIR OF EROSION AND SEDIMENT CONTROL PRACTICES INCLUDING PROPER VEGETATION COVER SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR PROPERTY OWNER.
23. CONSTRUCTION EXITS SHALL BE MAINTAINED AT ALL TIMES, AND ANY MUD TRACKED ONTO STREETS SHALL BE CLEANED IMMEDIATELY OR AT DIRECTION OF COUNTY ENGINEEROR INPECTOR.
24. AREAS SHALL BE PLOWED TO A DEPTH OF 4 INCHES OR MORE FOR SHOULDERS, FILL SLOPES AND 6 INCHES OR MORE FOR CUT SLOPES. AREAS SHALL BE CLEANED AND HARROWED UNTIL WELL PULVERIZED FOR A SMOOTH, UNIFORM, WELL BROKEN SOIL. LIME AND FERTILIZER SHALL BE THOROUGHLY MIXED IN THE TOP 4 INCHES OF PREVIOUSLY LOOSENED SOIL AND SOIL RETURNED TO A SMOOTH UNIFORM CONDITION. AFTER PLANTING OF APPROVED GRASSES OR GRAIN CROPS, ARES TO BE MULCHED WITH HAY OR STRAW.
25. EROSION CONTROL DEVICES SHALL INCLUDE BUT NOT BE LIMITED TO: CONSTRUCTION EXIT AS DETAILED STORMDRAIN INLET AND OUTLET PROTECTION SILT BARRIERS AT TOE OF FILL SLOPES
26. ALL DRAINAGE EASEMENTS & DETENTION PONDS SHALL BE STABILIZED UPON COMPLETION.
27: CUT AND FILL SLOPES SHALL BE EQUAL TO OR LESS THAN 2.5 FEET (HORIZONTAL) TO 1 FOOT (VERTICAL).
28: NOTIFY PS&E INSPECTOR (770-785-6956) BEFORE EACH PHASE OF CONSTRUCTION BEGINS.
29: ALL AREAS TO HAVE RIP RAP ARE TO HAVE GEOTEXTILE LINER BETWEEN ROCK AND BARE SOIL. LENGTH OF RIP RAP AREA SHALL BE SIX TIMES THE DIAMETER OF THE STORM DRAIN AND WIDTH SHALL BE THREE TIMES THE DIAMETER OF THE STORM DRAIN. THIS IS MINIMUM AND CAN BE INCREASED. LENGTH OF RIP-RAP AREA SHALL BE DESIGNED PER MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, CURRENT EDITION.
30: ALL FILL SOILS FOR SWMF BERM SECTION SHALL BE CLEAN, IMPERMEABLE MATERIAL AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, AT OPTIMUM MOISTURE CONTENT. NO BLASTED MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXHIBIT SIGNIFIGANT SHRINK/SWELL OR DISPERSIVE CHARACTERISTICS. A KEY TRENCH IS TO BE PROVIDED IN ALL AREAS TO EXTEND A MINIMUM OF FIVE FEET BELOW EXISTING GRADE. NO TREES OF ANY TYPE MAY BE LOCATED ON THE BERM SECTION. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8" LIFT. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
31: ALL AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

"NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS" (NOTE: THIS CONDITION IS NOT APPLICABLE).

BY SIGNING ON THE LINE PROVIDED NEXT TO THE SECONDARY OR TERTIARY PERMITTEE'S NAME THIS INDICATES THAT A COPY OF THIS PLAN AND CMP HAVE BEEN PROVIDED TO THE SAID PERMITTEE AND AGREE TO COMPLY WITH THE REQUIREMENTS OF BOTH THE ESPCP & THE CMP.

POWER: .... DATE: .... GAS: .... DATE: ....
CABLE: .... DATE: .... BUILDER: .... DATE: ....
TELEPHONE: .... DATE: ....

NOTE: THE PRIMARY, SECONDARY OR TERTIARY PERMITEE SHALL MAKE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS AVAILABLE UPON REQUEST TO THE DESIGNATED OFFICIALS OF THE LOCAL GOVERNMENT. INSPECTIONS SHALL BE DONE BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITEE AND ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100003.

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9219

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL ENGINEER MARK H WALTON

GSWCC #2494
CERTIFIED DESIGN PROF.
EXP. 11/16/2020

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

NO.	DATE	REVISION	BY

ESPC NOTES
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER 31873-E
SHEET: 7 OF: 13

GEORGIA SOIL & WATER CONSERVATION COMMISSION
UNIFORM CODING SYSTEM
FOR SOIL EROSION & SEDIMENT CONTROL PRACTICES

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT		Co (LABEL)	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cr	CONSTRUCTION ROAD STABILIZATION		Cr	A travelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An earth channel or dike located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE		Dn1 (LABEL)	A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive.
Dn2	PERMANENT DOWNDRAIN STRUCTURE		Dn2 (LABEL)	A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE		Gr (LABEL)	Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways.
Re	RETAINING WALL		Re (LABEL)	A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Rt	RETRO FITTING		Rt (LABEL)	A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER		(INDICATE TYPE)	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN		Sd3 (LABEL)	A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE SKIMMER		Sk (LABEL)	A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
Spb	SEEP BERM		Spb (LABEL)	Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.
Sr	TEMPORARY STREAM CROSSING		Sr (LABEL)	A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORMDRAIN OUTLET PROTECTION		St	A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING		Su	A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN		Tc	A floating or staked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TOPSOILING		Tp (SHOW STRIPPING AND STORAGE AREAS)	The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION		(DENOTE TREE CENTERS)	To protect desirable trees from injury during construction activity.
Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

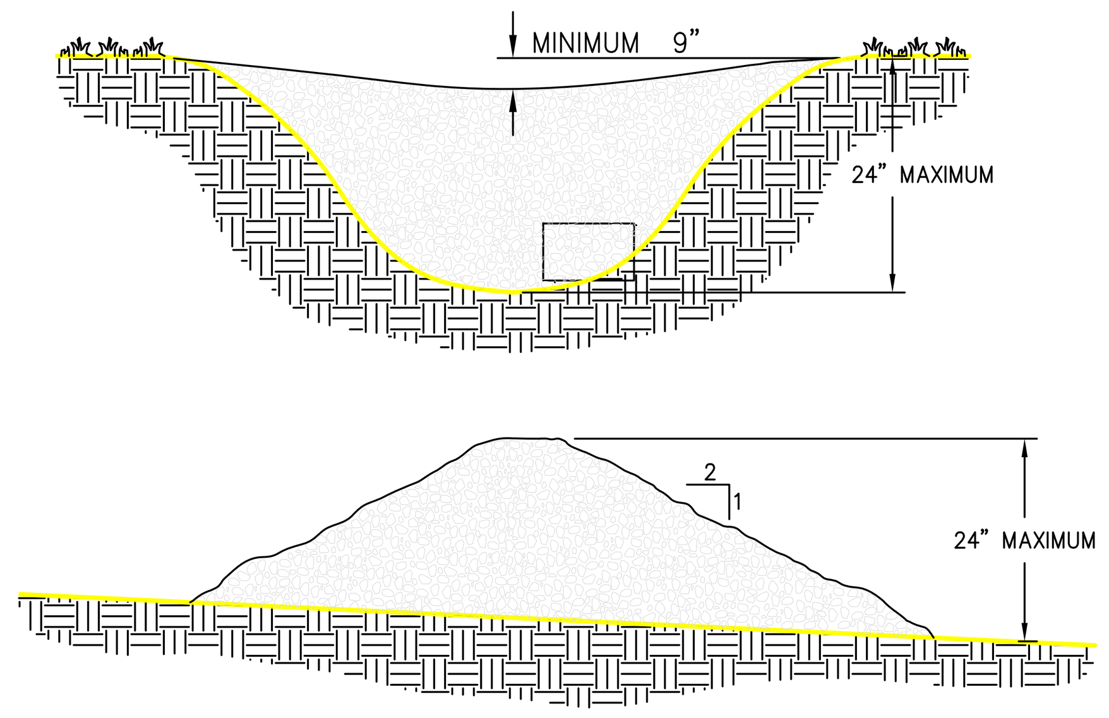
VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE		Bf (LABEL)	Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)		Cs	Planting vegetation on dunes that are denuded artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)		Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodable or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS		Fl-Co	Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM VEGETATION)		Sb	The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION		Ss	A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS		Tac	Substance used to anchor straw or hay mulch by causing the organic material to bind together.

GaSWCC (Amended – 2013)

Cd STONE CHECK DAM

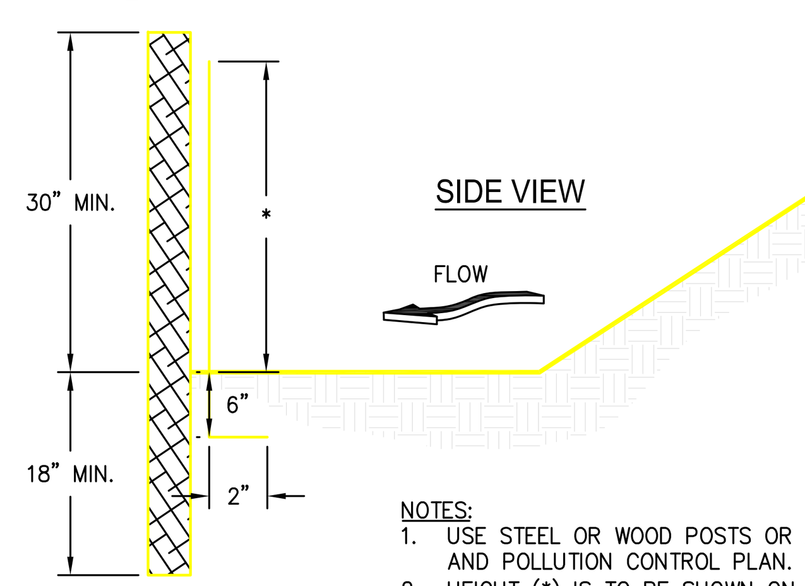
CROSS SECTION



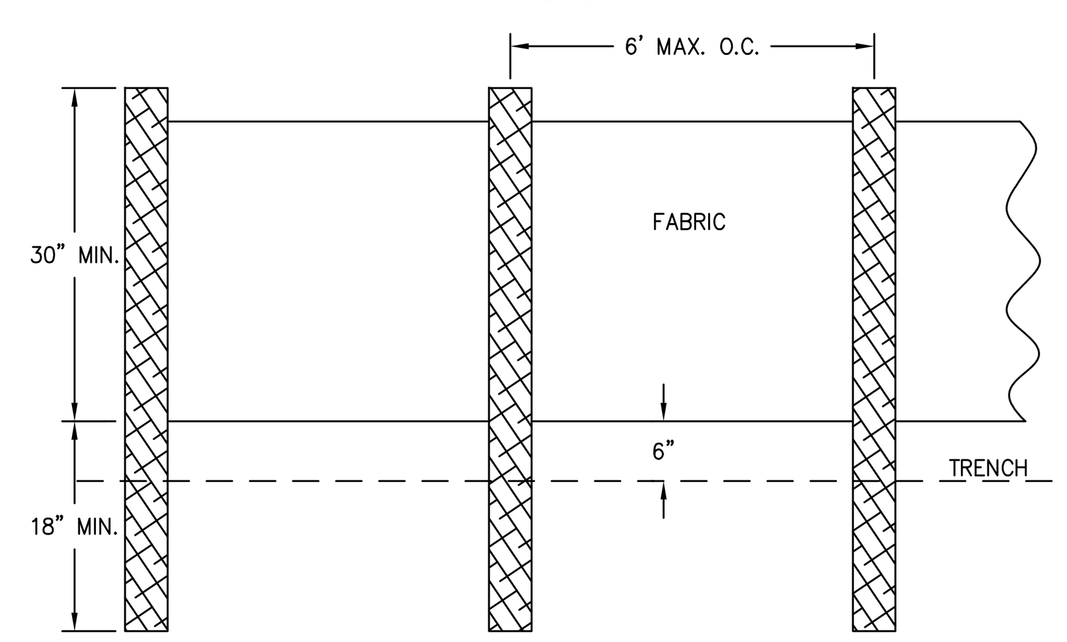
PROFILE VIEW

NOTES:
1. CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
2. THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
3. THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER EDGES.
4. THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
5. THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
6. GEOTEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO AASHTO M288-96, SECTION 7.3, TABLE 3).

