

DEKALB COUNTY

REFERENCE ATTACHED SURVEY COMPLETED BY SURVEY SYSTEMS ATLANTA, DATED 9-2-2019 FOR PROPERTY BOUNDARIES AND EXISTING CONDITIONS.

WATERS OF THE STATE DO NOT EXIST ON OR WITHIN 200' OF THE PROJECT SITE.

ACCORDING TO FIRM PANEL 13089C0062K, DATED AUGUST 15th, 2019, THIS PROPERTY DOES NOT FALL IN A FLOOD HAZARD AREA.

STANDARD NOTES:

1) PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR. CALL (404) 371-3010 TO CONTACT THE INSPECTOR.

2) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

3) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

4) ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

5) ANY DISTURBED AREAS REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

6) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.

7) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

8) ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. IN SUCH INSTANCES WHERE THE ESTABLISHMENT OF VEGETATION IS INOPPORTUNE DUE TO SEASON OR DROUGHT, DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED USING 2"-4" OF MULCH (Ds1). ADDITIONAL PLANTINGS WILL BE NECESSARY STAND OF GRASS FAILS TO GROW.

9) SILT FENCES SHALL NOT BE PLACED IN STREAM BUFFERS OR FLOODPLAINS, UNLESS UTILIZED FOR THE CONSTRUCTION OF AN EXEMPT ACTIVITY (I.E. ROADWAY DRAINAGE STRUCTURES, SEWERWATER CROSSINGS, OR DRAINAGE STRUCTURES) PER THE APPROVED PLANS. FOR SUCH DISTURBANCES WITHIN THE BUFFER, THE AREA SHALL BE IMMEDIATELY STABILIZED USING EROSION CONTROL MATTING AND/OR BLANKETS ONCE THE ACTIVITY IS COMPLETE.

ZONING INFORMATION & SITE CALCULATIONS

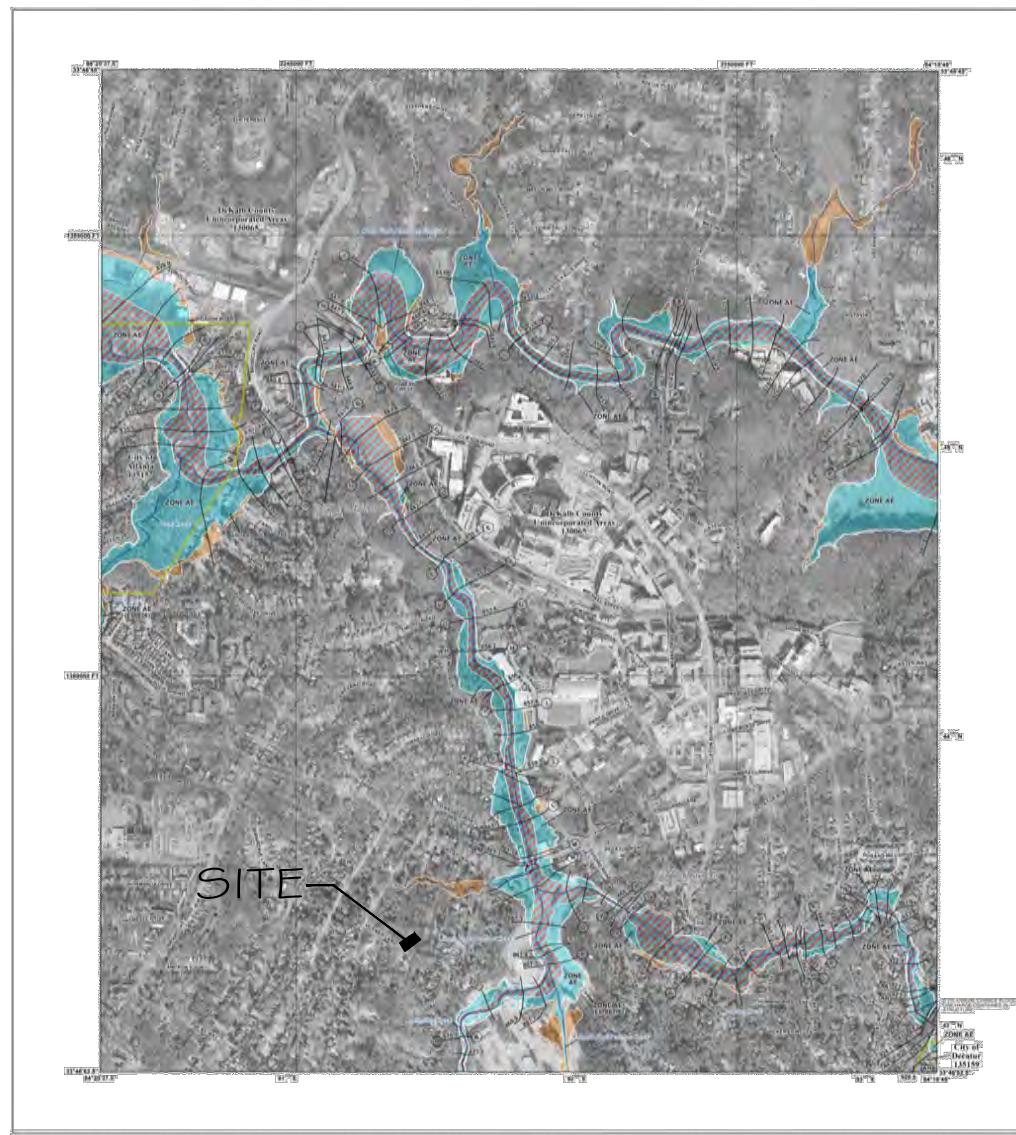
ZONING: R-85
TOTAL SITE ACREAGE: 0.679 ACRES (29,585 SF)
TOTAL SITE AREA TO BE DISTURBED: .15 ACRES (6,433 SF)
LOT COVERAGE ALLOWED: 35%
EXISTING IMPERVIOUS AREA: .18 ACRES (7,978 SF) = 27%
PROPOSED IMPERVIOUS AREA: .21 ACRES (9,239 SF) = 31%
MAX. ALLOWABLE IMPERVIOUS AREA: .237 ACRES (10,354.75 SF) = 35%

SETBACKS:
35' FRONT YARD 40' REAR YARD
8.5' SIDE YARD

CONTACT INFORMATION

OWNER: Greg Sale & Jyoti Sharma
1141 Dan Johnson Rd NE
Atlanta, Georgia 30307

CONTRACTOR/HOME OWNER:
Lucas Tilton Residential
Lucas Tilton
(404) 328-5679
LANDSCAPE ARCHITECT:
BELLWETHER LANDSCAPE ARCHITECTS, LLC
CONTACT: TODD YEAGER
(404) 996-1232
24-HOUR LOCAL CONTACT:
Lucas Tilton
(404) 328-5679



