

Chief Executive Officer  
Michael Thurmond

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Director  
Andrew A. Baker, AICP

**Application for Certificate of Appropriateness**

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 1146 Oxford Rd NE, Atlanta, GA 30306

Applicant: Mr. and Mrs. Benjamin Michael Mingle E-Mail: Ben.mingle@gmail.com

Applicant Mailing Address: 1146 Oxford Rd NE

Applicant Phone(s): 423-718-2535

Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☒ Architect: ☐ Contractor/Builder ☐ Other ☐

Owner(s): Mr. Benjamin Michael Mingle

E-Mail: Ben.mingle@gmail.com

Mrs. Jillian Cooper Mingle

E-Mail: Jill.mingle@gmail.com

Owner(s) Mailing Address: 1146 Oxford RD NE Atlanta, GA 30306

Owner(s) Telephone Number: Ben - (423) 718-2535 / Jill - (251) 455-8882

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: Original house - 1920 approximately / Side addition 1950 approximately / Garage 1950 approximately

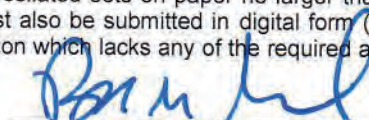
Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☐  
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐  
Sign installation or replacement ☐ Other ☐

Description of Work:

This project involves an interior renovation and two-story addition of approximately 1000 sq. ft. on the rear of the house. The wood trim and stucco parts of the home will be repaired as required and painted colors that are commonly found in the Historic District of Druid Hills. The current colors do not appear to be original nor are they painted with care. The red brick will remain as is. A pair of gas lanterns will be added to the front door, the driveway will be replaced with new concrete, and a wooden gate will be installed in order to add privacy and security to the back yard. Other than those three items, none of the addition or renovations will be visible from the right of way. The addition is designed to be sensitive to the brick-tudor style of the historic home by matching details, proportions, and materials. The renovation and addition will allow a young family to restore the home while adding the modern conveniences that the current plan configuration does not provide.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

 1.22.20  
Signature of Applicant/Date

Revised 1/26/17



## DEPARTMENT OF PLANNING & SUSTAINABILITY

### Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

(I) / (We),

being (owner) (owners) of the property \_\_\_\_\_,  
hereby delegate authority to \_\_\_\_\_  
to file an application in (my) (our) behalf.