Sd1-NS SILT FENCE - TYPE NON-SENSITIVE



NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

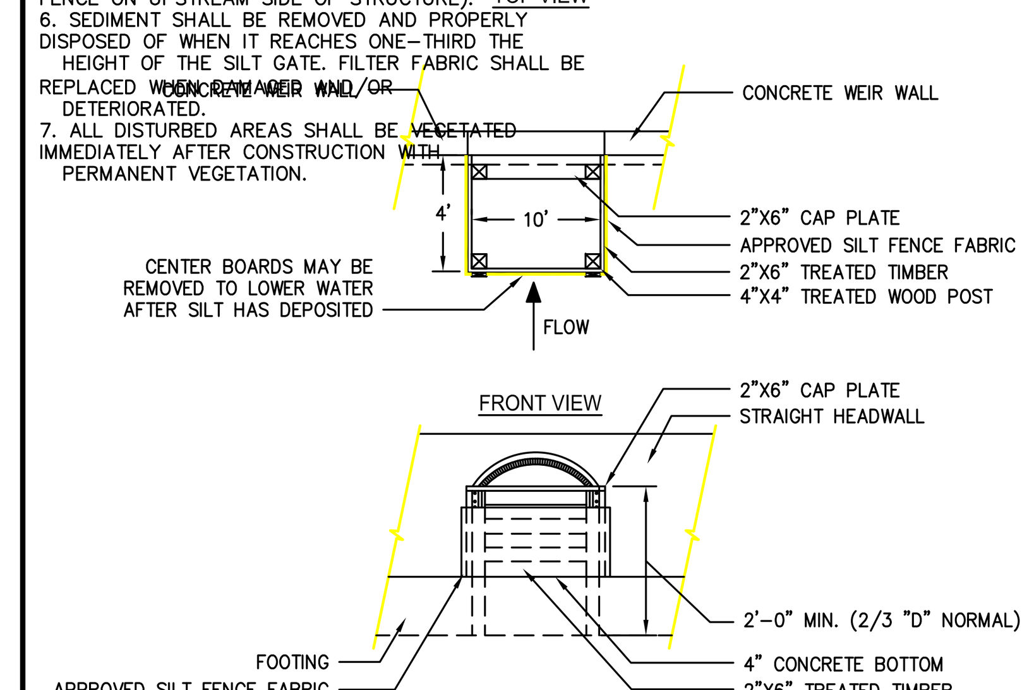


FRONT VIEW

SILT CONTROL GATE WITH SLOTTED BOARD DAM (Rt-B)

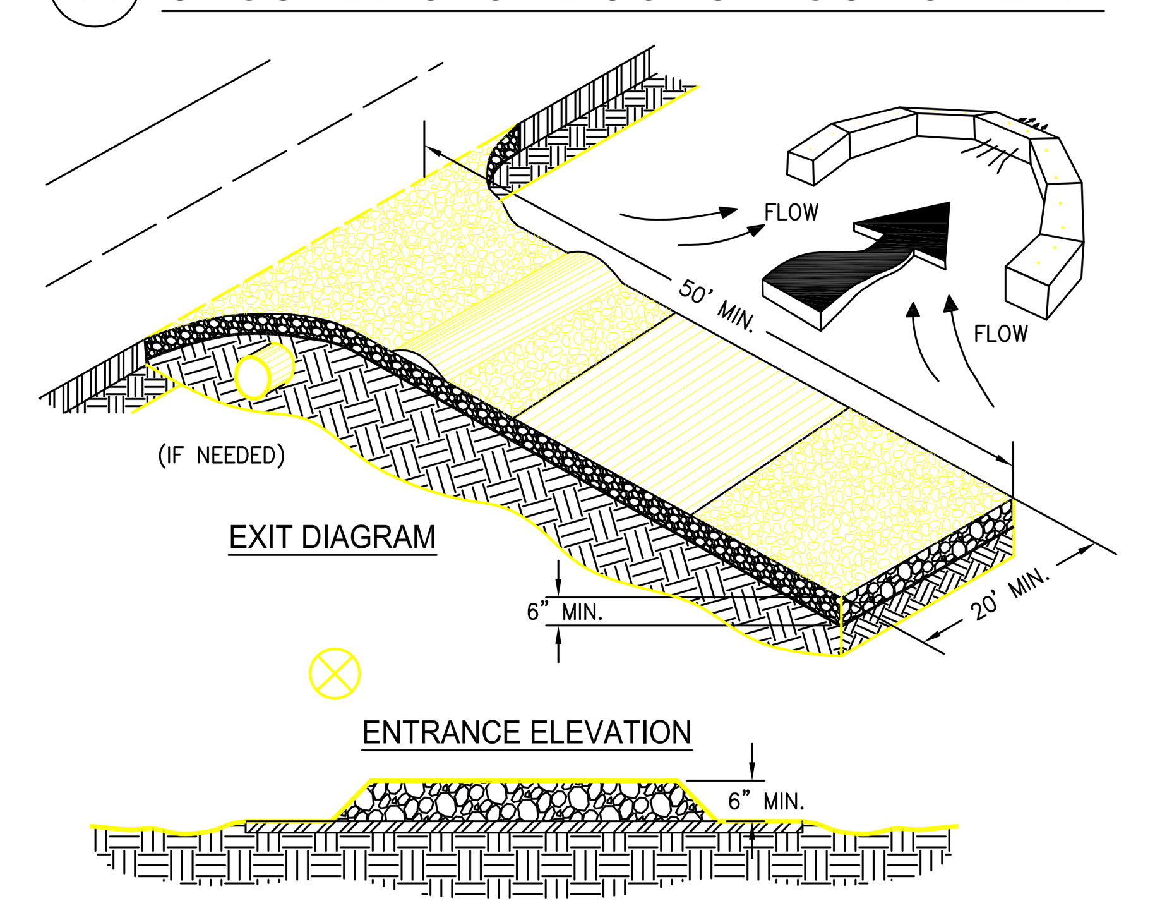
TYPE 2: FOR STRAIGHT HEADWALLS

NOTES:
1. SLOTTED BOARD DAM SHALL BE INSTALLED WITH MINIMUM SIZE 4" X 4" POSTS.
2. BOARDS SHOULD HAVE A 0.5" TO 1"SPACE BETWEEN THEM AND MUST HAVE GROUND OR BOTTOM OF CONCRETE CONTACT.
3. MINIMUM SIZE 3-4" STONE FILTER SHALL BE INSTALLED AROUND THE UPSTREAM SIDE OF THE BOARD DAM.
4. POSTS FOR THE SILT CONTROL GATE SHALL BE 4: X 4" TREATED LUMBER AND FACE BOARDS SHALL BE 2" X 6" TREATED LUMBER WITH NO SPACING ALLOWED BETWEEN BOARDS.
5. AN APPROVED SILT FENCE FABRIC SHALL BE SECURELY FASTENED TO THE FRONT OF THE STRUCTURE USING STABLES (BE SURE TO HAVE SILT FENCE ON UPSTREAM SIDE OF STRUCTURE).
6. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT GATE. FILTER FABRIC SHALL BE REPLACED WHEN DAMAGED AND/OR DETERIORATED.
7. ALL DISTURBED AREAS SHALL BE VEGETATED IMMEDIATELY AFTER CONSTRUCTION WITH PERMANENT VEGETATION.



USES: A SILT CONTROL GATE IS A STRUCTURE PLACED ON A PIPE, SINGLE BARREL BOX CULVERT, OR DROP INLET TO FORM A BASIN TO TRAP SILT.
NOTE: SILT CONTROL GATES SHALL NOT BE USED ON STRUCTURES THAT CONVEY STATE WATERS.