FEMA FLOOD MAP

SCALE: NTS

PRE-CON MEETING

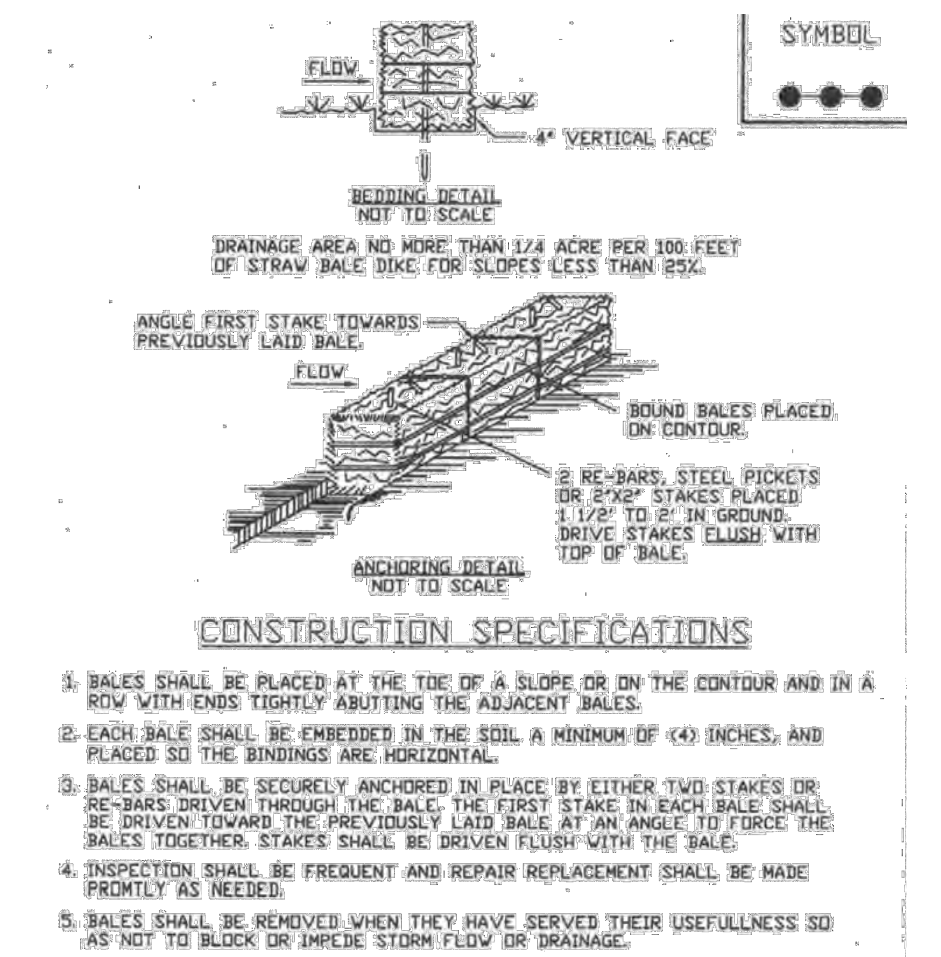
BEFORE STARTING ON ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR IS REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH EROSION & SEDIMENT CONTROL. (404) 371-3010 FAILURE TO SCHEDULE MAY RESULT IN A STOP WORK ORDER OR PERMIT REVOCATION.

PRE-CON MEETING

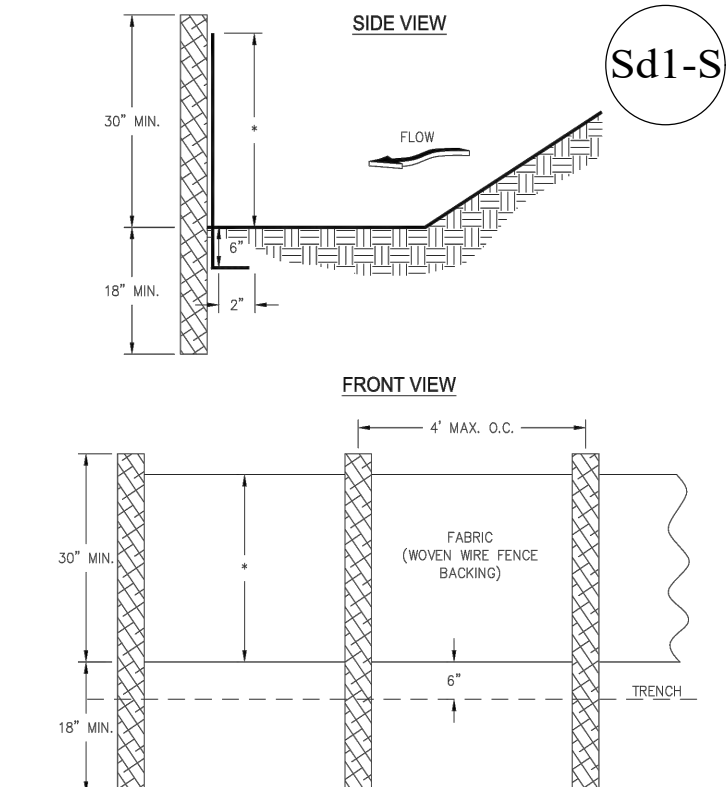
EROSION CONTROL NOTES

- The escape of sediment from the site shall be prevented by the installation, or erosion and sediment control measures and practices prior to, or concurrent with, land-disturbing activities.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion control measures shall be implemented to control or treat the sediment source.
- Silt fence shall meet the requirements of Section 171-temporary silt fence, of the Georgia Standard Specifications, 1993 Edition and be wire reinforced.
- Maintenance Statement - Erosion control measures will be inspected weekly, after each rain and repaired by the general contractor.
- STATEMENT - Additional erosion control and sediment control measures will be installed if deemed necessary by on-site inspection.
- Disturbed areas left idle shall be stabilized with temporary vegetation after 14 days; after 30 days permanent vegetation shall be established.
- Vegetative Plans - For all temporary and permanent vegetative practices including species, planting dates, seeding, fertilizer and mulching rates.
- See "Contact Information" for pertinent project contacts.
- See "Contact Information" for erosion control contacts.

STRAW BALE SEDIMENT BARRIER



SILT FENCE - TYPE SENSITIVE



NO GRADED SLOPE SHALL EXCEED 3:1

TREE PROTECTION NOTES:

- All tree protection fencing to be inspected daily and replaced or repaired as needed.
- All tree protection devices must be installed prior to the start of land disturbance and maintained until final landscaping is installed.
- No parking, storage, or other construction site activities are to occur within tree protection areas.
- All required vegetation must be maintained for two growing seasons after the date of final inspection.
- All tree protection areas to be protected from sedimentation.

GENERAL NOTES

- All land disturbance to be stabilized with vegetation upon completion of demolition.
- All trees to remain and have proper protection unless approved plans indicate otherwise.
- All demolition debris to be hauled off site.
- Dumpsters and/or temporary sanitary facilities shall not be located in the street or tree protection area or other right-of-way.
- Additional erosion controls shall be installed as deemed necessary by the on-site inspector(s).
- Call for final inspection at (404) 371-4913

EXISTING IMPERVIOUS AREA BREAKDOWN:

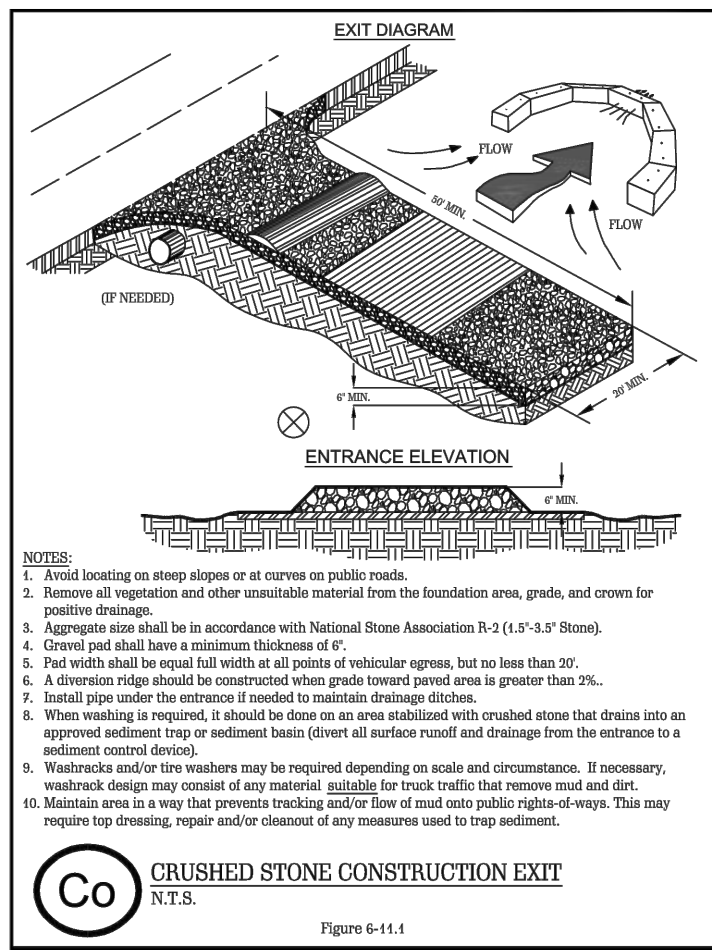
Driveway & Sidewalk: 2486 SF
Walkway: 122 SF
Porch: 109 SF
House Footprint: 4249 SF
Steps: 245 SF
Walkway and Patio: 524 SF
Retaining Walls: 243 SF