\_\_\_\_\_  
Signature of Owner/Date

### Please review the following information

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

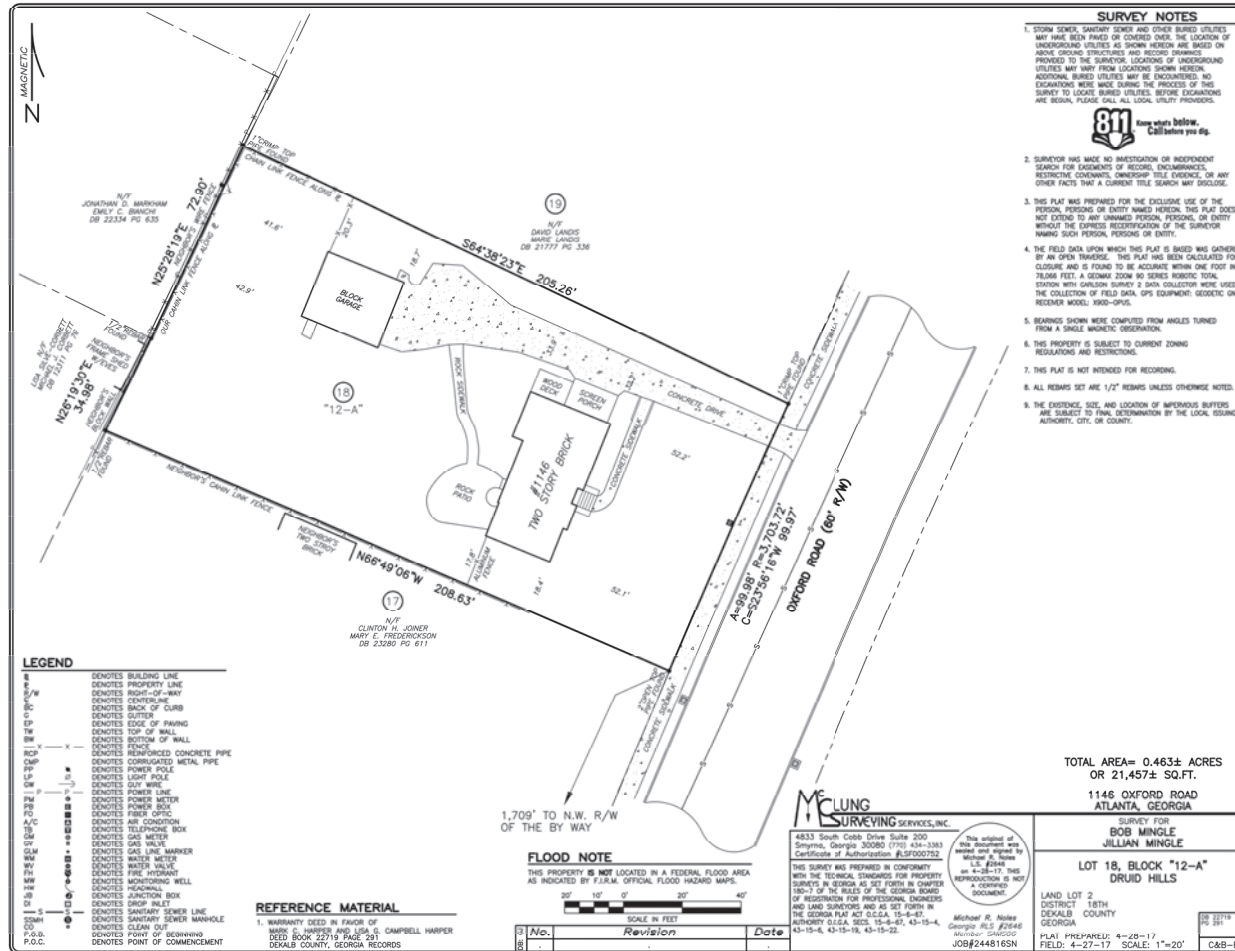
If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

# INDEX OF DRAWINGS

NUMBER	TITLE
A0-00	EXISTING SURVEY
A0-01	EXISTING FLOOR PLANS
A0-02	EXISTING ELEVATIONS
A0-03	PROPOSED SITE PLAN
A1-01	PROPOSED FIRST FLOOR PLAN
A1-02	PROPOSED SECOND FLOOR PLAN
A1-03	PROPOSED ELEVATIONS
A1-04	PROPOSED ELEVATIONS
A2-01	EXISTING PHOTOS
A2-02	PRECEDENTS AND MATERIALS