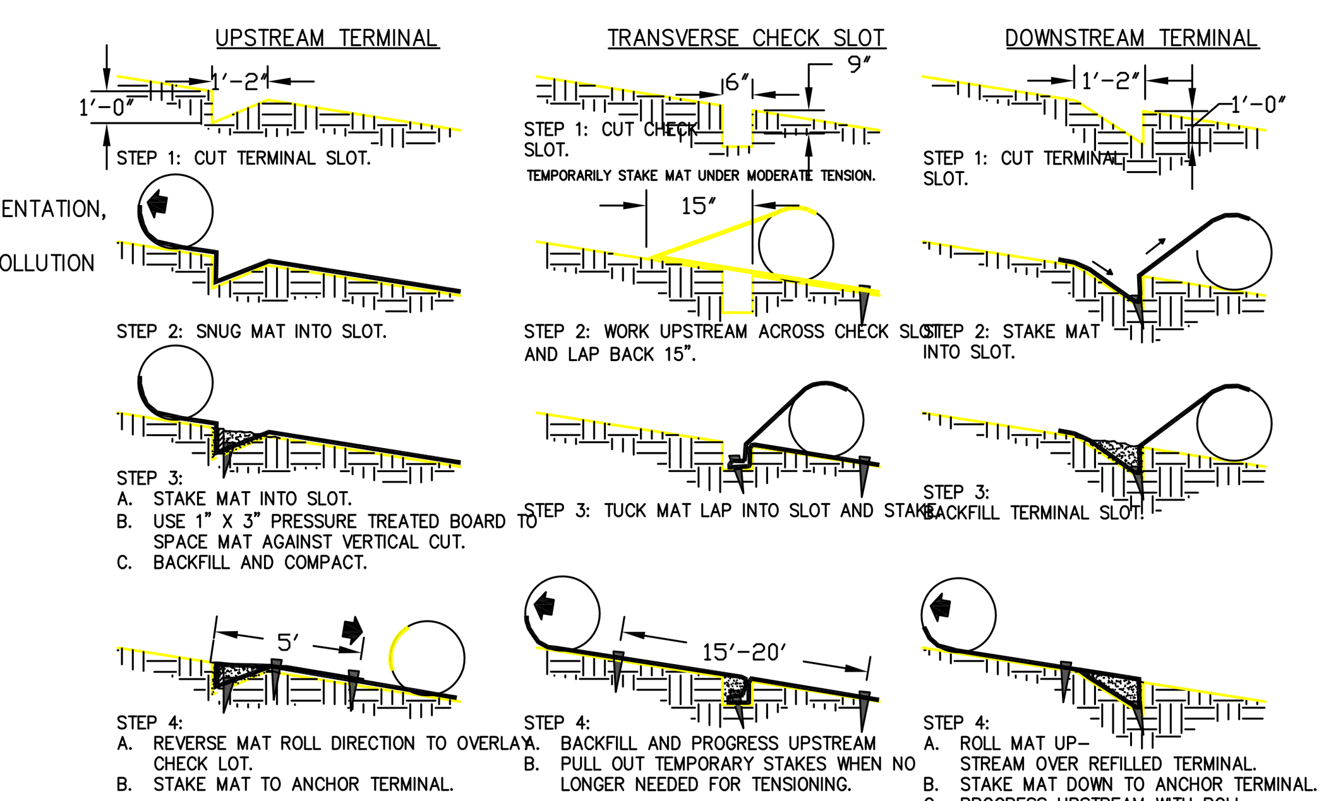
Co CRUSHED STONE CONSTRUCTION EXIT

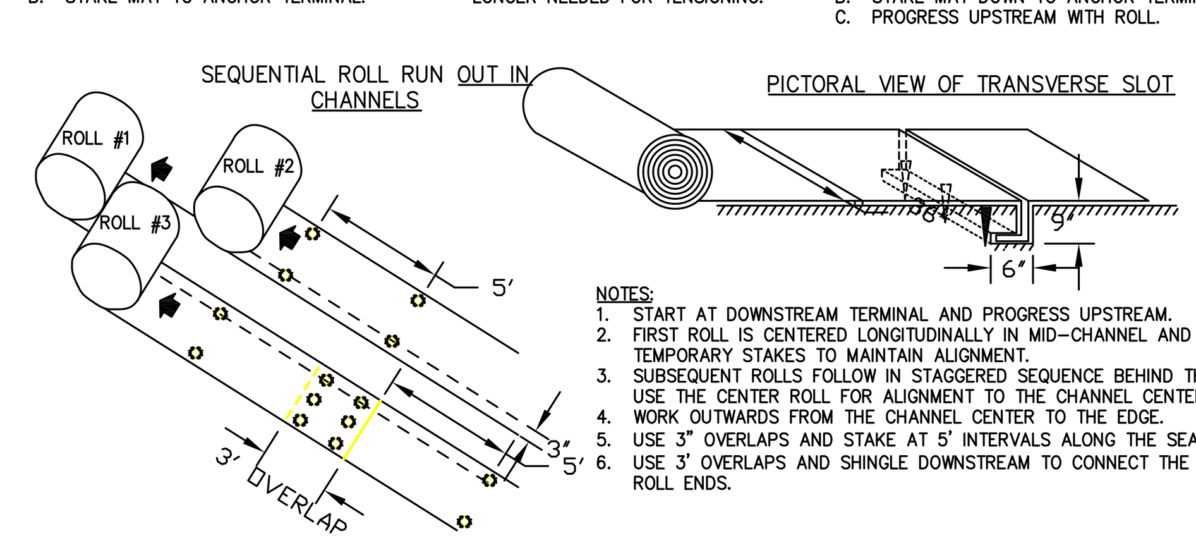


NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%..
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Ss TYPICAL INSTALLATION GUIDELINES FOR ROLLED EROSION CONTROL PRODUCTS (RECP)

BLANKET AND MATTING CROSS-SECTIONS





NOTES:
1. START AT DOWNSTREAM TERMINAL AND PROGRESS UPSTREAM.
2. FIRST ROLL IS CENTERED LONGITUDINALLY IN MID-CHANNEL AND PINNED WITH TEMPORARY STAKES TO MAINTAIN ALIGNMENT.
3. SUBSEQUENT ROLLS FOLLOW IN STAGGERED SEQUENCE BEHIND THE FIRST ROLL. USE THE CENTER ROLL FOR ALIGNMENT TO THE CHANNEL CENTER.
4. WORK OUTWARDS FROM THE CHANNEL CENTER TO THE EDGE.
5. USE 3" OVERLAPS AND STAKE AT 5' INTERVALS ALONG THE SEAMS.
6. USE 3' OVERLAPS AND SHINGLE DOWNSTREAM TO CONNECT THE LINING AT THE ROLL ENDS.

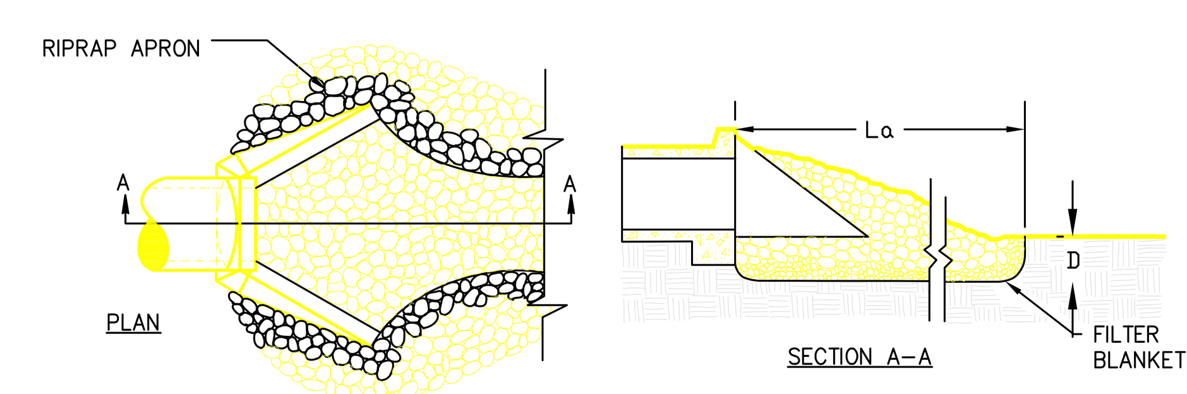
DS2 PIEDMONT VEGETATIVE COVERS DS3

MONTH	TEMP.	RATE/AC.	PERM SEED	RATE/AC
1. JANUARY	RYEGRASS	40-50LB.	UNHULLED BERMUDA SERICEA LESPEDEZA**	8-10 LB. 30-40 LB.*
2. FEBRUARY			UNHULLED BERMUDA SERICEA LESPEDEZA** FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZA WEEPING LOVEGRASS	2-3 BU. 20-25 LB. 4-6 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA** FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
4. APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN GRASS	2-3 BU. 30-40 LB. 20-25 LB. 35 LB.	WEEPING LOVEGRASS HULLED BERMUDA BAHIA	4-6 BU. 5-6 LB. 40-60 LB.
5. MAY	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVEGRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVEGRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.		
8. AUGUST	RYEGRASS WEEPING LOVEGRASS	40-50 LB. 4-6 LB.		
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA** FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHULLED BERMUDA FESCUE SERICEA LESPEDEZA	8-10 LB. 30-50 LB. 30-40 LB.
12. DECEMBER	RYE RYEGRASS WHEAT	2-3 BU. 40-50 LB. 2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.

* USE A MINIMUM OF 40 LBS. SCARIFIED SEED. REMAINDER MAY BE UNSCARIFIED, CLEAN HULLED SEED.
** USE EITHER COMMON SERALA, OR INTERSTATE SERICEA LESPEDEZA.
1. ALL AREAS TO BE SEEDED SHALL HAVE LIME APPLIED AT A RATE OF 90 LB./1000 S.F. LIME AND FERTILIZER TO BE APPLIED PRIOR TO APPLICATION OF SEED AND MIXED THOROUGHLY WITH THE SOIL.
2. ALL AREAS SEEDED SHALL HAVE AN APPLICATION OF STRAW MULCH (APPROXIMATELY 2 1/2 TONS PER ACRE) IMMEDIATELY AFTER PLANTING REGARDLESS OF PLANTING METHOD. MAINTAIN 1 YEAR
3. MINIMUM FERTILIZER: AGRICULTURAL LIME 1 TON PER ACRE 6-12-12 OR 5-10-15 1000 LB. PER ACRE

St RIPRAP OUTLET PROTECTION

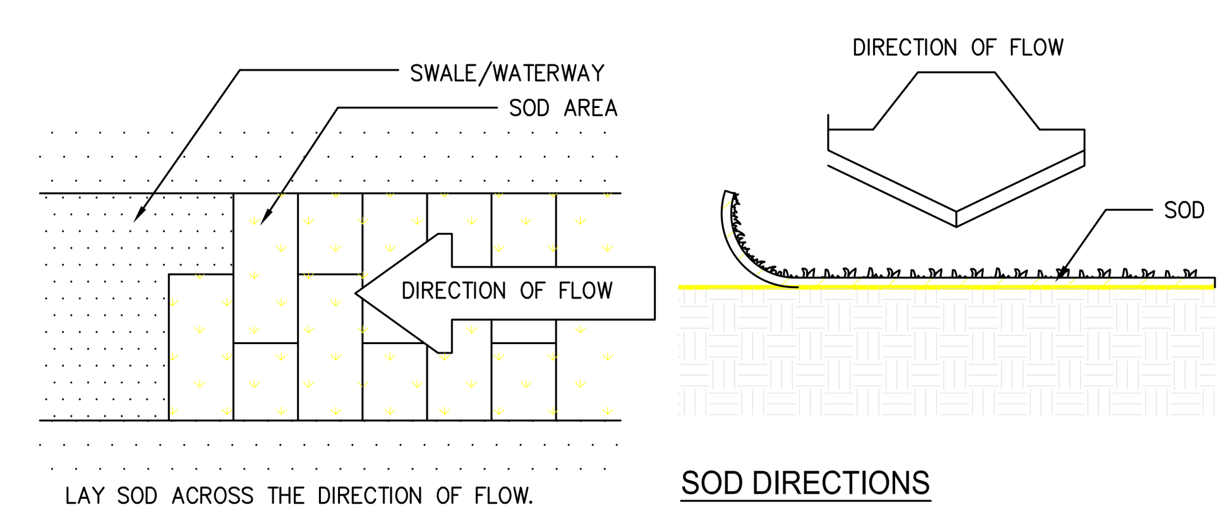
PIPE OUTLET TO WELL DEFINED CHANNEL



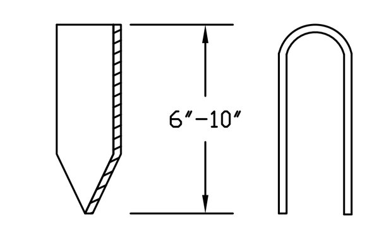
NOTES:
1. La IS THE LENGTH OF THE RIPRAP APRON.
2. D = 1.5 TIMES THE MAXIMUM STONE THAN 6". BUT NOT LESS DIAMETER
3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