TOTAL EXISTING IMPERVIOUS AREA: 7,978 SF

PROPOSED IMPERVIOUS AREA BREAKDOWN:

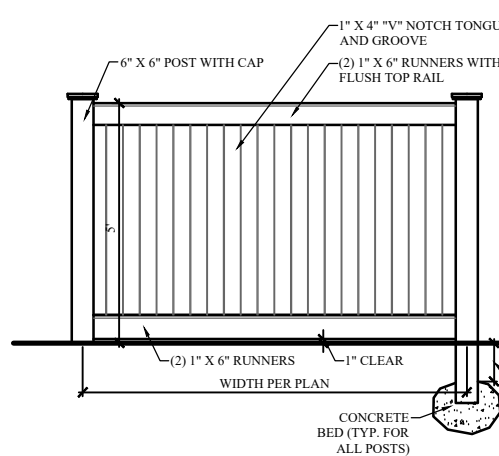
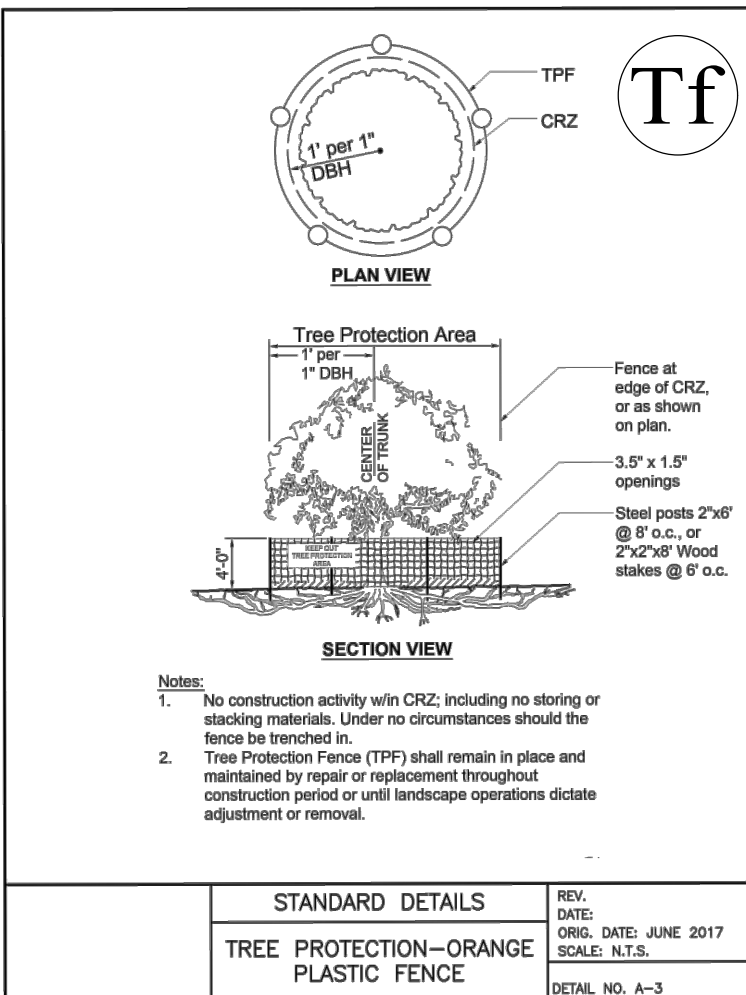
Driveway & Sidewalk (After Removal): 322 SF
Porch: 109 SF
House Footprint: 4249 SF
Steps: 245 SF
Walkway and Patio: 524 SF
Retaining Walls: 243 SF
Proposed Driveway: 2348 SF
Proposed Front Walkway: 244 SF
Proposed Stairs and Walkway: 160 SF
Proposed Stairs: 44 SF
Proposed Garage: 751 SF

TOTAL IMPERVIOUS AREA: 9,239 SF
TOTAL PROPOSED IMPERVIOUS COVER LESS THAN 5000 SF, NO STORMWATER MANAGEMENT REQUIRED



CONSTRUCTION ENTRANCE/EXIT

SCALE: NOT TO SCALE



5' HT. FENCE DETAIL

SCALE: 3"=1'

CUT & FILL CALCULATIONS FOR CONSTRUCTION PHASE:

CUT: 40 CUBIC YARDS
FILL: 1 CUBIC YARDS
TOTAL: 39 CUBIC YARDS OF SOIL TO BE HAULED FROM SITE.
NO HAUL ROUTE REQUIRED FOR CONSTRUCTION PHASE.

DEBRIS STATEMENT:

43.0 Cubic Yards of debris will be hauled from this site during demolition and site construction.
NO HAUL ROUTE REQUIRED

TREE DENSITY CALCULATIONS:

Saved Trees On-site

TREE	UNITS	IMPACT	%IMPACT	STATUS
(1) 32" OAK	11.2	514 SF	15.9%	TREE SAVED
(2) 30" OAK	9.8	352 SF	12.5%	TREE SAVED
(3) 26" OAK	7.4	N/A	0%	TREE SAVED
(4) 25" OAK	6.8	N/A	0%	TREE SAVED
(5) 12" OAK	3.2	N/A	0%	TREE SAVED
(6) 10" OAK	3.2	N/A	0%	TREE SAVED
(7) 18" PINE	4.8	N/A	0%	TREE SAVED
(8) 14" PINE	3.9	N/A	0%	TREE SAVED

TOTAL UNITS: 50.3 TREE DENSITY UNITS ON .679 ACRES

TREE STATEMENT:

- Tree density requirement is at 50.3 units on .679 acres, tree density requirement satisfied.
- A 30" oak and 12" oak are both located in the front yard; R-85 zoning criteria satisfied
- No trees removed or destroyed
- No recompense fees owed
- No replacement trees needed

GRASSING SCHEDULE (HYDROSEEDING RATES)

SPECIES	RATE/1,000S.F.	DATES	LIME	FERTILIZER (LBS./ACRE)		
				N	P2O5	K2O
KY 31 FESCUE	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
WINTER RYE	1-1/2 - 2 LBS.	9/1-11/1 3/1-4/1	1 TON/ACRE	60-90	120-180	120-180
*WEEDING LOVEGRASS	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180

*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

*HYDROSEED ON ALL 2:1 SLOPES.

**NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Dsl	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing a temporary vegetative cover with fast growing seedling on disturbed areas.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Sdl	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbag, bales of straw or hay, brush, logs and poles, gravel, or a sediment fence. The barriers are usually temporary and inexpensive.
Sd3	SEDIMENT TRAP TEMPORARY			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Slt	STORM DRAIN OUTLET PROTECTION			A barrier or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization.
Ds4	DISTURBED AREA STABILIZATION (WITH BODDING)			Establishing a permanent vegetative cover using sods on highly erodible or critically eroded lands.