1 EXISTING SURVEY  
SCALE: 1" = 20'

DESIGNSMITHS, LLC

111 TERRACE DRIVE, S.E.  
ATLANTA, GA 30305  
913.222.4778  
KACHTER@DESIGNSMITHS.COM

THE  
MINGLE RESIDENCE

1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

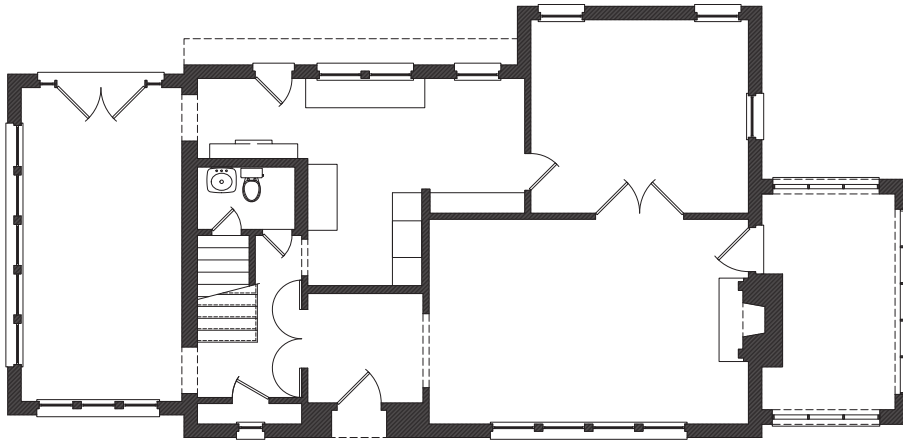
HPC COA  
SUBMISSION  
01/20/2020

REVISIONS

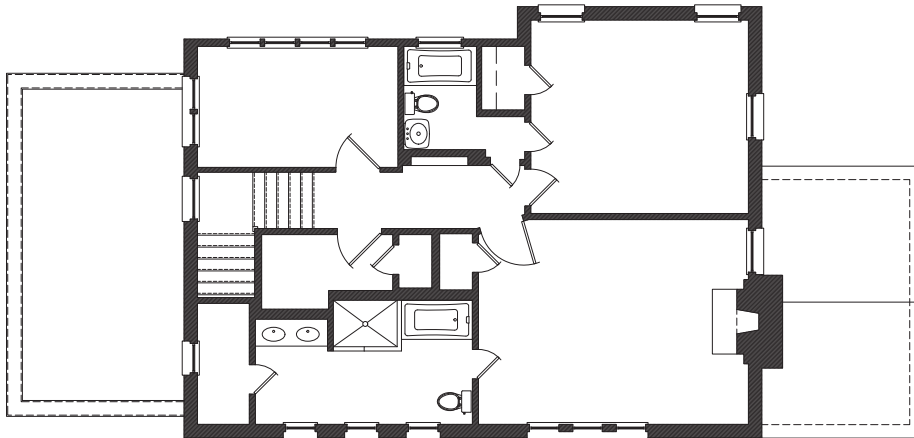
EXISTING SURVEY

A0-00

NOT RELEASED FOR CONSTRUCTION



1 EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DESIGNSMITHS, LLC

111 DEKALB DRIVE, S.E.  
ATLANTA, GA 30305  
912.222.4778  
KCSMITH@DESIGNSMITHS.COM

THE  
MINGLE RESIDENCE

1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

HPC COA  
SUBMISSION  
01/20/2020

REVISIONS

EXISTING FLOOR  
PLANS  
A0-01

NOT RELEASED FOR CONSTRUCTION



1 EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNSMITHS, LLC

111 DEKALB AVE, DEKALB, GA 30030  
ATLANTA, GA 30308  
913.222.4778  
KCS@DESIGNSMITHS.COM

THE  
MINGLE RESIDENCE  
1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

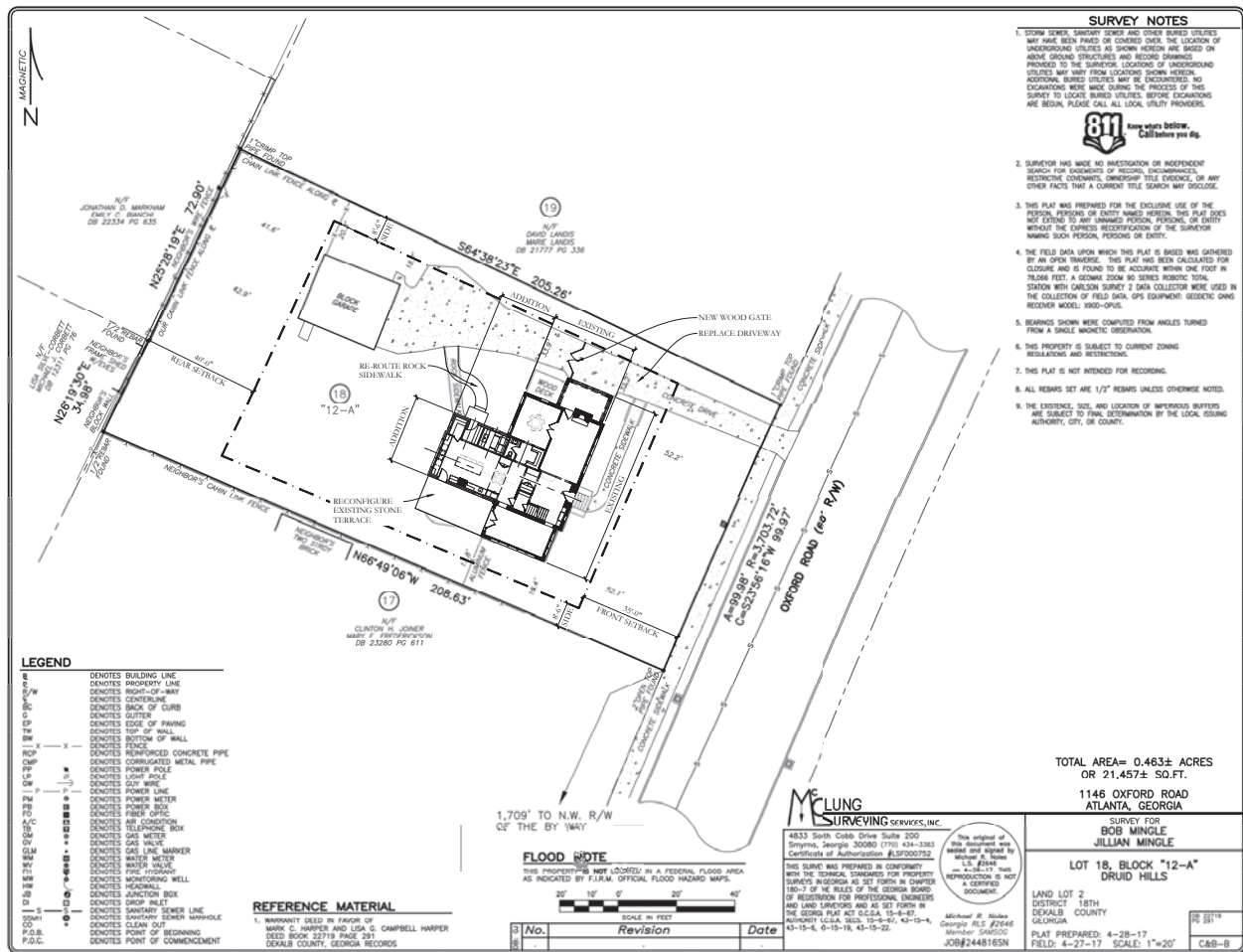
HPC COA  
SUBMISSION  
01/20/2020

REVISIONS

EXISTING  
ELEVATIONS  
A0-02

NOT RELEASED FOR CONSTRUCTION













1 PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNSMITHS, LLC

111 DEER LANE DRIVE, S.E.  