SODDED SWALE

AS A PART OF TEMPORARY DIVERSION SWALES (Di)



SOD DIRECTIONS

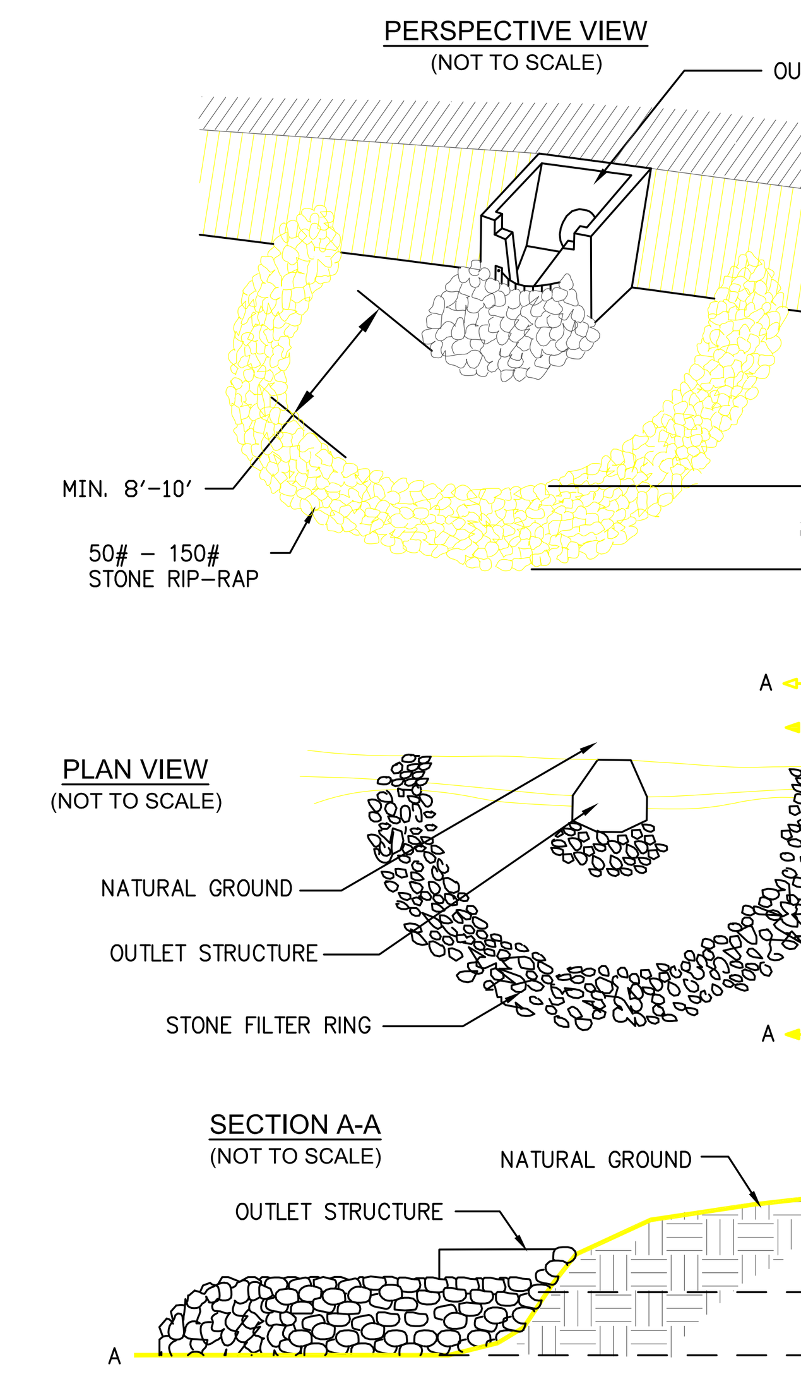


IN CRITICAL AREAS, SECURE SOD WITH NETTING USING STAPLES.

USE PEGS OR STAPLES TO FASTEN SOD FIRMLY -- AT THE ENDS OF STRIPS AND IN THE CENTER, OR EVERY 3-4 FEET IF THE STRIPS ARE LONG. WHEN READY TO MOW, DRIVE PEGS OR STAPLES FLUSH WITH THE GROUND.

PEG DETAIL

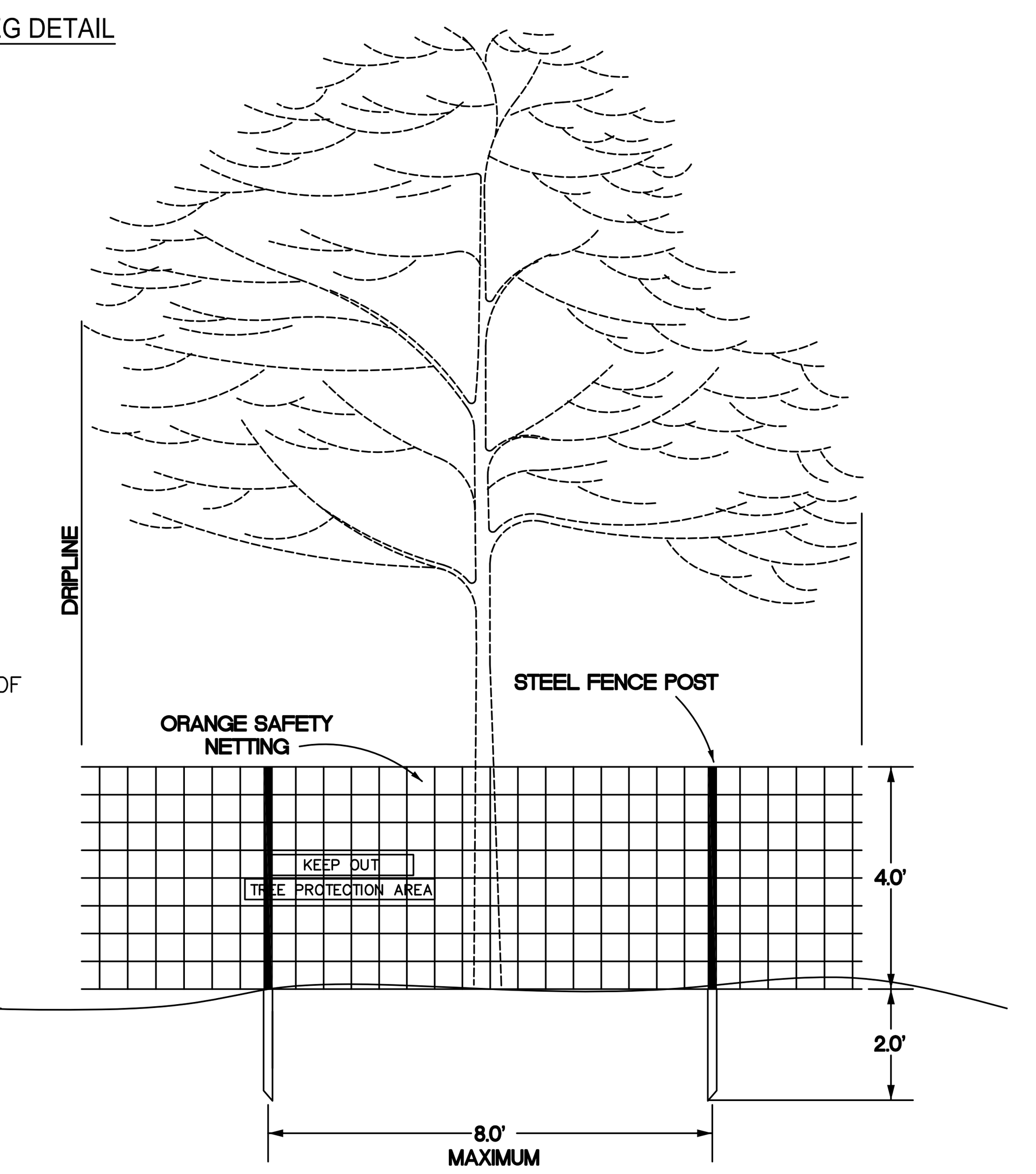
Fr STONE FILTER RING



Tr TREE PROTECTION BARRIER

N.T.S.

TREE PROTECTION BARRIER SPECIFICATIONS:
1. THE TREE PROTECTION BARRIERS SHALL BE ERECTED PRIOR TO MOVING CONSTRUCTION EQUIPMENT ONTO THE SITE WHERE THE TREES OR VEGETATION ARE LOCATED.
2. FOR TREE PROTECTION BARRIERS, LAY OUT A SQUARE AROUND THE TREE WITH THE TRUNK CENTERED IN THE SQUARE. DRIVE A STEEL POST NORMAL TO THE GROUND AT EACH CORNER, AND AT THE MIDPOINT OF EACH SIDE, TO A DEPTH ⅓ OF THE TOTAL POST LENGTH.
3. PLACE THE ORANGE PLASTIC FENCE ALONG THE SIDE OF ALL POSTS. ENDS OF FENCING SHALL OVERLAP A DISTANCE THAT IS ½ THE FENCE HEIGHT. SECURE OVERLAP WITH WIRE.
4. SECURE THE FENCE TO POST WITH WIRE AT TOP, MIDDLE, AND BOTTOM OF POST. WIRE SHALL BE TIGHT ENOUGH TO PREVENT THE FENCE FROM SLIPPING DOWN.
5. MAINTENANCE SHALL COMMENCE IMMEDIATELY AFTER ERECTION OF TREE PROTECTION BARRIER. THE BARRIER SHALL NOT BE TEMPORARILY REMOVED TO ALLOW EQUIPMENT ACCESS THEREBY PASSING OVER PROTECTED AREA. MAINTENANCE SHALL CONSIST OF REPLACING DAMAGED POSTS, FENCE, AND TIGHTENING FENCE.



24 HOUR CONTACT & PERSON RESPONSIBLE FOR ES&PC:
MR. OTIS DARBY
24 HR. PH. NO.: 404-790-4675

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SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9219

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL ENGINEER MARK H WALTON

GSWCC #2494
CERTIFIED DESIGN PROF.
EXP. 11/16/2020

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

NO.	DATE	REVISION	BY

ESPC DETAILS
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

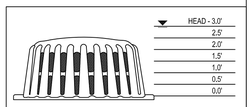
DRAWING NUMBER 31873-E
SHEET: 8 OF: 13

FILTER OPTIONS
FILTER HAT IS AVAILABLE IN THREE OPTIONS:
1) ALL HIGH-FLOW MATERIAL
2) ALL HIGH-EFFICIENCY MATERIAL
3) HIGH-FLOW MATERIAL ON TOP HALF OF HAT, HIGH-EFFICIENCY MATERIAL ON BOTTOM HALF (THIS FILTER COVER IS RECOMMENDED FOR ALL ROADWAY PROJECTS.)
IT IS THE PURCHASERS RESPONSIBILITY TO PURCHASE APPROPRIATE FILTER HAT. PURCHASER SHALL PROVIDE ROCK FOR FILTER POCKETS.