DATE:
May 21, 2020

☐ Progress Prints
☐ NOT RELEASED for Construction
☒ RELEASED for Construction

SCALE:

PROJECT:
20008

SHEET

P-2

ZONING INFORMATION & SITE CALCULATIONS

ZONING: R-85
TOTAL SITE ACREAGE: 0.679 ACRES (29,585 SF)
TOTAL SITE AREA TO BE DISTURBED: 1.3 ACRES (5,734 SF)
LOT COVERAGE ALLOWED: 35%
EXISTING IMPERVIOUS AREA: 1.8 ACRES (7,978 SF) = 27%
PROPOSED IMPERVIOUS AREA: .21 ACRES (9,239 SF) = 31%
MAX. ALLOWABLE IMPERVIOUS AREA: .237 ACRES (10,354.75 SF) = 35%

SETBACKS:
35' FRONT YARD 40' REAR YARD
8.5' SIDE YARD

CONTACT INFORMATION

OWNER: Greg Sale & Jyoti Sharma
1141 Dan Johnson Rd NE
Atlanta, Georgia 30307

CONTRACTOR/HOME OWNER:

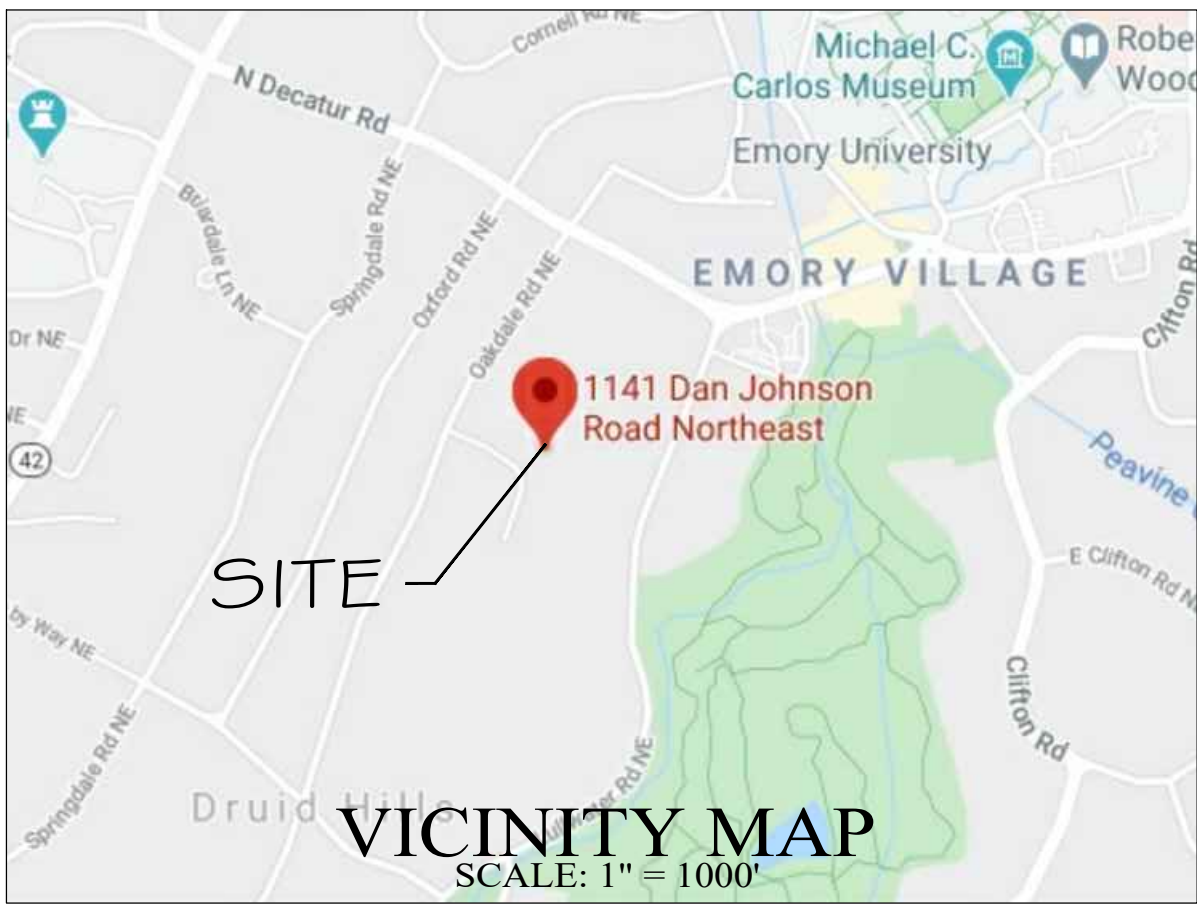
Lucas Tilton Residential
Lucas Tilton
(404) 328-5679

LANDSCAPE ARCHITECT:

BELLWETHER LANDSCAPE ARCHITECTS, LLC
CONTACT: TODD YEAGER
(404) 996-1232

24-HOUR LOCAL CONTACT:

Lucas Tilton
(404) 328-5679



EXISTING IMPERVIOUS AREA BREAKDOWN:

Driveway & Sidewalk: 2486 SF
Walkway: 122 SF
Porch: 1095 SF
House Footprint: 4249 SF
Steps: 245 SF
Walkway and Patio: 524 SF
Retaining Walls: 243 SF

TOTAL EXISTING IMPERVIOUS AREA: 7,978 SF

PROPOSED IMPERVIOUS AREA BREAKDOWN:

Driveway & Sidewalk (After Removal): 322 SF
Porch: 109 SF
House Footprint: 4249 SF
Steps: 245 SF
Walkway and Patio: 524 SF
Retaining Walls: 243 SF
Proposed Driveway: 2348 SF
Proposed Front Walkway: 244 SF
Proposed Stairs and Walkway: 160 SF
Proposed Stairs: 44 SF
Proposed Garage: 751 SF

TOTAL PROPOSED IMPERVIOUS COVER LESS THAN 5000 SF, NO STORMWATER MANAGEMENT REQUIRED

CUT & FILL CALCULATIONS FOR DEMO PHASE:

CUT: 0 CUBIC YARDS
FILL: 0 CUBIC YARDS
TOTAL: 0 CUBIC YARDS OF SOIL TO BE BROUGHT TO SITE.
NO HAUL ROUTE REQUIRED FOR DEMOLITION PHASE.

DEBRIS STATEMENT:

43.0 Cubic Yards of debris will be hauled from this site during demolition and site construction.
NO HAUL ROUTE REQUIRED

TREE PROTECTION AND DENSITY STATEMENT:

-Tree density requirement is at 50.3 units on .679 acres, tree density requirement satisfied.
-A 30" oak and 12" oak are both located in the front yard; R-85 zoning criteria satisfied
-No trees removed or destroyed
-No recompense fees owed
-No replacement trees needed

NO GRADED SLOPE SHALL EXCEED 3:1

NO GRADING AS PART OF THE DEMOLITION PHASE.

DEMO NOTE: ANY DEMOLITION TO OCCUR INSIDE OF CRZ OF EXISTING TREES MUST BE DONE BY HAND. NO CUT/FILL OF EARTH IN THESE AREAS. MULCH AREA IN AFTER HARDSCAPE REMOVAL.



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW

LEGEND:



HARDSCAPE TO BE REMOVED



HARDSCAPE AREAS TO BE REMOVED BY HAND



CONSTRUCTION ENTRANCE



LIMITS OF DISTURBANCE



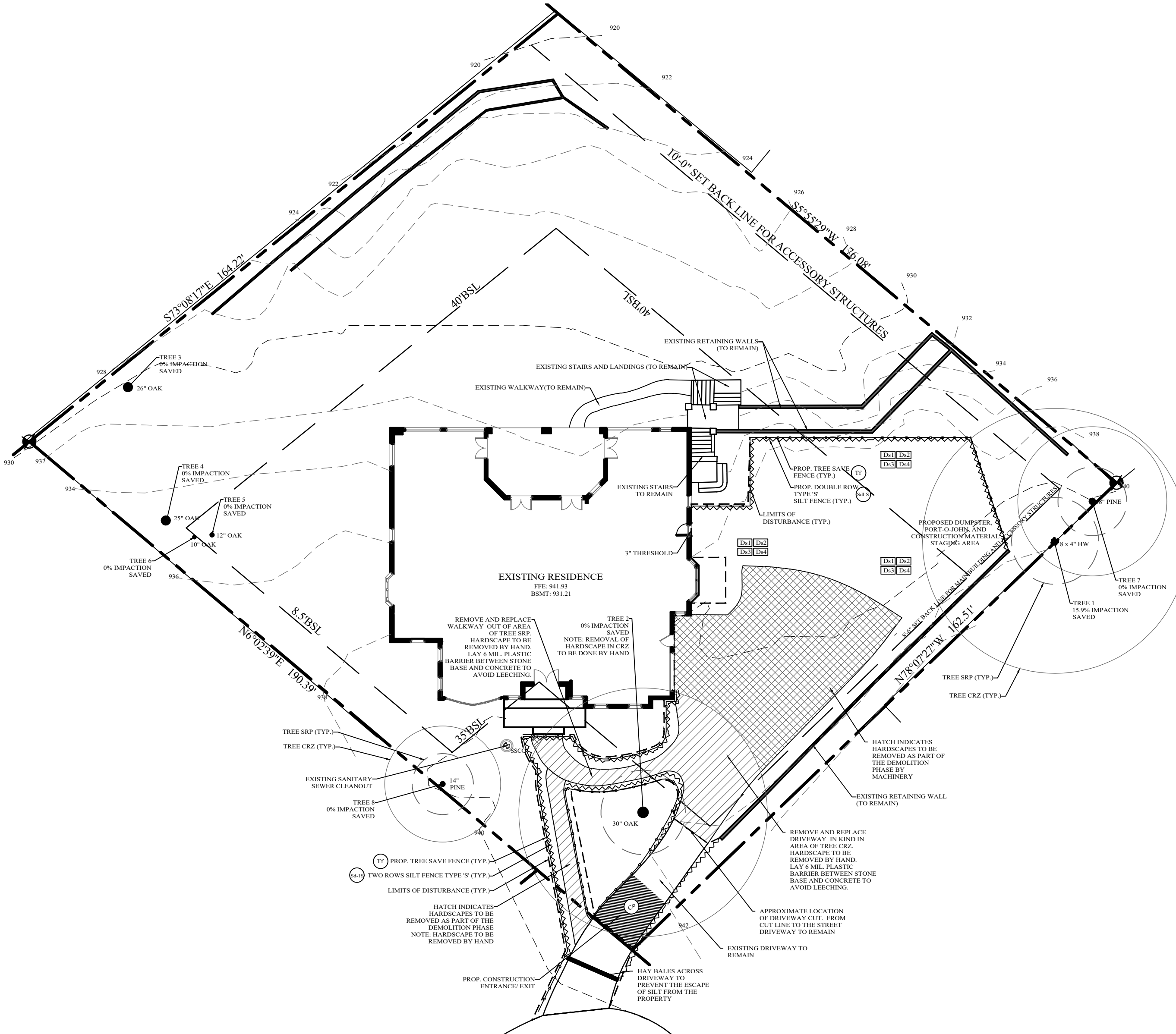
SILT FENCE



TREE PROTECTION FENCE



HAY BALES



TREE DENSITY CALCULATIONS:
Saved Trees On-site

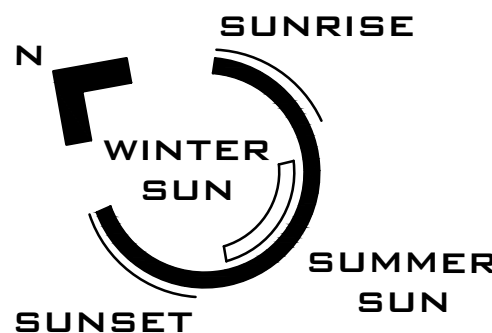
TREE	UNITS	IMPACT	%IMPACT	STATUS
(1) 32" OAK	11.2	514 SF	15.9%	TREE SAVED
(2) 30" OAK	9.8	N/A	0%	TREE SAVED
(3) 26" OAK	7.4	N/A	0%	TREE SAVED
(4) 25" OAK	6.8	N/A	0%	TREE SAVED
(5) 12" OAK	3.2	N/A	0%	TREE SAVED
(6) 10" OAK	3.2	N/A	0%	TREE SAVED
(7) 18" PINE	4.8	N/A	0%	TREE SAVED
(8) 14" PINE	3.9	N/A	0%	TREE SAVED

TOTAL UNITS: 50.3 TREE DENSITY UNITS ON .679 ACRES

ACTIVITY SCHEDULE

NO. OF MONTHS	0	2	4	6	8	10	12	14	16
EROSION CONTROL (DEMO)									
DEMOLITION									
CLEAR & GRUB									
ROUGH GRADING									
FINISH GRADING									
UTILITIES									
PAVING/HARDSCAPES									
GRASSING/CLEAN UP									
EROSION CONTROL MEASURES									

SCALE: 1"=20'



EROSION CONTROL NOTES

- 1) The escape of sediment from the site shall be prevented by the installation, or erosion and sediment control measures and practices prior to, or concurrent with, land-disturbing activities.
- 2) Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion control measures shall be implemented to control or treat the sediment source.
- 3) Silt fence shall meet the requirements of Section 171-temporary silt fence, of the Georgia Standard Specifications, 1993 Edition and be wire reinforced.
- 4) Maintenance Statement - Erosion control measures will be inspected weekly, after each rain and repaired by the general contractor.
- 5) STATEMENT - Additional erosion control and sediment control measures will be installed if deemed necessary by on-site inspection.
- 6) Disturbed areas left idle shall be stabilized with temporary vegetation after 14 days; after 30 days permanent vegetation shall be established.
- 7) Vegetative Plans - For all temporary and permanent vegetative practices including species, planting dates, seeding, fertilizer and mulching rates.
- 8) See "Contact Information" for pertinent project contacts
- 9) See "Contact Information" for erosion control contacts.

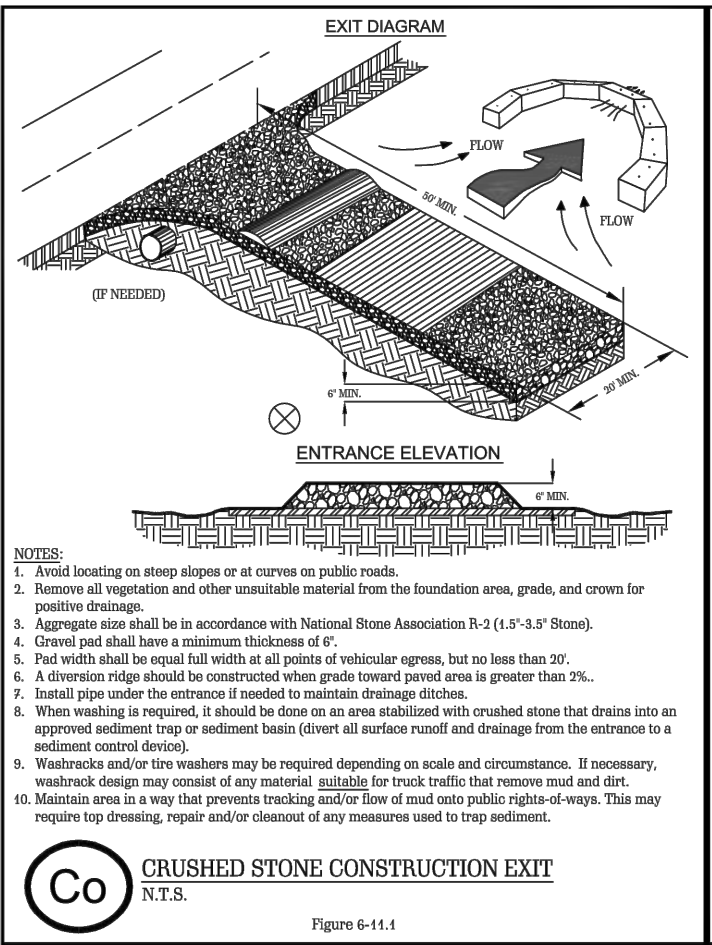
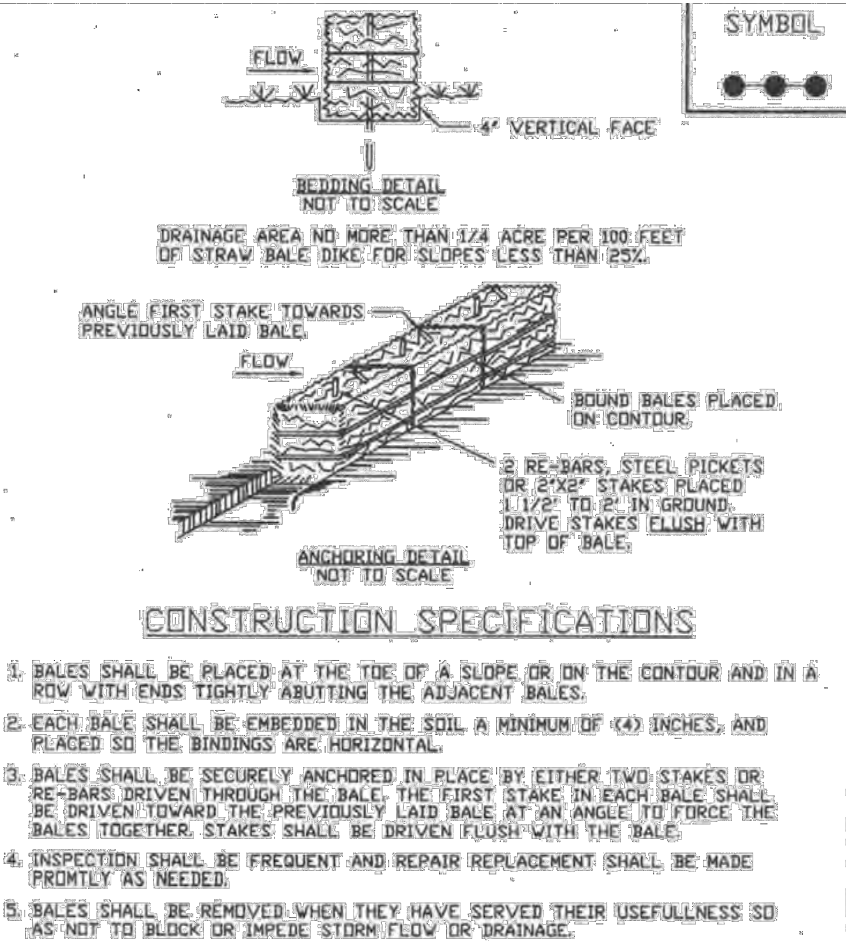
TREE PROTECTION NOTES:

- 1) All tree protection fencing to be inspected daily and replaced or repaired as needed.
- 2) All tree protection devices must be installed prior to the start of land disturbance and maintained until final landscaping is installed.
- 3) No parking, storage, or other construction site activities are to occur within tree protection areas.
- 4) All required vegetation must be maintained for two growing seasons after the date of final inspection.
- 5) All tree protection areas to be protected from sedimentation.

GENERAL NOTES

- 1) All land disturbance to be stabilized with vegetation upon completion of demolition.
- 2) All trees to remain and have proper protection unless approved plans indicate otherwise.
- 3) All demolition debris to be hauled off site.
- 4) Dumpsters and/or temporary sanitary facilities shall not be located in the street or tree protection area or other right-of-way.
- 5) Additional erosion controls shall be installed as deemed necessary by the on-site inspector(s).
- 6) Call for final inspection at (404) 371-4913

STRAW BALE SEDIMENT BARRIER



CONSTRUCTION ENTRANCE/EXIT
SCALE: NOT TO SCALE

CODE	PRATICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing a temporary vegetative cover with fast growing seedling on disturbed areas.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbag, bales of straw or hay, brush, logs and poles, gravel, or a sediment fence. The barriers are usually temporary and inexpensive.
Sd3	SEDIMENT TRAP TEMPORARY			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
St1	STORM DRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Ds2	DISTURBED AREA STABILIZATION (WITH HARDSCAPE SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization.
Ds4	DISTURBED AREA STABILIZATION (WITH SOODING)			Establishing a permanent vegetative cover using sods on highly erodible or critically eroded lands.

GRASSING SCHEDULE (HYDROSEEDING RATES)

RATE/1000S.F.	DATES	LIME	FERTILIZER (LBS./ACRE)		
			N	P2O5	K2O
1-1/2 - 2 LB5.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
1-1/2 - 2 LB5.	9/1-11/1 3/1-4/1	1 TON/ACRE	60-90	120-180	120-180
2-3 LB5.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180

*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.
*HYDROSEED ON ALL 2:1 SLOPES.
**NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE.



THE SHARMA-SALE RESIDENCE
1141 Dan Johnson Road, NE
Atlanta, GA DeKalb County, GA
DEMOLITION PLAN

DATE:
May 21, 2020

☐ Progress Prints
☐ NOT RELEASED for Construction
☒ RELEASED for Construction

SCALE:
1" = 20'-0"

PROJECT:
20008

SHEET

P-3

ZONING INFORMATION & SITE CALCULATIONS

ZONING: R-85
TOTAL SITE ACREAGE: 0.679 ACRES (29,585 SF)
TOTAL SITE AREA TO BE DISTURBED: 1.15 ACRES (6,433 SF)
LOT COVERAGE ALLOWED: 35%
EXISTING IMPERVIOUS AREA: 1.18 ACRES (7,978 SF) = 27%
PROPOSED IMPERVIOUS AREA: 1.21 ACRES (9,239 SF) = 31%
MAX. ALLOWABLE IMPERVIOUS AREA: 1.237 ACRES (10,354.75 SF) = 35%

SETBACKS:
35' FRONT YARD 40' REAR YARD
8.5' SIDE YARD

CONTACT INFORMATION

OWNER: Greg Sale & Jyoti Sharma
1141 Dan Johnson Rd NE
Atlanta, Georgia 30307

CONTRACTOR:

Lucas Tilton Residential
Lucas Tilton
(404) 328-5679

LANDSCAPE ARCHITECT:

BELLWETHER LANDSCAPE ARCHITECTS, LLC
CONTACT: TODD YEAGER
(404) 996-1232

24-HOUR LOCAL CONTACT:
Lucas Tilton
(404) 328-5679

EXISTING IMPERVIOUS AREA BREAKDOWN:

Driveway & Sidewalk: 2486 SF
Walkway: 122 SF
Porch: 109 SF
House Footprint: 4249 SF
Steps: 245 SF
Walkway and Patio: 524 SF
Retaining Walls: 243 SF

TOTAL EXISTING IMPERVIOUS AREA: 7,978 SF

PROPOSED IMPERVIOUS AREA BREAKDOWN:

Driveway & Sidewalk (After Removal): 322 SF
Porch: 109 SF
House Footprint: 4249 SF
Steps: 245 SF
Walkway and Patio: 524 SF
Retaining Walls: 243 SF
Proposed Driveway: 2348 SF
Proposed Front Walkway: 244 SF
Proposed Stairs and Walkway: 160 SF
Proposed Stairs: 44 SF
Proposed Garage: 751 SF

TOTAL IMPERVIOUS AREA: 9,239 SF

TOTAL PROPOSED IMPERVIOUS COVER LESS THAN 5000 SF, NO STORMWATER MANAGEMENT REQUIRED

CUT & FILL CALCULATIONS FOR CONSTRUCTION PHASE:

CUT: 40 CUBIC YARDS
FILL: 1 CUBIC YARDS
TOTAL: 39 CUBIC YARDS OF SOIL TO BE HAULED FROM SITE.
NO HAUL ROUTE REQUIRED FOR CONSTRUCTION PHASE.

DEBRIS STATEMENT:

43.0 Cubic Yards of debris will be hauled from this site during demolition and site construction.
NO HAUL ROUTE REQUIRED

TREE PROTECTION AND DENSITY STATEMENT:

-Tree density requirement is at 50.3 units on .679 acres, tree density requirement satisfied.
-A 30" oak and 12" oak are both located in the front yard; R-85 zoning criteria satisfied
-No trees removed or destroyed
-No recompense fees owed
-No replacement trees needed

NO GRADED SLOPE SHALL EXCEED 3:1

NO GRADING AS PART OF THE DEMOLITION PHASE.

DEMO NOTE: ANY DEMOLITION TO OCCUR INSIDE OF CRZ OF EXISTING TREES MUST BE DONE BY HAND. NO CUT/FILL OF EARTH IN THESE AREAS. MULCH AREA IN AFTER HARDSCAPE REMOVAL.