ATLANTA, GA 30316  
404.525.0000  
WWW.DESIGNSMITHS.COM

THE  
MINGLE RESIDENCE

1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

HPC COA  
SUBMISSION  
01/20/2020

REVISIONS

PROPOSED  
ELEVATIONS

A1-03

NOT RELEASED FOR CONSTRUCTION



1 PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNSMITHS, LLC

111 DEER CREEK DRIVE, S.E.  
ATLANTA, GA 30316  
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THE  
MINGLE RESIDENCE

1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

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01/20/2020

REVISIONS

PROPOSED  
ELEVATIONS

A1-04

NOT RELEASED FOR CONSTRUCTION





DESIGNSMITHS, LLC

111 DEER CREEK DRIVE, S.E.  
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404.525.0000

THE  
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1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

HPC COA  
SUBMISSION  
01/20/2020

REVISIONS

EXISTING PHOTOS

A2-01

NOT RELEASED FOR CONSTRUCTION





DESIGNSMITHS, LLC

111 CHEROKEE DRIVE, S.E.  
ATLANTA, GA 30305  
404.525.0000  
WWW.DESIGNSMITHS.COM

THE  
MINGLE RESIDENCE

1146 OXFORD ROAD  
ATLANTA, GA  
DEKALB CO.

HPC COA  
SUBMISSION  
01/20/2020

REVISIONS

PRECEDENTS AND  
MATERIALS

A2-02

NOT RELEASED FOR CONSTRUCTION