FILTER HAT INSTALLATION
FILTER HAT SLIDES DIRECTLY OVER FILTER FRAME. TO KEEP FILTER FRAME IN PLACE OVER STORM STRUCTURE, ROCK POCKETS ARE SEWN DIRECTLY INTO FILTER HAT MATERIAL. EVERY FILTER HAT COMES IN ONE PIECE FOR EASY INSTALLATION.

MAINTENANCE
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER. INSPECT S-200A DAILY FOR CUTS, ABRASIONS, AND PROPER INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.

SPECIFICATIONS
FILTER FABRIC SILT-SAVER HAT SHALL BE BASED ON DESIGN PROFESSIONAL'S SPECIFICATIONS.



FRAME & FILTER DISCHARGE ANALYSIS

HEAD (FT)	EQUATION USED	OPENING AREA (SF)	FRAME FLOW (CFS)	FILTER AREA (SF)	FILTERED FLOW (CFS)
0.5	O	2.1	7	6	2
1.0	O	3.9	19	12	3
1.5	O	7.0	41	18	5
2.0	O	8.0	54	24	7
2.5	O	9.2	70	30	9
3.0	O	9.2	77	——	77

DUE TO NARROW SLOT, A TRANSITION WILL OCCUR BETWEEN WEIR AND ORIFICE CONDITIONS. ORIFICE FLOW WILL PROVIDE A MORE CONSERVATIVE ESTIMATE OF FLOW. THEREFORE THE LESSER OF THE ORIFICE AND WEIR FLOWS WILL BE USED FOR EACH STAGE CALCULATION.

FILTER MATERIAL ALLOWS 129 gpm/SF OR 0.29cfs/SF
ORIFICE EQUATION (O) = Q=0.6A(2gh)^0.5
P = FEET PERIMETER
h = HEAD IN FEET
Q = CAPACITY IN cfs
A = FREE OPEN AREA OF FRAME
g = 32.2 FEET-PER-SECOND/SECOND

Sd2-SS
(Silt Saver)

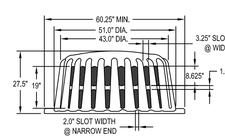
REPLACEMENT FILTERS: MODEL # S-240

SQUARE FRAME & FILTER ASSEMBLY
Model # S-200A

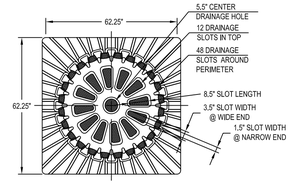
FRAME MATERIAL: BLACK 0.25" HMWPE
FILTER FABRIC MATERIAL: REFER TO SPEC.
SCALE: NOT TO SCALE
LAST UPDATED: APRIL 2010

SILT-SAVER, INC. 1094 CULPEPPER DRIVE, CONYERS, GA 30094 PHONE: (770) 388-7818 FAX: (770) 388-7640 TOLL FREE: 1-888-382-SILT (7458) www.siltsaver.com

SILT - SAVER
EROSION AND SEDIMENT CONTROL PRODUCTS



ELEVATION VIEW

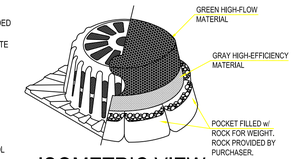


PLAN VIEW

FILTER OPTIONS
FILTER IS AVAILABLE IN TWO OPTIONS:
1) ALL HIGH-FLOW FILTER
2) HIGH-FLOW MATERIAL ON TOP HALF, HIGH-EFFICIENCY MATERIAL ON BOTTOM HALF (THIS FILTER COVER IS RECOMMENDED FOR ALL ROADWAY PROJECTS.) (DOT FILTER)
IT IS THE PURCHASERS RESPONSIBILITY TO PURCHASE APPROPRIATE FILTER. PURCHASER SHALL PROVIDE ROCK FOR FILTER POCKETS.

FILTER INSTALLATION
FILTER SLIDES DIRECTLY OVER FILTER FRAME. TO KEEP FILTER FRAME IN PLACE OVER STORM STRUCTURE, ROCK POCKETS ARE SEWN DIRECTLY INTO FILTER. EVERY FILTER COMES IN ONE PIECE FOR EASY INSTALLATION.

MAINTENANCE
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER. INSPECT FRAME AND FILTER DAILY FOR CUTS, ABRASIONS, AND PROPER INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.



ISOMETRIC VIEW
SHOWN WITH DOT FILTER

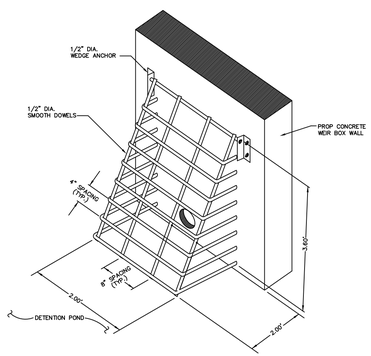
Sd2-SS
(Silt Saver)

REPLACEMENT FILTERS: MODEL # S-240HF OR S-240 DOT

SQUARE FRAME & FILTER ASSEMBLY
Model # S-200A

FRAME MATERIAL: BLACK 0.25" HMWPE
FILTER FABRIC MATERIAL: REFER TO SPEC
SCALE: NOT TO SCALE
LAST UPDATED: JANUARY 2015

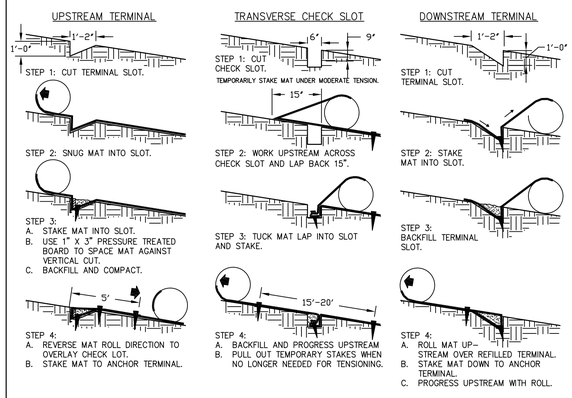
SILT-SAVER, INC. 1094 CULPEPPER DRIVE, CONYERS, GA 30094 PHONE: (770) 388-7818 FAX: (770) 388-7640 TOLL FREE: 1-888-382-SILT (7458) www.siltsaver.com



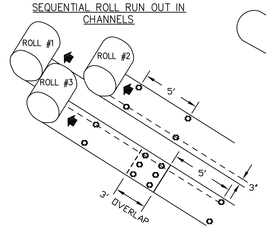
PREFABRICATED TRASH RACK DETAIL
SCALE: NTS

TYPICAL INSTALLATION GUIDELINES FOR ROLLED EROSION CONTROL PRODUCTS (RECP) Ss

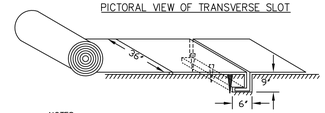
BLANKET AND MATTING CROSS-SECTIONS



SEQUENTIAL ROLL RUN OUT IN CHANNELS



PICTORAL VIEW OF TRANSVERSE SLOT



NOTES:
1. START AT DOWNSTREAM TERMINAL AND PROGRESS UPSTREAM.
2. FIRST ROLL IS CENTERED LONGITUDINALLY IN MID-CHANNEL AND PINNED WITH TEMPORARY STAKES TO MAINTAIN ALIGNMENT.
3. SUBSEQUENT ROLLS FOLLOW IN STAGGERED SEQUENCE BEHIND THE FIRST ROLL. USE THE CENTER ROLL FOR ALIGNMENT TO THE CHANNEL CENTER.
4. WORK OUTWARDS FROM THE CHANNEL CENTER TO THE EDGE.
5. USE 3" OVERLAPS AND STAKE AT 5' INTERVALS ALONG THE SEAMS.
6. USE 3' OVERLAPS AND SHINGLE DOWNSTREAM TO CONNECT THE LINING AT THE ROLL ENDS.

24 HOUR CONTACT & PERSON RESPONSIBLE FOR ES&PC:
MR. OTIS DARDY
24 HR. PH. NO.: 404-790-4675

GEORGIA811
Utilities Protections Center, Inc.
Know what's below! Call before you dig