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW

LEGEND:

PROPOSED GARAGE

COBBLESTONE APRON

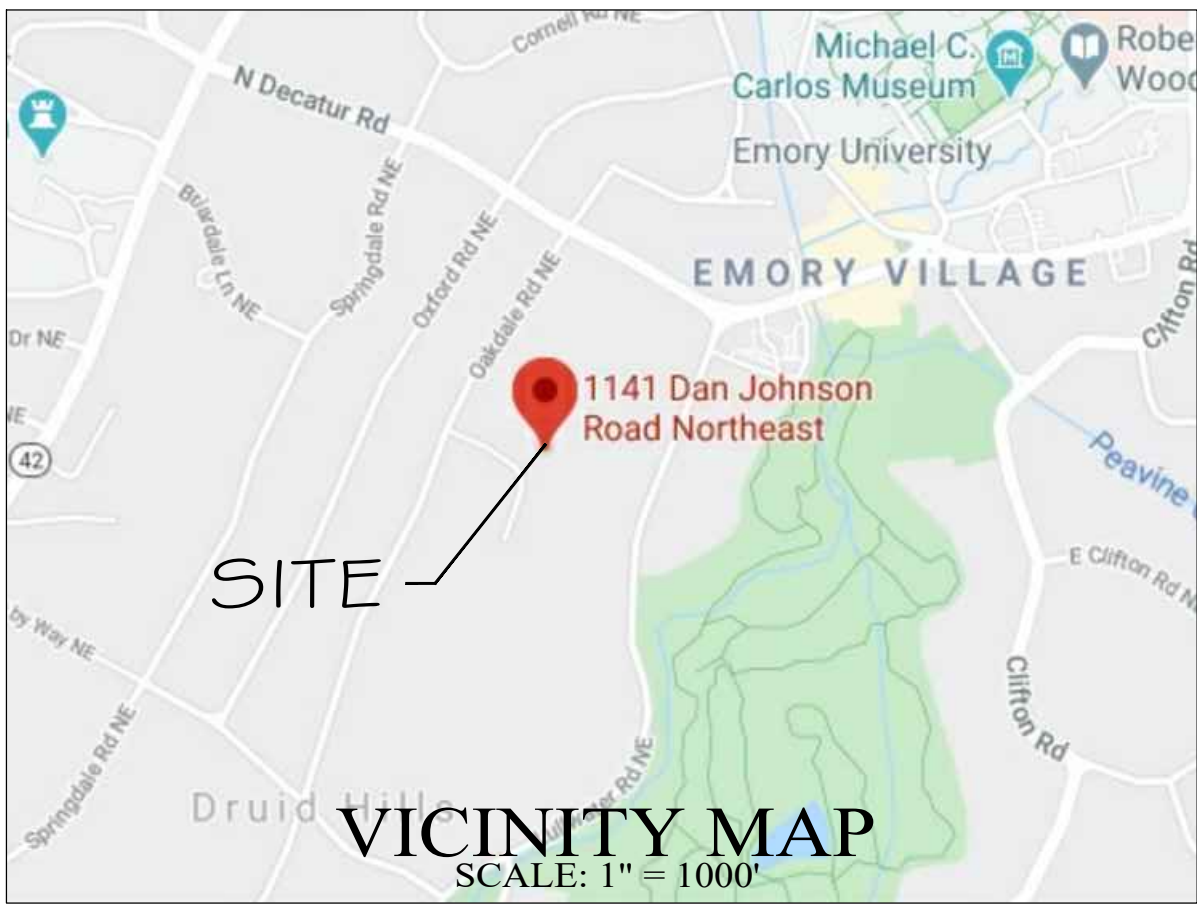
CONSTRUCTION ENTRANCE

LIMITS OF DISTURBANCE

SILT FENCE

TREE PROTECTION FENCE

HAY BALES



EROSION CONTROL NOTES

- 1) The escape of sediment from the site shall be prevented by the installation, or erosion and sediment control measures and practices prior to, or concurrent with, land-disturbing activities.
- 2) Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion control measures shall be implemented to control or treat the sediment source.
- 3) Silt fence shall meet the requirements of Section 17.1-temporary silt fence, of the Georgia Standard Specifications, 1993 Edition and be wire reinforced.
- 4) Maintenance Statement - Erosion control measures will be inspected weekly, after each rain and repaired by the general contractor.
- 5) STATEMENT - Additional erosion control and sediment control measures will be installed if deemed necessary by on-site inspection.
- 6) Disturbed areas left idle shall be stabilized with temporary vegetation after 14 days; after 30 days permanent vegetation shall be established.
- 7) Vegetative Plans - For all temporary and permanent vegetative practices including species, planting dates, seeding, fertilizer and mulching rates.
- 8) See "Contact Information" for pertinent project contacts
- 9) See "Contact Information" for erosion control contacts.

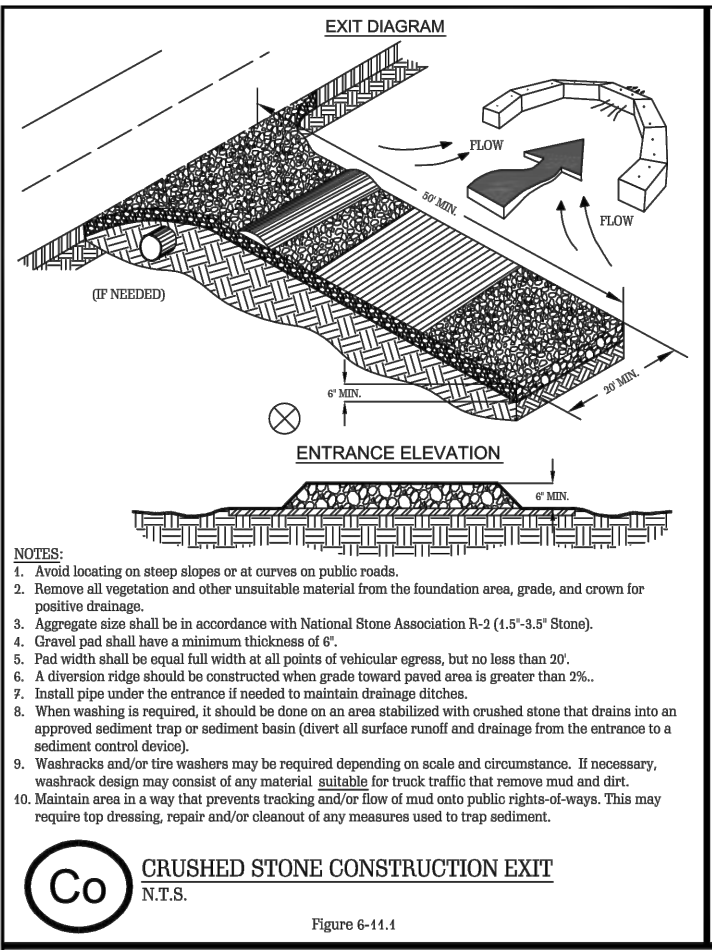
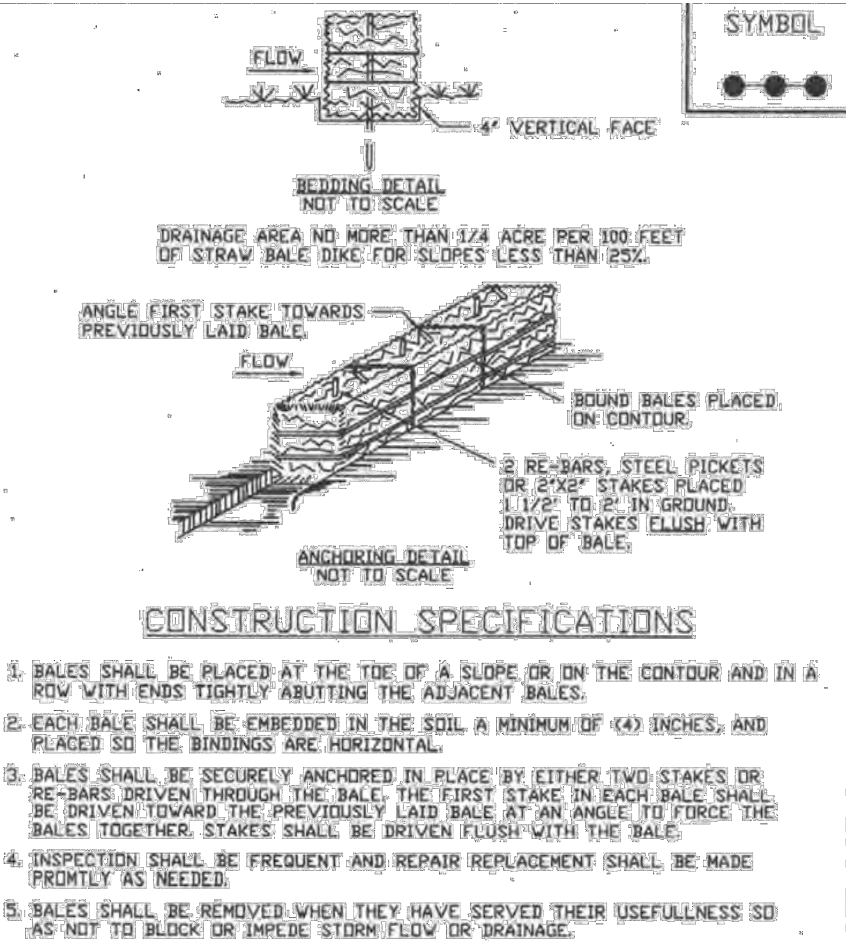
TREE PROTECTION NOTES:

- 1) All tree protection fencing to be inspected daily and replaced or repaired as needed.
- 2) All tree protection devices must be installed prior to the start of land disturbance and maintained until final landscaping is installed.
- 3) No parking, storage, or other construction site activities are to occur within tree protection areas.
- 4) All required vegetation must be maintained for two growing seasons after the date of final inspection.
- 5) All tree protection areas to be protected from sedimentation.

GENERAL NOTES

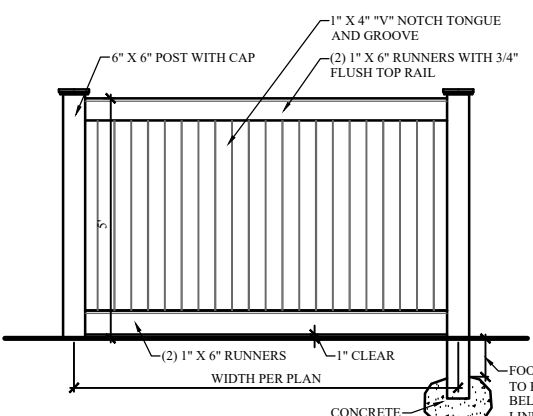
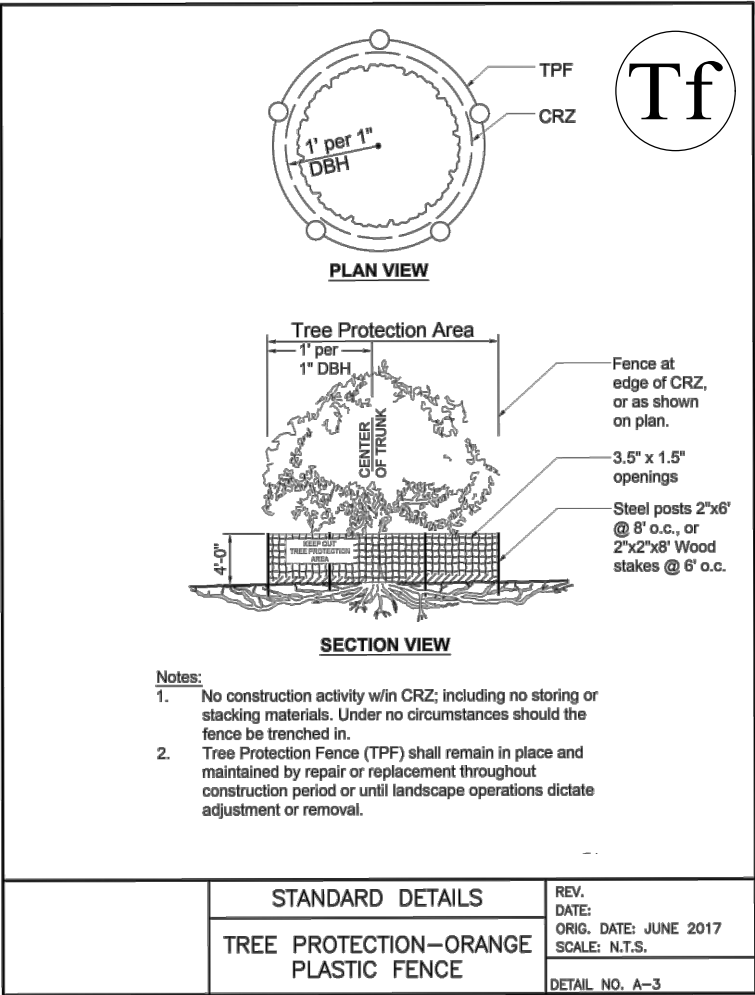
- 1) All land disturbance to be stabilized with vegetation upon completion of demolition.
- 2) All trees to remain and have proper protection unless approved plans indicate otherwise.
- 3) All demolition debris to be hauled off site.
- 4) Dumpsters and/or temporary sanitary facilities shall not be located in the street or tree protection area or other right-of-way.
- 5) Additional erosion controls shall be installed as deemed necessary by the on-site inspector(s).
- 6) Call for final inspection at (404) 371-4913

STRAW BALE SEDIMENT BARRIER



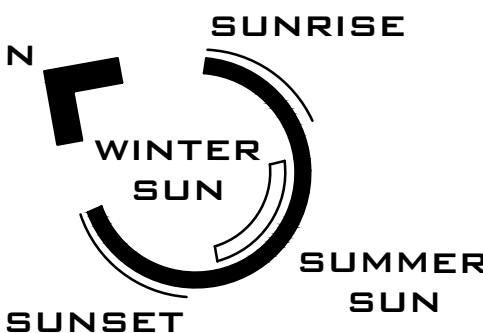
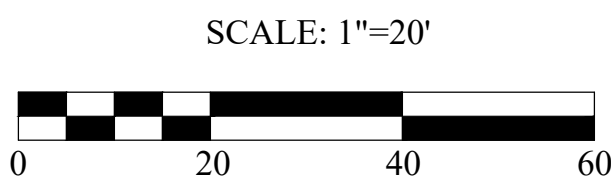
CONSTRUCTION ENTRANCE/EXIT SCALE: NOT TO SCALE

CODE	PRATICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing a temporary vegetative cover with fast growing seedling on disturbed areas.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbag, bales of straw or hay, brush, logs and poles, gravel, or a sediment fence. The barriers are usually temporary and inexpensive.
Sd3	SEDIMENT TRAP TEMPORARY			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
St1	STORM DRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Ds2	DISTURBED AREA STABILIZATION (WITH MULCHING AND SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization.
Ds4	DISTURBED AREA STABILIZATION (WITH SEEDING)			Establishing a permanent vegetative cover using sods on highly erodible or critically eroded lands.



5' HT. FENCE DETAIL SCALE: 3"=1'

ACTIVITY SCHEDULE	NO. OF MONTHS
EROSION CONTROL (DEMO)	0 2 4 6 8 10 12 14 16
DEMOLITION	
CLEAR & GRUB	
ROUGH GRADING	
FINISH GRADING	
UTILITIES	
PAVING/HARDSCAPES	
GRASSING/CLEAN UP	
EROSION CONTROL MEASURES	



GA SWCC
HARMON T. YEAGER
LEVEL TWO CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 0000043171
ISSUED: 06-1-2019
EXPIRES: 06-1-2022



THE SHARMA-SALE RESIDENCE
1141 Dan Johnson Road, NE
Atlanta, GA DeKalb County, GA

SITE PLAN

DATE: May 21, 2020

☐ Progress Prints
☐ NOT RELEASED for Construction
☒ RELEASED for Construction

SCALE: 1" = 20'-0"

PROJECT: 20008

SHEET

P-4