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9229

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H. WALTON

CSWCC #2494
CERTIFIED DESIGN PROF.
EXP.: 11/16/2020

ESPC DETAILS
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

NO.	DATE	REVISION	BY

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

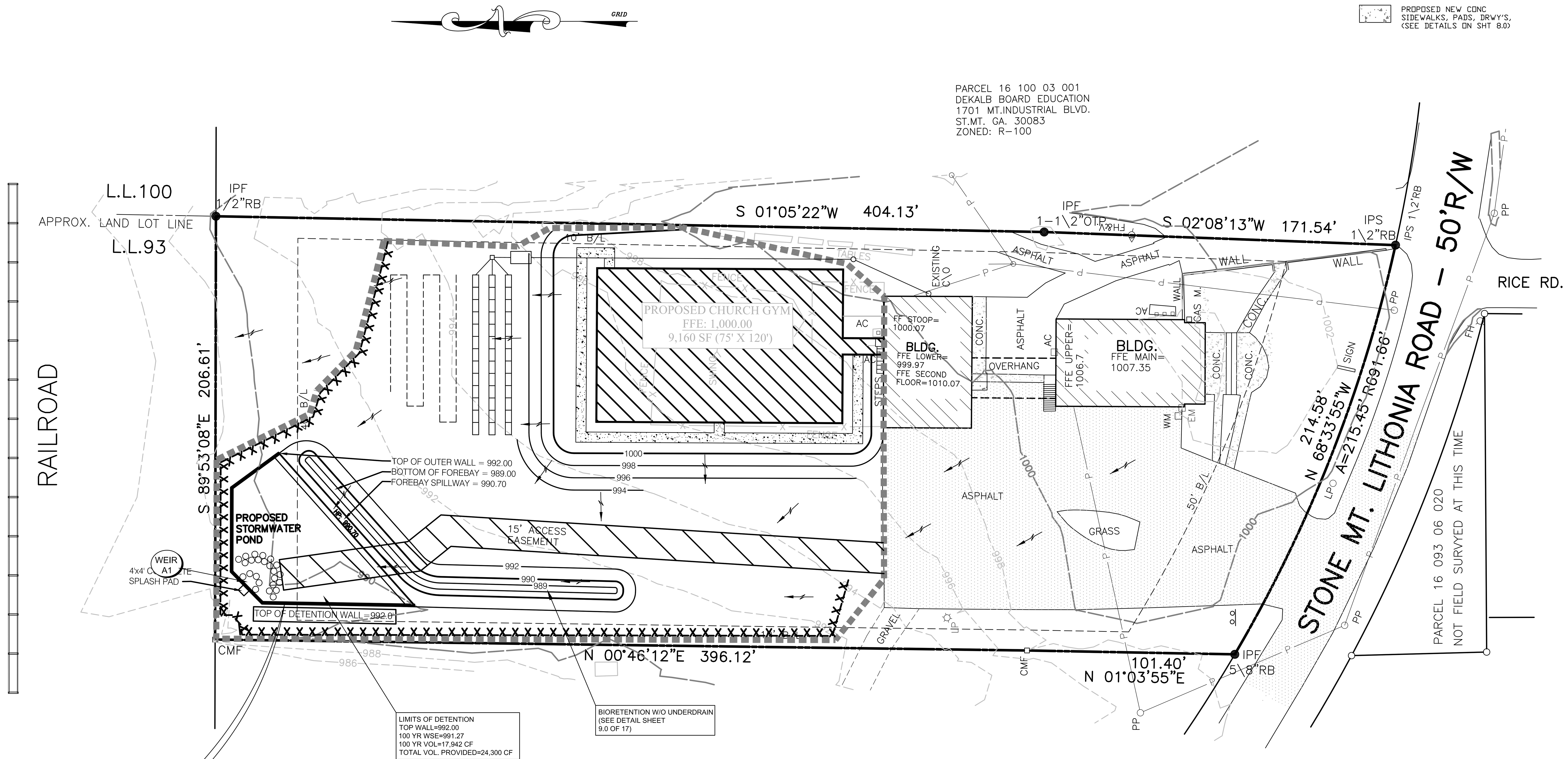
DRAWING NUMBER
31873-E

SHEET: 9 OF: 13

NOMENCLATURE LEGEND

EXIST.	= EXISTING	FC	= FACE OF CURB
LL	= LAND LOT	BC	= BACK OF CURB
PERM.	= PERMANENT	H/C	= HANDICAP
ESMT.	= EASEMENT	F.F.E.	= FINISHED FLOOR ELEVATION
DB / PG	= DEED BOOK & PAGE	SSE	= SANITARY SEWER EASEMENT
P.O.B.	= POINT OF BEGINNING	HORIZ.	= HORIZONTAL
R/W	= RIGHT-OF-WAY	VERT.	= VERTICAL
P/L	= PROPERTY LINE	INV.	= INVERT
IPS	= IRON PIN SET	Rt	= RETRO FIT
IPF	= IRON PIN FOUND	Lv	= LEVEL SPREADER
RB	= REBAR	D.I.P.	= DUCTILE IRON PIPE
LF	= LINEAR FEET	FH	= FIRE HYDRANT
BSL	= BLDG. SETBACK LINE	V.C.P.	= VITRIFIED CLAY PIPE
HDWL	= CONCRETE HEADWALL	A.C.C.M.P.	= ALUMINIZED COATED CORRUGATED METAL PIPE
AGI	= AREA GRATE INLET	R.C.P.	= REINFORCED CONCRETE PIPE
JB	= JUNCTION BOX	P.V.C.	= POLYVINYL CHLORIDE PIPE
PWI	= PEDESTAL WEIR INLET	P.P.	= POWER POLE
SWCB	= SINGLE WING CATCH BASIN	×821.50	= SPOT ELEVATION
HCGI	= HOODED CURB GRATE INLET	⟶	= SURFACE DRAINAGE DIRECTION

▨ PROPOSED NEW CONC SIDEWALKS, PADS, DRWY'S, (SEE DETAILS ON SHT 8.0)



NOTE:
BUILDING PERMIT APPLICATION IS REQUIRED FOR RETAINING WALLS; SHOWING DETAILS OF RETAINING WALL AND BOTH DESIGN AND PROVIDED CALCULATIONS OF FACTORS OF SAFETY FOR: SLIDING, BEARING CAPACITY, AND OVERTURNING, ANY ASSUMPTIONS, DESIGN LOADS, PASSIVE EARTH PRESSURE, ACTIVE EARTH PRESSURE, BACKFILL MATERIALS DESCRIPTION.

SEE SHEET 4.5 FOR TRASH RACK DETAIL

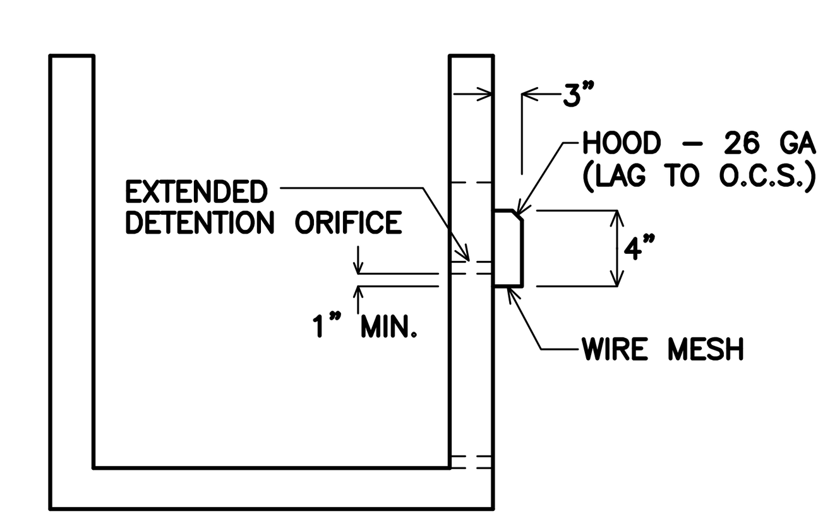
24 HOUR CONTACT PERSON RESPONSIBLE FOR ESPC:
OTIS DARBY #0000046564
PH NO. 404-790-4675
LEVEL 1A EXPIRES 10-24-2019

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

24 HOUR CONTACT & PERSON RESPONSIBLE FOR ES&PC:
MR. OTIS DARBY
24 HR. PH. NO.: 404-790-4675



HOODED WQ OUTLET PROTECTION DEVICE

GEORGIA811 Utilities Protections Center, Inc.
Know what's below! Call before you dig

SCALE: 1"=30'

MASTER 31556

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9219
PATRICK & ASSOCIATES, INC.
GEORGIA REGISTERED PROFESSIONAL ENGINEER No. 25863 MARK H WALTON
GSWCC #2494
CERTIFIED DESIGN PROF.
EXP. 11/16/2020

JOB NO. 17-738
COMPUTED No.
DRAWN BY: MH
CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

NO.	DATE	REVISION	BY

GRADING AND DRAINAGE PLAN
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER 31873-E

SHEET: 10 OF: 13

WATER LINE AND RELATED MATERIALS QUANTITIES LIST (*)

1.5" SERVICE PIPE:	50 LF

(*) QUANITITIES NOTED ABOVE ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY ALL QUANITITES AND DETERMINE TAP FEES BEFORE ORDERING MATERIALS AND RIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

SEPTIC AND RELATED MATERIALS QUANTITIES LIST (*)

PRE-CAST DISTRIBUTION BOX:	1 EA.
1,500 GALLON STANDARD SEPTIC TANK:	1 EA.
STD. 6" PVC SS MAIN:	200 LF
STD. SANITARY SEWER CLEANOUT:	1 EA.

(*) QUANITITIES NOTED ABOVE ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY ALL QUANITITES AND DETERMINE TAP FEES BEFORE ORDERING MATERIALS AND RIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

NOMENCLATURE LEGEND

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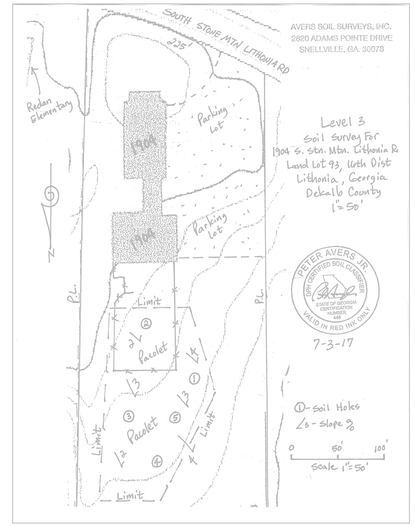
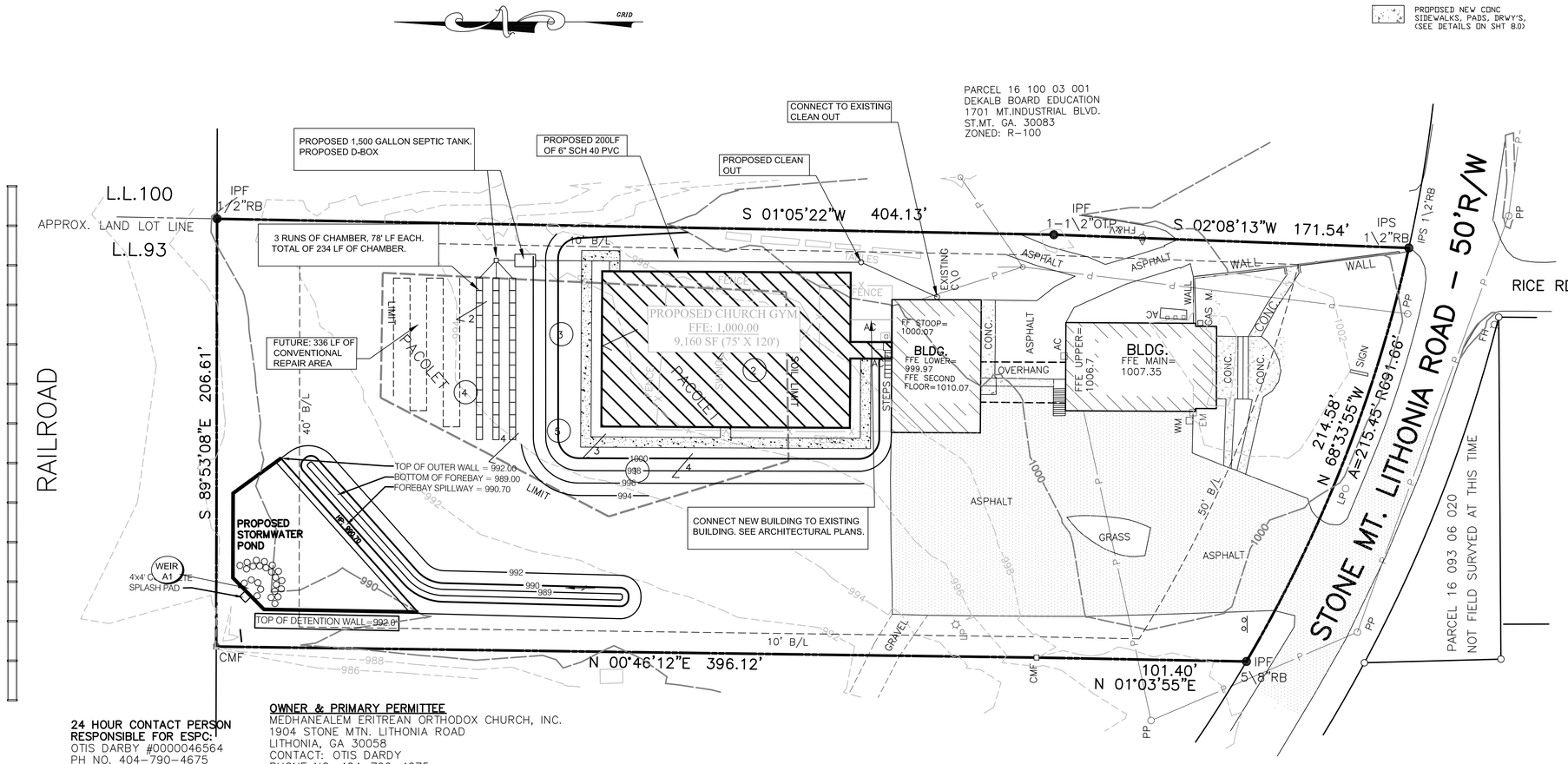
PROPOSED NEW CONC SIDEWALKS, PADS, DRWY'S, (SEE DETAILS ON SHT 8.0)





24 HOUR CONTACT PERSON RESPONSIBLE FOR ESPC:
OTIS DARBY #0000046564
PH NO. 404-790-4675
LEVEL 1A EXPIRES 10-24-2019

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

PARCEL 16 093 05 003
PAREX INC.
4125 E LA PALMA AVE STE 250
ANAHEIM CA. 92807
DB.15439 PG.241
ZONED: M

CALCULATIONS FOR HEALTH DEPARTMENT

CHURCH: CLASSROOM AND GYMNASIUM
(ASSUME MAX OF 150 ATTENDEES, SUNDAYS ONLY)
TOTAL BUILDING DISCHARGE = 150x5=750 GPD

ABSORPTION FIELD AREA IN PACOLET SOIL,
PERCOLATION RATE = 45 MIN/INCH
REQUIRED AREA = [SQRT(PERC. RATE) / 5] * GPD
REQUIRED AREA = [SQRT(45)/5]*750
REQUIRED AREA = 1,007 SF

REQUIRED SYSTEM = [1,007 SF] / [3 SF/LF]
REQUIRED SYSTEM = 336 LF OF CONVENTIONAL SYSTEM
REQUIRED SYSTEM = 202 LF OF CHAMBER

ALL DESIGN & CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LIFT STATIONS & BACKFLOW PREVENTION SHALLCOMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS 2009EDITION, VERSION 1.0. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.

DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE)IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EASEMENTS THAT WILL BE DEDICATEDTO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS-BUILT PLANS.

PROJECTS INVOLVING CONSTRUCTION OF TOWNHOMES AND/OR CONDOMINIUMS ARE REQUIRED TOHAVE INDIVIDUAL METERS FOR EACH UNIT.

FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY WATER & SEWER ENGINEER BEFORE CHANGES ARE IMPLEMENTED.

FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTENANCE BOND TO DEKALB COUNTY FORWATERSHED UTILITIES PRIOR TO APPROVAL OF AS-BUILT PLANS.

CONTRACTOR MUST JET CLEAN AND T.V. SANITARY SEWER LINES AFTER CONNECTIONS ARE MADE TO THEEXISTING SEWER TIE-IN POINTS. TRACER WIRE TO BE INSTALLED FOR PVC PIPES.

THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHAGES DIRECTION(TEES,BENDS, ETC.)

WATER & SEWER DEPT. REQUIRES THAT A BACKFLOW PREVENTER DEVICE BE INSTALLED(IF CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE LINE, AND ANY OTHER TYPEOF WATER SERVICE CONNECTION.

POTABLE WATER MAINS SHALL MAINTAIN A TEN (10') FOOT HORIZONTAL AND EIGHTEEN (18") INCHVERTICAL CLEARANCE FROM NON-POTABLE PIPELINES.

GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).

PROVIDE EASEMENT PLAT & DEED FOR REVIEW FOR ALL SANITARY SEWER AND WATER EASEMENTS.(AFTER CONSTRUCTION AND WITH AS-BUILTS)

WATER & SEWER ACCESS FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES:NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC.THESE FEES ARE TO BE PAID AT 330 W. PONCE DE LEON AVE, 2ND FLOOR.FAILURE TO SETTLE THESE FEES WILL RESULT IN DELAYS FOR OBTAINING WATER & SEWER PLAN APPROVAL,AS WELL AS CERTIFICATE OF OCCUPANY/COMPLETION.

INDICATE WHETHER ONSITE SEWER / WATER IS PUBLIC OR PRIVATE

CONTRACTOR MUST NOTIFIY THE DWM CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIORTO COMMENCING CONSTRUCTION ACTIVITIES.
MERCER MCGUIRE: (770)274-9024
LONNIE KELLEY: (404)391-4164LES
MOSLEY: (404) 538-5101
DANIEL TUCKER: (404) 732-6411
BRUCE MAYHEW: (678) 516-8627

AS-BUILT WATER/SEWER PLANS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

NO PRESSURE REDUCING VALVES ARE TO BE INSTALLED ON FIRE LINES. ALL FIRE LINES ARE TO BE INPSECTED BY DEKALB FIRE SERVICE PRIOR TO COVERING. CALL 404-294-2438 FOR INSPECTIONS.

BORING OF ROAD REQUIRED FOR WATER AND/OR SEWER CONNECTION.

NOTIFY WATER AND SEWER INSPECTOR AT 770-621-7212 PRIOR TO START OF CONSTRUCTION.

CONTACT UTILITY COORDINATOR 770-492-5222 FOR ROADS AND DRAINAGE INFORMATION. CONTACT JOHN LITTLE 770-621-7200 FOR D.O.T. UTILITY PERMIT INFORMATION.

THE OWNER WILL BE RESPONSIBLE FOR ANY REPAIR OR REPLACEMENT OF ANY IMPROVEMENTS WITHIN THE SANITARY SEWER/WATER/DRAINAGE EASEMENT(S) DUE TO MAINTENANCE OF SEWER/WATER/STORM DRAIN OF DEKALB COUNTY.

CONTACT BELLSOUTH AT 770-391-2810 BEFORE STARTING CONSTRUCTION.

24 HOUR CONTACT & PERSON RESPONSIBLE FOR ES&PC:
MR. OTIS DARBY
24 HR. PH. NO.: 404-790-4675

GEORGIA811
Utilities Protections Center, Inc.
Know what's below! Call before you dig

30 0 30 60
SCALE: 1"=30'

MASTER 31556

SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: (770) 483-9745
FAX: (770) 483-9209

PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H. WALTON

CSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/10/2020

NO.	DATE	REVISION	BY

JOB NO. 17-738
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CHECKED BY: MW
DATE: 01/05/2018
SCALE: 1"=30'

SEPTIC & WATER UTILITY PLAN
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 12 OF: 13

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HCGI	= HOODED CURB GRATE INLET		= SURFACE DRAINAGE DIRECTION

PROPOSED NEW ASPHALT CONC. ACCESS DRIVES (SEE DETAILS ON SHEET 8.0)

PROPOSED NEW CONCRETE SIDEWALKS, PADS, DRIVEWAY, (SEE DETAILS ON SHEET 8.0)

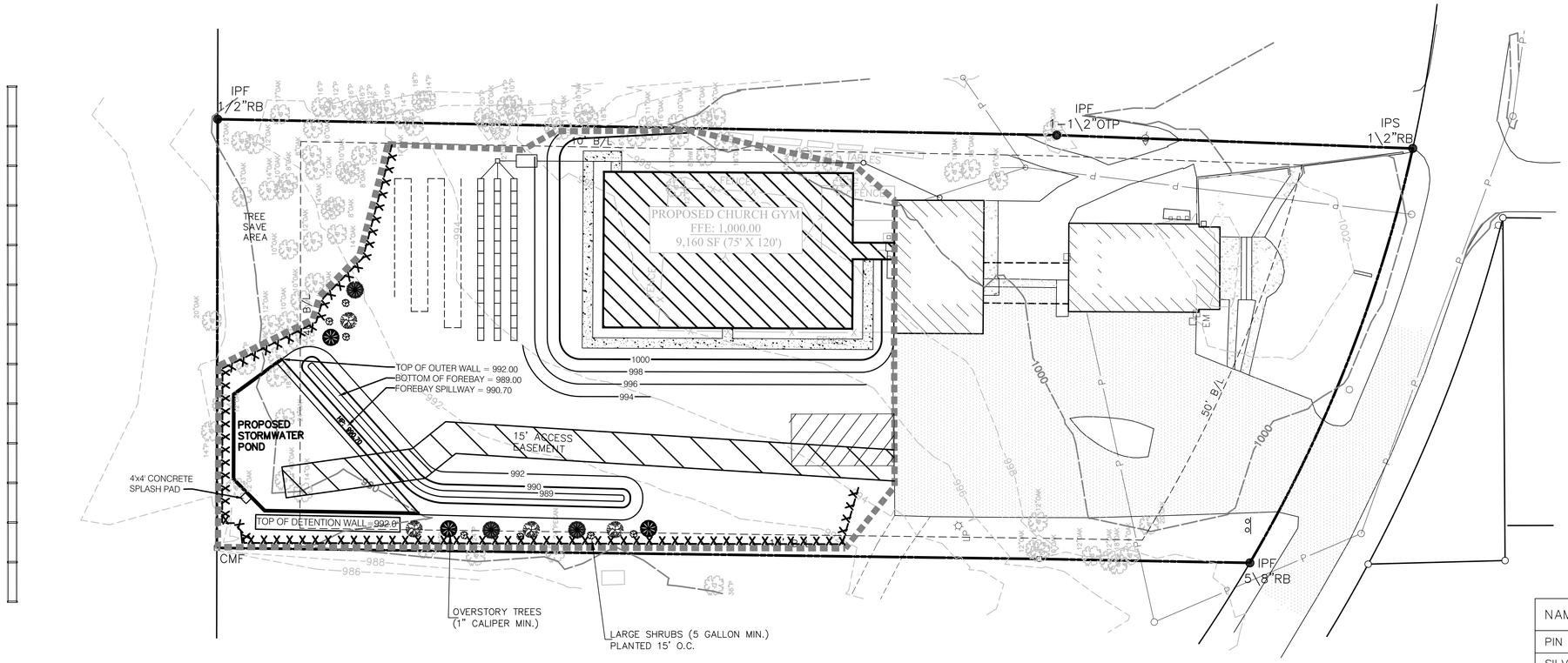
PROPOSED NEW CRUSHED ROCK BASE MATERIAL SURFACING (SEE DETAIL ON SHEET 8.0)

NOTE:
BUILDING PERMIT APPLICATION IS REQUIRED FOR RETAINING WALLS; SHOWING DETAILS OF RETAINING WALL AND BOTH DESIGN AND PROVIDED CALCULATIONS OF FACTORS OF SAFETY FOR: SLIDING, BEARING CAPACITY, AND OVERTURNING, ANY ASSUMPTIONS, DESIGN LOADS, PASSIVE EARTH PRESSURE, ACTIVE EARTH PRESSURE, BACKFILL MATERIALS DESCRIPTION.

Dekalb County Sanitation Notes:
The Dekalb County Sanitation Division has determined that installation of vertical cylindrical concrete posts, molded in place to secure the container, have been successful in preventing structural damage to the commercial property and/or the enclosure. Prior to installation, the commercial property shall schedule a consultation with a Sanitation Department Representative at 404-294-2903, to assess appropriate placement of molded cylinders in relation to the container. It is the responsibility of the commercial property to determine the applicability of regulatory limitations associated with the use of these posts, prior to installation.

The Dekalb County Sanitation division has determined that installation of gate stoppers that are operational and in place to secure enclosure doors have been successful in preventing structural damage to the commercial property and/or the enclosure from high winds and the equipment used to service the container. Prior to installation, the commercial property shall schedule a consultation with a sanitation department representative at 404-294-2903, to assess appropriate placement of the operational gate stoppers. It is the responsibility of the commercial property to determine the applicability of regulatory limitations associated with the use of these posts, prior to installation.

NOTE 'A': (DUMPSTER PAD REQUIREMENTS)
A 15' DEEP x 20' WIDE x 6" THICK CONCRETE SLAB (3500 PSI) WITH 4" CRUSHED STONE UNDER THE PAD SHALL BE CONSTRUCTED (WITH # 50 STEEL REBARS AT 12" O.C. BOTH WAYS AND TWO CONTINUOUS #5 BARS 12" APART RUNNING ALOUNG THE BACK SIDE OF THE SLAB). IN ADDITION, IF THE OWNER/DEVELOPER CHOOSES, THE DUMPSTER PAD SHALL BE ENTIRELY ENCLOSED WITH A 6' HIGH ALL WEATHER BARRIER/FENCE. THE DUMPSTER(S) SHALL BE ACCESSED VIA A DOUBLE SWINGING LOCKABLE GATE. 6" DIAMETER STEEL CONCRETE FILLED BOLLARDS (●) SHALL BE PLACED 2' INSIDE AND OUTSIDE THE THE DUMPSTER PAD AREA WHERE SHOWN. THE BOLLARDS SHALL BE SET IN AN 18" WIDE CONCRETE FOOTING, THREE FEET DEEP AND THE TOP OF THE BOLLARD SHALL EXTEND THREE FEET ABOVE GRADE. THE DUMPSTER PAD SHALL SLOPE FROM THE BACK OF THE PAD AT 1/4" PER FT TO THE FRONT OF THE PAD. THE CONCRETE REQUIREMENTS FOR THE NEW DRIVEWAY ENTRANCE TO THE OUTDOOR STORAGE AREA SHALL BE THE SAME AS DESCRIBED ABOVE FOR THE DUMPSTER PAD SPECIFICATIONS. THE TOP ELEVATION OF THE BACK 7.5' OF THE DRIVEWAY AND THE BACK OF THE DUMPSTER PAD SHALL BE SET AT THE SAME HEIGHT OF THE TOP OF THE NEW CONCRETE CURB.



NAME	# OF TREES	SIZE	SYMBOL
PIN OAK	4	1"	
SILVER MAPLE	3	1"	
SHUMARD OAK	3	1"	
TOTAL NO. OF TREES=10			

OWNER & PRIMARY PERMITTEE
MEDHANEALEM ERITREAN ORTHODOX CHURCH, INC.
1904 STONE MTN. LITHONIA ROAD
LITHONIA, GA 30058
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

DEVELOPER:
OTIS DARDY
DARDY CONSTRUCTION CO, LTD
1897 SMYRNA ROAD
CONYERS, GA 30094
CONTACT: OTIS DARDY
PHONE NO. 404-790-4675

ENGINEER:
MARK WALTON, GA. REG. P.E.
PATRICK & ASSOCIATES, INC.
928 BLACKLAWN ROAD SW
CONYERS, GA 30094
PHONE NO. 770-483-9745

Dekalb County Required Detention Pond Planting

Area of proposed stormwater pond = 7,702 SF
Planting area required = 30% of pond area
30% of pond area = 7,702 SF x 0.30 = 2,310 SF
Area required = 2,310 SF
Area provided = 7,150 SF

7 large shrubs (5 gallon minimum) x 50 SF = 350 SF
10 overstory trees x 200 SF = 2,000 SF
Total area provided = 2,350 SF

TREE SAVE CALCULATION:
25% OF EXISTING TREES THAT ARE 8" DBH OR GREATER MUST BE SAVED.
TREE DENSITY SURVEY FOR TREES GREATER THAN 8 INCHES:
NUMBER OF TREES GREATER THAN 8 INCHES ON PROJECT SITE = 55
REQUIRED NUMBER OF TREES TO BE PRESERVED = 55 X 25% = 14 TREES
NUMBER OF 8" TREES OR GREATER IN TREE SAVE AREA = 20 TREES
PROPOSED TREES TO BE SAVED = 20 > 14 REQUIRED TREES TO BE SAVED
TOTAL NUMBER OF SPECIMEN TREES TO BE REMOVED FROM PROJECT SITE = 0

GEORGIA811 Utilities Protections Center, Inc.
Know what's below! Call before you dig

30 0 30 60
SCALE: 1"=30'

MASTER 31556

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PHONE: (770) 483-9745
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PATRICK & ASSOCIATES, INC.

GEORGIA REGISTERED No. 25863 PROFESSIONAL Engineer MARK H WALTON

CSWCC #2494
CERTIFIED DESIGN PROF.
EXP: 11/16/2020

JOB NO.	17-738
COMPUTED No.	
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NO.	DATE	REVISION	BY

EXISTING SITE CONDITIONS PLAN
MEDHANEALEM ERITREAN ORTHODOX CHURCH INC.
LAND LOT 93 - 16TH DISTRICT
DEKALB COUNTY, GEORGIA

DRAWING NUMBER
31873-E

SHEET: 13 OF: 13

Checklist Item Number 3I

WRITTEN LEGAL DESCRIPTION

A complete Written Legal Description of the Project Site:

TRACK ONE:

All that tract or parcel of land lying and being in Land Lot 93 of the 16th District of DeKalb County, Georgia containing 2.552 acres according to survey for Pentecostal Church of Full Deliverance by Gordon Story & Associates under seal of Gordon C. Story, Georgia RLS #2076, dated 12/7/99 and being more particularly described as follows:

BEGINNING at an iron pin found at the intersection of the Northeasterly right of way line of Stone Mountain Lithonia Road (50' right of way) and the Easterly line of Land Lot 93; thence running along an arc or a curve to the right along the northeasterly right of way line of Stone Mountain Lithonia Road (said curve having a chord distance of 214.58 feet along a bearing of North 68 degrees10 minutes 08 seconds West) a distance of 215.45 feet to an iron pin found; thence leaving the northeasterly right of way line of Stone Mountain Lithonia Road and running North 0 I degree 30 minutes East a distance of 100.53 feet to a concrete monument; thence running North 00 degrees 50 minutes 30 seconds East a distance of 396.31 feet to a concrete monument; thence running South 89 degrees 38 minutes 40 seconds East a distance of 207.19 feet to an iron pin found; thence running along the easterly Land Lot line of Land Lot 91 the following courses and distances: South 01 degree 14 minutes West a distance of 404.00 feel to an iron pin found; South 02 degrees 35 minutes 30 seconds West a distance of 171.54 feet to an iron pin found along the northeasterly right of way line of Stone Mountain Lithonia Road and the POINT OF BEGINNING, being improved property known as 1904 Stone Mountain Lithonia Road according to the present system of numbering in DeKalb County, Georgia.

TRACT TWO:

All that tract or parcel of land lying and being in Land Lot 93 of the 16th District of DeKalb County, Georgia containing 0.118 acres according to survey for Pentecostal Church of Full Deliverance by Gordon Story & Associates under seal of Gordon C. Story Georgia RLS #2076 , dated 12/7/99 and being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING commence at a point at the intersection of the Southwesterly right of way line of Stone Mountain Lithonia Road (50' Right of Way) and the Easterly line of Land Lot 93; thence running Northwesterly along the Southwesterly right of way line of Stone Mountain Lithonia Road a distance of 15.74 feet to a point, said point being the TRUE POINT OF BEGINNING: FROM THE TRUE POINT OF BEGINNING AS THUS ESTABLISHED, thence running North 88 degrees 30 minutes West a distance of 184.56 feet to a point; thence running North 01 degree 30 minutes East a distance of 65.13 feet to a point located along the Southwesterly right of way line of Stone Mountain Lithonia Road; thence running along the arc of a curve to the left along the Southwesterly right of way line of Stone Mountain Lithonia Road (said curve having a chord distance of 195.72 feet along bearing of South 69 degrees BEGINNING..

Checklist Item Number 3J

BUILDING FORM INFORMATION

Reference: Article 5-Site Design and Building Form Standards of the **Zoning Ordinance of DeKalb County [Georgia]**

The building to be erected will be a Pre-Engineered Metal Building. The proposed building is rectangular in shape with a length of 120 feet and a width of 75 feet. .The exterior siding will be pre-coated metal panels. The roof will be metal sheets with a pitch of 2:12. The exterior walls will have a height of 20 feet. The building will be similar to the industrial buildings on the adjacent property to the Northwest and similar to the Gymnasium on the **Redan Elementary School** to the East.

In General Terms, the proposed building will comply with the requirement listed in **Article 5-Site Design and Building Form Standards** of the **Zoning Ordinance of DeKalb County [Georgia]**. Please review the Site Plan for specific measurement and building form and characteristics.

DeKalb County
GEORGIA

404.371.2155 (o)
404.371.4556 (f)
DeKalbCountyGa.gov

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

PRE-APPLICATION FORM
REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE

(Pre-application conference is required prior to filing application: copy must be submitted at filing)

Applicant Name: Medhanealem Eritrean Orthodox Church Walter Collin Phone: 706/444-2551 Email: collinsw@bellsouth.net

Property Address: 1904 S. Stone Mtn Lithonia Rd

Tax Parcel ID: 16-093-05-004 Comm. District: 5 & 7 Acreage: 2.55

Existing Use: church Proposed Use gym

Rezoning: Yes _____ No ✓

Existing Zoning: R-100 Proposed Zoning: _____ Square Footage/Number of Units: _____

Rezoning Request: _____

_____

_____

Land Use Plan Amendment: Yes____ No ____

Existing Land Use: NC Proposed Land Use: _____ Consistent ___ Inconsistent___

Special Land Use Permit: Yes ✓ No ____ Article Number(s) 27

Special Land Use Request(s) _____

Next to Redan Elem. 20' side yard, existing church

Major Modification:

Existing Case Number(s): _____

Condition(s) to be modified and request: