

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1254 Stillwood Dr Atlanta, GA 30306

Applicant: Ron Davidson E-Mail: scott@turnkeypropertyinc.com

Applicant Mailing Address: 501 N Orlando Ave, Suite #313-331, Winter Park, FL 32789

Applicant Phone(s): 321-299-6137 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other Partner

Owner(s): Scott Sampsel E-Mail: scott@turnkeypropertyinc.com

_____ E-Mail: _____

Owner(s) Mailing Address: 501 N Orlando Ave, Suite #313-331, Winter Park, FL 32789

Owner(s) Telephone Number: 321-299-6137

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: Demo was complete in March 2019 and new construction began in July 2019.

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
- New accessory building Landscaping Fence/Wall Other environmental changes
- Sign installation or replacement Other

Description of Work:

We are applying for re-issue of a COA on the above listed property. A previous COA was issued last year but has expired due to delays in financing etc. There are no changes to the plans or COA that were submitted and approved in April of 2018.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

SA Sampsel - 8/15/19
Signature of Applicant/Date

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

(I) / (We),

Scott Sampsel (Turnkey Property Investment Group, Inc)

being (owner) (owners) of the property _____
1254 Stillwood Dr Atlanta, Ga 30306

hereby delegate authority to _____
Ron Davidson

to file an application in (my) (our) behalf.

SH Samp - 8/15/19

Signature of Owner/Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may pick this up at the DeKalb County Department of Planning and Sustainability, 330 West Ponce de Leon Avenue, Suite 300 floor, in Decatur, or you may make your request by mail, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). If all documents are not provided the application will not be complete and will not be accepted.
3. A sign will be provided when the Certificate of Appropriateness is accepted. The applicant must post the sign on the subject property in a visible location, no more than ten feet from the road, at least ten days before the meeting.
4. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. In most months, the Historic Preservation Commission meets on the third Monday at 7 p.m. at the Maloof Auditorium, 1300 Commerce Drive in Decatur. In unusual circumstances meeting dates and location may be changed.
5. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
5. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make presentations, but presentations are not required. The commissioners may have questions for the applicant.
7. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Sign Posting Requirements for a Certificate of Appropriateness

The DeKalb County Code requires that citizens who may be affected by the approval of a Certificate of Appropriateness must be notified of the hearing where that decision will take place. The notification is accomplished by requiring the applicant to post one or more signs on the property for which a certificate of appropriateness is being considered. The sign gives the date, time, and location of the meeting and the telephone number of the county historic preservation planner. The sign must be posted no later than ten days before the date of the preservation commission meeting and must remain in place until after the meeting.

When an applicant submits an application for a Certificate of Appropriateness, the applicant must request a sign from the Planning Department. If the property is bounded by more than one public street, a sign must be posted facing each street. It is the applicant's responsibility to obtain and post the sign appropriately. If you file your application by mail or fax, you must make arrangements to pick up the sign.

The sign must be posted prominently in the center of the front yard, facing the street, and within ten feet of the street or sidewalk, although the sign may not be posted between the street and the sidewalk. It is best to attach the sign to a four-foot tall stake, but attaching it to an existing support is usually acceptable. The sign may not be posted inside a house except in the case of a purpose-built commercial structure where front yard posting is impossible or impractical.

The signs are made of relatively thin cardstock. They should either be waterproofed or additional support should be added. The sign may be laminated, covered with clear plastic, or secured to heavier backing, such as heavy cardboard or plywood. If the sign is destroyed or becomes illegible during the ten day posting period, the applicant must contact the historic preservation planner for a replacement sign, which must be posted as soon as possible.

If the sign is not posted, is not posted for the full ten day period, or is posted inappropriately, the DeKalb County Historic Preservation Commission may deny the application or may defer consideration of the application until the following month.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project’s architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. Three copies of drawings at scale (plus nine reduced sets) should be submitted. Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dcullis@dekalbcountyga.gov. Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the “Design Manual for the Druid Hills Local Historic District”	Y	N
I have reviewed the DeKalb County Tree Ordinance	Y	N
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers		
Y N		

1. General

- a. Label all drawings with the address of the site, owners’ name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18”;
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
 - b. Width;
 - c. Material;
 - d. Curb cut and apron width
-

DEPARTMENT OF PLANNING & SUSTAINABILITY

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
 - b. Visibility from right-of-way;
 - c. Material (plastic lens or glass);
 - d. Shown in plan and elevation to scale
-

DEPARTMENT OF PLANNING & SUSTAINABILITY

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g. Hardieplank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
 - b. Provide samples of brick or stone;
 - c. Provide samples if new or unusual materials
-

DEPARTMENT OF PLANNING & SUSTAINABILITY

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1254 Stillwood Drive, Atlanta GA 30306

Applicant: Chad Mattison E-Mail: chadmattison@bellsouth.net

Applicant Mailing Address: 4246 Peachtree Road #6
Brookhaven, GA 30319

Applicant Phone(s): 770-653-3091 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

Owner(s): Scott Sampsel-TurnKey Property, Inc. E-Mail: scott@turnkeypropertyinc.com

_____ E-Mail: _____

Owner(s) Mailing Address: 501 N. Orlando Ave. Ste #313-331, Winter Park, FL 32789

Owner(s) Telephone Number: 321-299-6137

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1925

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
- New accessory building Landscaping Fence/Wall Other environmental changes
- Sign installation or replacement Other

Description of Work:

A C.O.A. is being requested for a new single family home and detached 2 car garage at 1254 Stillwood Drive,30306. The 3625 square foot new home will be a two story home however will have the appearance of a story and a half from Stillwood Drive. The exterior materials will be an architectural asphalt shingled roof, and a brick veneer with board & batten exterior accents. The garage has been designed to be a low profile building using the same board & batten exterior finish.

No trees are to be removed. Existing drive to remain with a new 3' grass strip.


This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Chad Mattison 3.13.18

Signature of Applicant/Date

Revised 1/26/17

*** LEGEND ***

POB POINT OF BEGINNING	IP IRON PIN FOUND
LLL LAND LOT LINE	IPS IRON PIN SET
MH MAN HOLE	OTP OPEN TOP PIPE FOUND
SSL SANITARY SEWER LINE	CTP CRIMP TOP PIPE FOUND
CO SAN SEWER CLEANOUT	RB REINFORCING BAR FOUND
CB CATCH BASIN	RBS REINFORCING BAR SET
JB JUNCTION BOX	MAG MAGNETIC READING IP
DI DRAINAGE INLET	AI ANGLE IRON FOUND
YI YARD INLET	CP CALCULATED POINT
HW HEAD WALL	-X-X FENCE
PP POWER POLE	CLF CHAIN LINK FENCE
PW POWER LINE	WDF WOOD FENCE
SSE SANITARY SEWER ESMT.	WRF WIRE FENCE
DE DRAINAGE EASEMENT	WW WET WEATHER
UE UTILITY EASEMENT	FC FENCE CORNER
AE ACCESS EASEMENT	BL BUILDING LINE
TB TOP OF BANK	R/W RIGHT-OF-WAY
CMP CORRUGATED METAL PIPE	PL PROPERTY LINE
RCP REINFORCED CONC. PIPE	PC PROPERTY CORNER
APP AS PER PLAT	CL CENTER LINE
APD AS PER DEED	CPT CARPORT
APR AS PER RECORD	SP SCREEN PORCH
APF AS PER FIELD	P PORCH
BC BACK OF CURB	FH FIRE HYDRANT
EP EDGE OF PAVEMENT	BR BRICK
EB ELECTRIC POWER BOX	FR FRAME
EM ELECTRIC METER	WD WOOD
GM GAS METER	SN SIGN
GV GAS VALVE	P PLAT
WM WATER METER	D DEED
WV WATER VALVE	R RECORD
OH OVERHANG	F FIELD
OU OWNERSHIP UNCLEAR	N N'BORS.
 INDICATES STAIRS	BLS BUILDING LINE SETBACK
	LP LIGHT POLE

SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

FRONT AVERAGE SETBACK CALCULATIONS

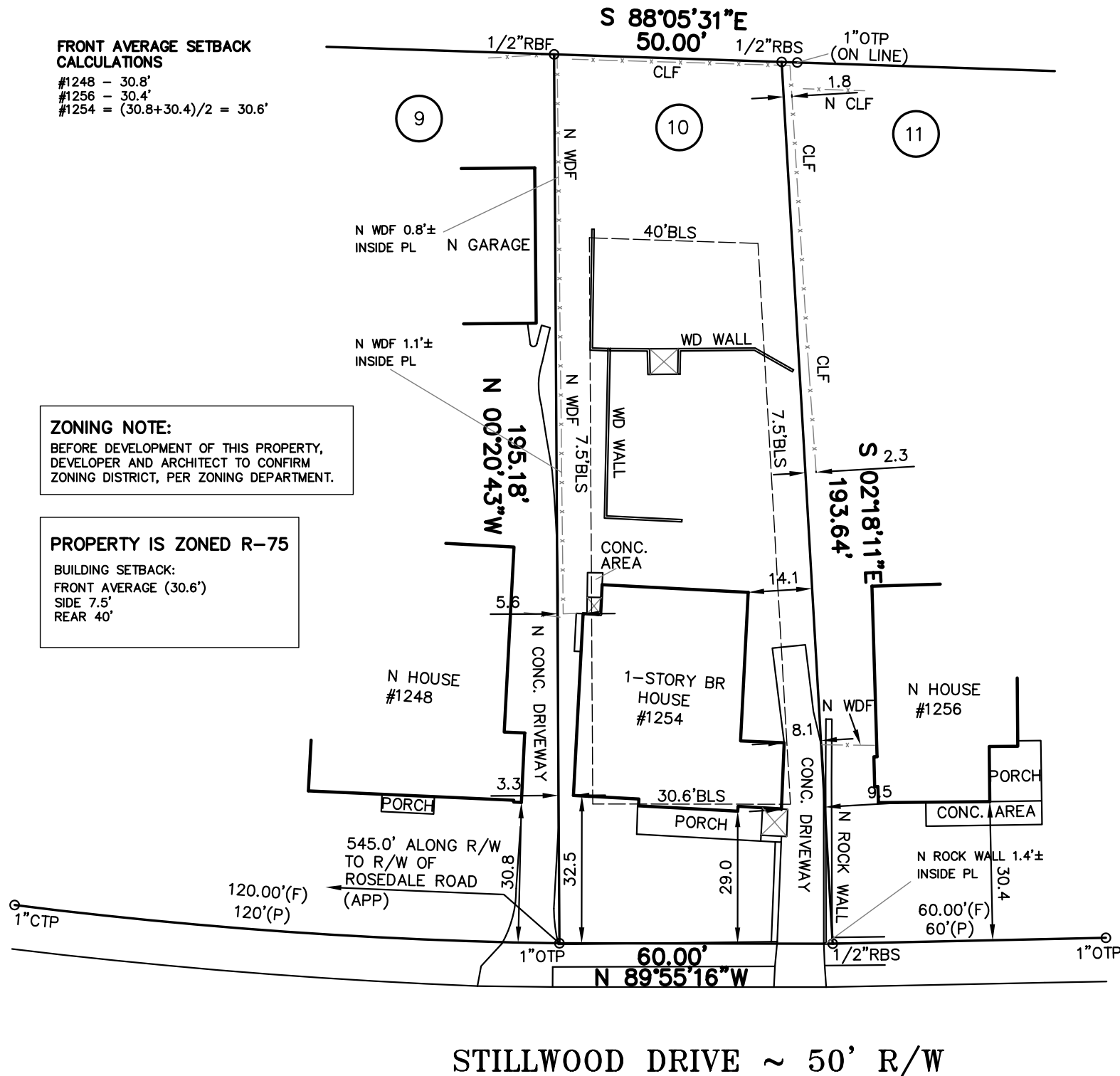
#1248 - 30.8'
 #1256 - 30.4'
 #1254 = (30.8+30.4)/2 = 30.6'

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED R-75

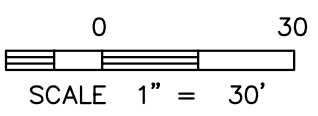
BUILDING SETBACK:
 FRONT AVERAGE (30.6')
 SIDE 7.5'
 REAR 40'



STILLWOOD DRIVE ~ 50' R/W

PROPERTY ADDRESS:
 1254 STILLWOOD DRIVE
 ATLANTA, GA 30306

LAND AREA:
 0.245 AC
 10682.99 SF



PLAT PREPARED FOR:

RONALD G. DAVIDSON

LOT 10	BLOCK 3
SUBDIVISION STILLWOOD	UNIT
LAND LOT 1	18TH DISTRICT SECTION
DEKALB COUNTY, GEORGIA	
FIELD WORK DATE SEP 08, 2016	PRINTED/SIGNED SEP 14, 2016
PLAT BOOK 8 ,PAGE 120	ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED
DEED BOOK 18748 ,PAGE 780	



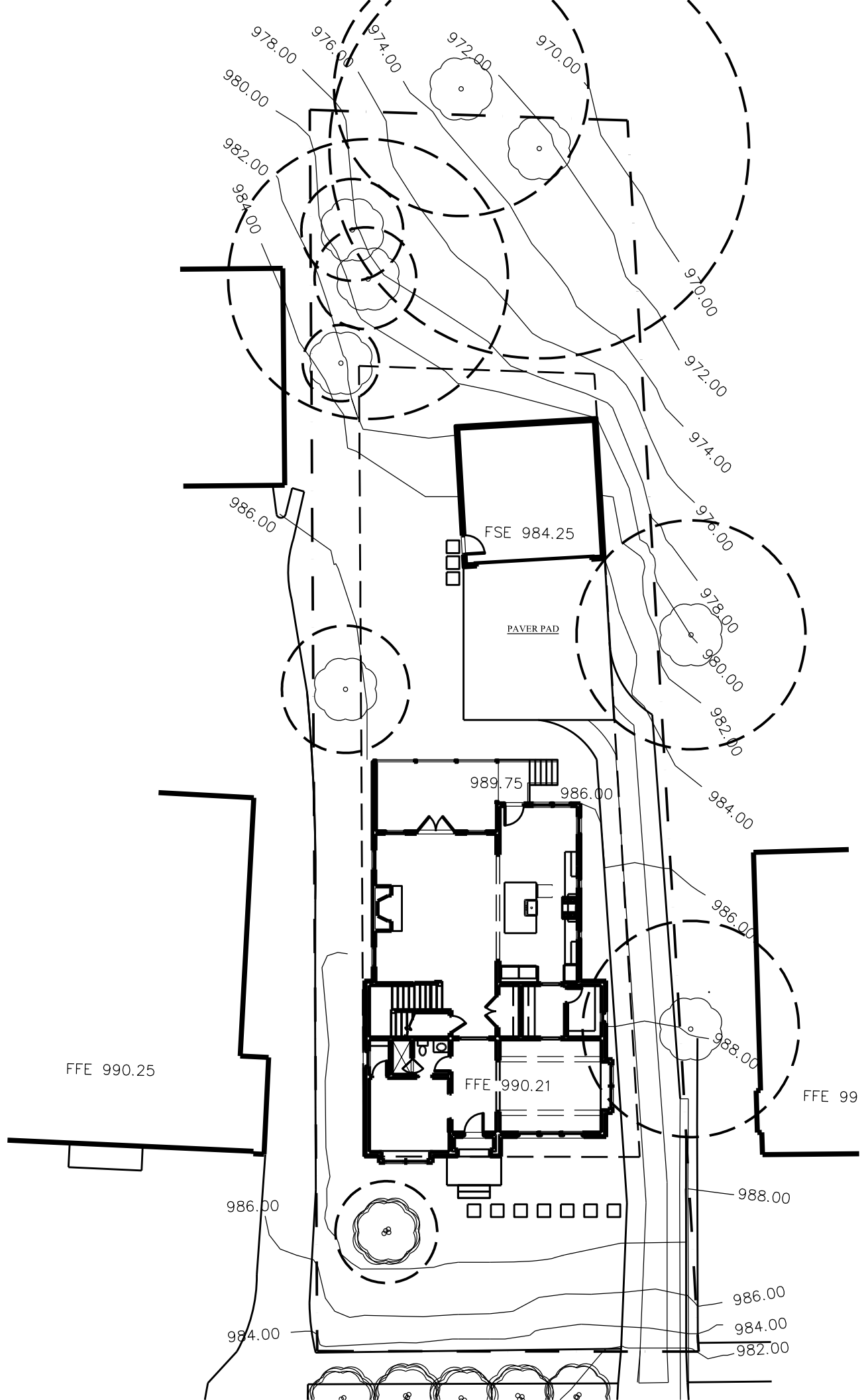
IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

JP
 COORD # 20161669
 DWG # 20161669

SURVEY LAND EXPRESS, INC.
 LAND SURVEYING SERVICES

PAPER FORMAT 11"x17"
 70 LENOX POINTE,
 ATLANTA, GA 30324
 FAX 404-601-0941
 TEL 404-252-5747
 INFO@SURVEYLANDEXPRESS.COM



978.00 976.00 974.00 972.00 970.00

980.00 982.00 984.00

970.00 972.00 974.00 976.00

FSE 984.25

PAVER PAD

978.00 980.00 982.00

989.75 986.00

986.00 988.00

FFE 990.25

FFE 990.21

FFE 99

986.00

988.00

984.00

986.00 984.00 982.00



SITE LOCATION MAP
(NOT TO SCALE)

FLOOD NOTE

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (●) (IS NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL
 MAP ID: 13121C0229F EFFECTIVE DATE: 09/18/2013
 ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

1. LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION
4. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

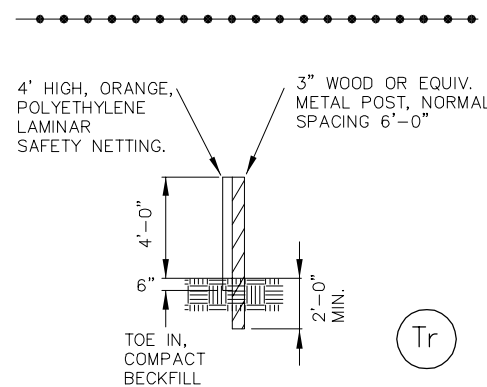
SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

GENERAL NOTES (DEMOLITION)

- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE.
- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHAL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEM NECESSARY BY THE ON-SITE INSPECTOR.
- CALL FOR FINAL INSPECTION AT 404-371-4913.

INDICATES TREE PROTECTION FENCE



TREE PROTECTION FENCING DETAIL
(NOT TO SCALE)

TREE PROTECTION (Tr)

1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
3. KEEP OUT SIGN

GENERAL NOTES (SITE PLAN)

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
2. EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS NECESSARY.
3. DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
4. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
6. SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER:
 NAME: Turnkey Property Investment Group, Inc.
 ADDRESS: 1254 STILLWOOD DRIVE ATLANTA, GA 30306
 CONTACT NAME: Scott Sampsel
 24-HRS (404) 844-9680

DIST STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT 398
 TOTAL OF GROSS CUBIC YARDS OF FILL 85
 EXCESS OF SOIL TO BE HAULED OFF THE SITE

DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 02-20-2018
 ANTICIPATED COMPLETION DATE: 12-20-2018
 THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

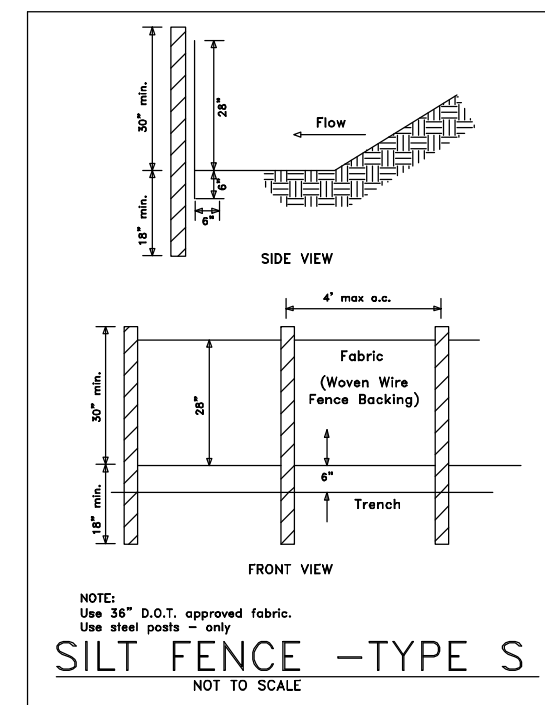
COORDINATES CONNECTED TO MEAN SEA LEVEL ELEVATIONS

EROSION CONTROL LEGEND

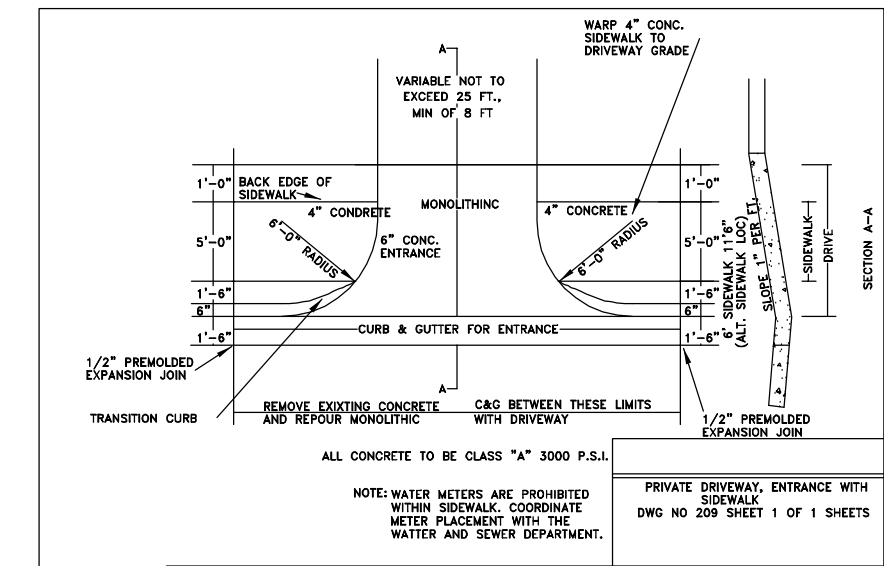
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
 EUGENE A STEPANOV
 LEVEL II CERTIFIED DESIGN PROFESSIONAL
 CERTIFICATION NUMBER 0000065549
 ISSUED: 01/27/2018 EXPIRES: 01/27/2021

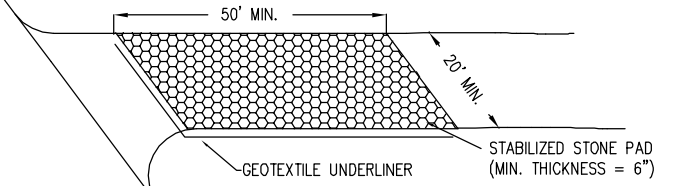


Sd1-S SEDIMENT BARRIER
 SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.



CONSTRUCTION EXITS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION OR UNTIL PAVING NECESSITATES REMOVAL.

ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE ONTO ROADWAY SHALL BE REMOVED IMMEDIATELY.



STONE SIZE = N.S.A. R-2(1.5"-3.5") COURSE AGGREGATE PROVIDE PERIODIC TOP DRESSING WITH 2" STONE AS NECESSARY WHEELS MUST BE CLEANED TO REMOVED MUD PRIOR TO ENTRANCE ONTO PUBLIC OR PRIVATE ROADWAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON THE STONE PAD WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR BASIN.

(Co) STONE PAD CONSTRUCTION EXIT
NTS

*** LEGEND ***

N	N'BORS.	LL	POINT OF BEGINNING
IPF	IRON PIN FOUND	LL	LAND LOT LINE
IPB	IRON PIN SET	MH	MAN HOLE
OTP	OPEN TOP PIPE FOUND	SSL	SANITARY SEWER LINE
CTP	CRIMP TOP PIPE FOUND	CB	CATCH BASIN
RBFB	REINFORCING BAR FOUND	JB	JUNCTION BOX
AI	ANGLE IRON FOUND	DI	DRAINAGE INLET
CP	CALCULATED POINT	YI	YARD INLET
-X-X	FENCE	HW	HEAD WALL
CLF	CHAIN LINK FENCE	PP	POWER POLE
WDF	WOOD FENCE	PW	POWER LINE
WRF	WIRE FENCE	SSE	SANITARY SEWER EASEMENT
FC	FENCE CORNER	DE	DRAINAGE EASEMENT
BL	BUILDING LINE	UE	UTILITY EASEMENT
R/W	RIGHT-OF-WAY	AE	ACCESS EASEMENT
PL	PROPERTY LINE	TOP	TOP OF BANK
PC	PROPERTY CORNER	OMP	CORRUGATED METAL PIPE
CL	CENTER LINE	RCP	REINFORCED CONC. PIPE
BR	BRICK	APP	AS PER PLAT
FR	FRAME	APD	AS PER DEED
WD	WOOD	APR	AS PER RECORD
P	PLAT	APF	AS PER FIELD
D	DEED	BC	BACK OF CURB
R	RECORD	EP	EDGE OF PAVEMENT
F	FIELD	OU	OWNERSHIP UNCLEAR
		OH	OVERHANG
		GL	GAS LINE
		WM	WATER METER
		WL	WATER LINE
		WV	WATER VALVE

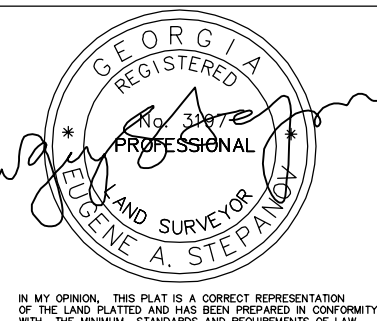
GENERAL NOTES:

1. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
2. THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
3. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
4. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE.
5. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS INC FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
6. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
7. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
8. EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.
9. STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
10. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
11. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
12. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
13. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. CERTIFIED AS-BUILT MAY ALSO BE REQUIRED.

LOT 11 & 12	BLOCK 3	DEMOLITION PLAN PREPARED FOR:	SHEET 1 OF 2
SUBDIVISION STILLWOOD	UNIT	Turnkey Property Investment Group, Inc.	
LAND LOT 1	18TH DISTRICT SECTION		
DEKALB COUNTY, GEORGIA	PB.8/PG.120 DB.18748/PG.780	PROPERTY ADDRESS:	
FIELD WORK DATE DEC 04, 2017	PRINTED/SIGNED MAR 13, 2018	1254 STILLWOOD DRIVE	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"	ATLANTA, GA 30306	
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000± FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
AS	COORD #20161669	70 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	
DWG #20161669			

SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

SSMH1 982.52
INV OUT 977.22

SSMH2 979.31
INV OUT 974.21

FRONT AVERAGE SETBACK
CALCULATIONS

#1248 = 30.8'
#1256 = 30.4'
#1254 = (30.8+30.4)/2 = 30.6'

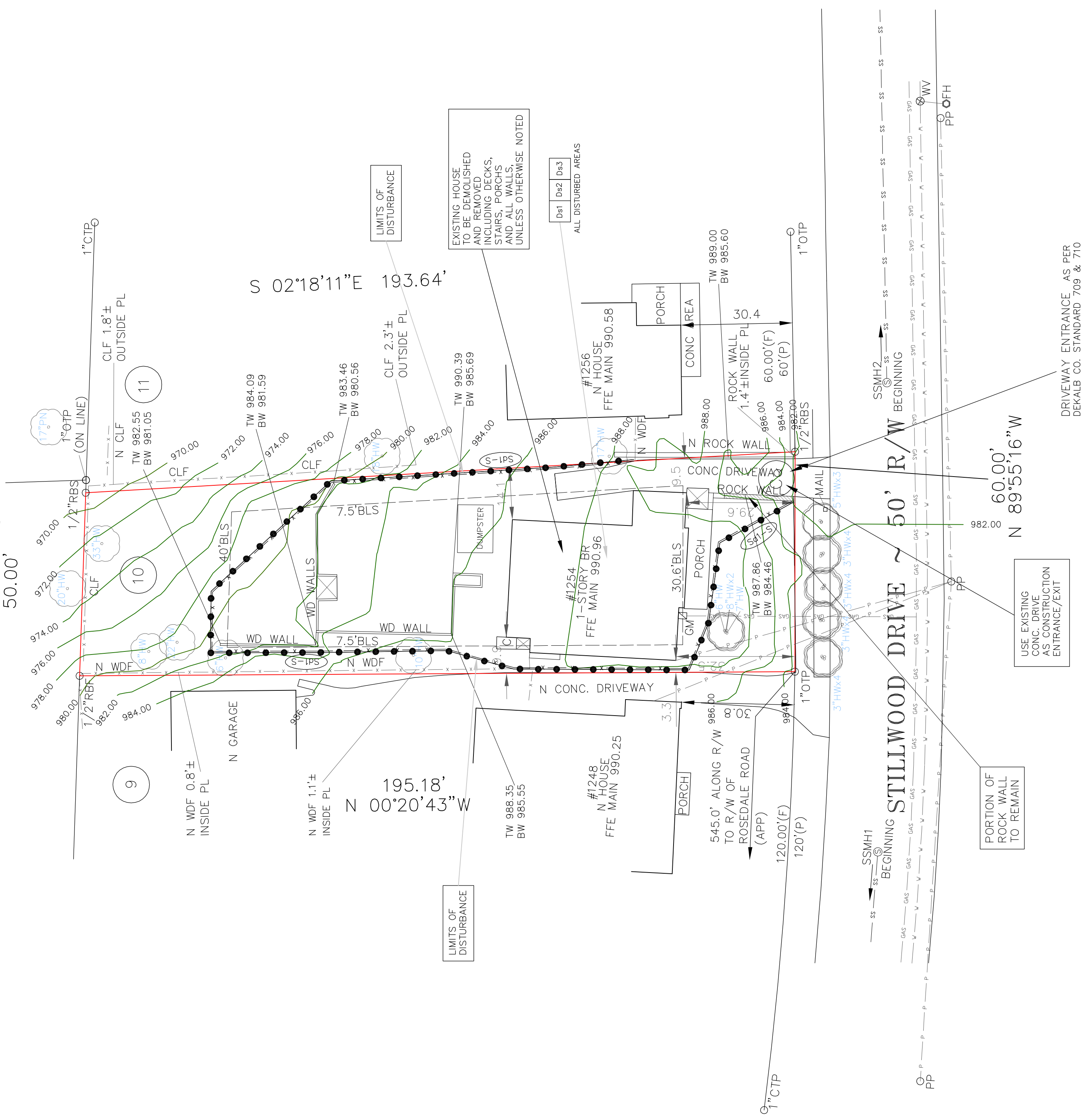
NOTE: NO TREES TO BE REMOVED.

S 88°05'31"E
50.00'

S 02°18'11"E 193.64'

195.18'
N 00°20'43"W

60.00'
N 89°55'16"W



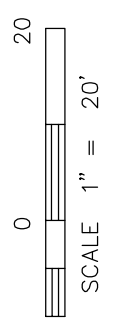
LOT 11 & 12	BLOCK 3	DEMOLITION PLAN PREPARED FOR:	SHEET 2 OF 2
SUBDIVISION	STILLWOOD	UNIT	
LAND LOT 1	18TH DISTRICT	SECTION	
DEKALB COUNTY, GEORGIA	PB.8/PG.120	DB:18748/PG.780	
FIELD WORK DATE	DEC 04, 2017	PRINTED/SIGNED	MAR 13, 2018
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 17" x 22"	
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSENESS OF 1 FOOT IN 10,000 FEET AN ANGULAR ERROR OF 6 SECONDS PER INCH OF PLATE PRINT AND HAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSENESS AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET AN ELECTRONIC TOTAL STATION AND A 1/2" CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
AS	COORD #20161669	SURVEY LAND EXPRESS, INC	
DWG #20161669	LAND SURVEYING SERVICES		LAND SURVEYING SERVICES
PROPERTY ADDRESS:		TURNKEY PROPERTY INVESTMENT GROUP, INC.	
1254 STILLWOOD DRIVE		1254 STILLWOOD DRIVE	
ATLANTA, GA 30306		ATLANTA, GA 30306	
70 LENOX POINTE		REGISTERED PROFESSIONAL SURVEYOR	
ATLANTA, GA 30324		EUGENE A. STEINKAMP	
FAX 404-601-0941		REGISTERED PROFESSIONAL SURVEYOR	
TEL 404-252-5747		EUGENE A. STEINKAMP	
INFO@SURVEYLANDEXPRESS.COM		REGISTERED PROFESSIONAL SURVEYOR	

TOTAL LAND AREA
10682.99 SF / 0.245 AC

ALLOWABLE LOT COVERAGE
3739.05 SF / 0.086 AC / 35%

FLOOR AREA RATIO
See architect's set for details

DISTURBED AREA
6498.97 SF / 0.149 AC





SITE LOCATION MAP
(NOT TO SCALE)

FLOOD NOTE

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (●) (IS NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL
MAP ID: 13121C0229F EFFECTIVE DATE: 09/18/2013
ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

- 1. LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 2. LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 3. ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION
- 4. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

SURVEY NOTES:

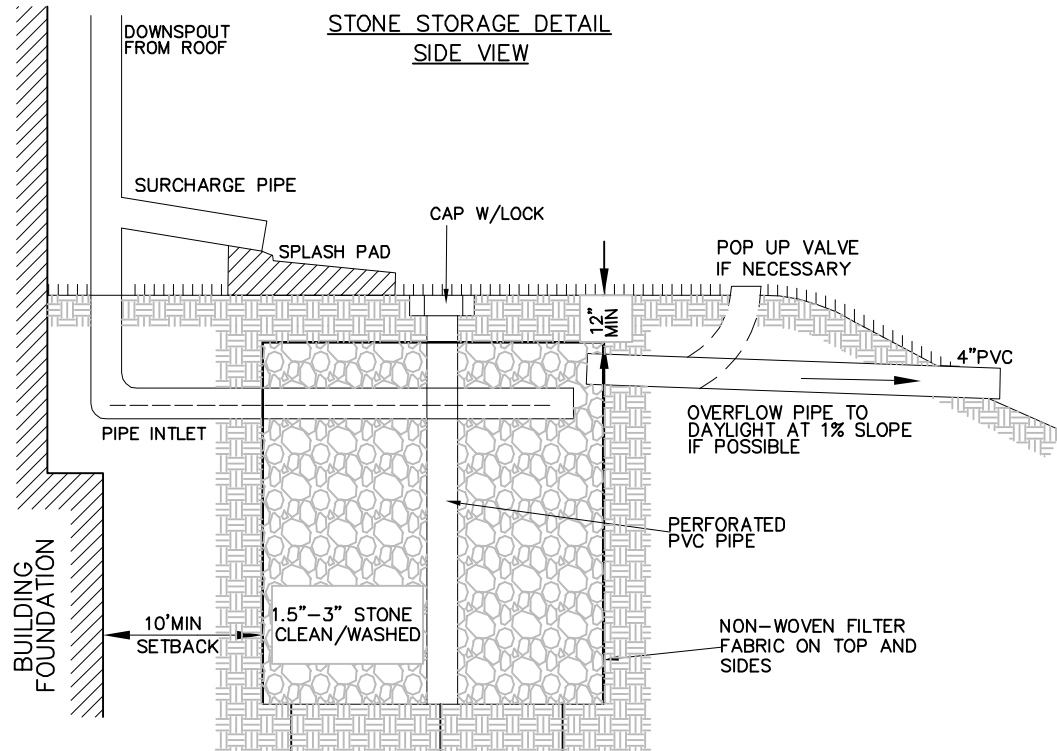
- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- 2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- 5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- 6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

REVISED
04/12/2018

LOT 11 & 12	BLOCK 3
SUBDIVISION STILLWOOD	UNIT
LAND LOT 1	18TH DISTRICT SECTION
DEKALB COUNTY, GEORGIA	PB.8/PG.120 DB.18748/PG.780
FIELD WORK DATE DEC 04, 2017	PRINTED/SIGNED MAR 13, 2018
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"

SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES



GENERAL NOTES (SITE PLAN)

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- 2. EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS NECESSARY.
- 3. DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- 4. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- 5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- 6. SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

SPECIAL SITE PLAN NOTES:

- 1. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 2. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 3. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- 4. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND PRIOR TO FOOTERS BEING POURED.
- 5. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 6. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- 7. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCES AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 8. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED AS NEEDED.
- 9. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- 10. A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 11. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 12. WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- 13. ALL COLLECTED WATER SHALL BE DIRECTED TO WATER QUALITY BMP(S).
- 14. NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE CRITICAL ROOT ZONE.
- 15. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY 7:00AM - 7:00PM
SATURDAY 8:00AM - 5:00PM
- 16. I EUGENE STEPANOV CERTIFY UNDER PENALTY OF LAW THAT THIS PLAT WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

SITEPLAN PREPARED FOR:
Turnkey Property Investment Group, Inc.

PROPERTY ADDRESS:
1254 STILLWOOD DRIVE
ATLANTA, GA 30306



70 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

REQUIRED WATER QUALITY VOLUME

VOLUME CALCULATIONS FOR THE FIRST 1.2" (0.10 FT) OF STORM RUNOFF FROM IMPERVIOUS AREA 4095.56 SF
WQV 0.1 x 4095.56 = 409.56 CF

PROVIDED WATER QUALITY VOLUME

STONE STORAGE DIMENSIONS
PIT SHALL BE 10' WIDE 15' LONG AND 7' IN DEPTH. TOTAL 1050 CF
0.75" TO 1.5" CLEAN GRAVEL BACKFILL
VOIDS 40% - 420 CF
TOTAL STORAGE 420 CF
REQUIREMENT SATISFIED

TREE PROTECTION (Tr)

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- 2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- 3. KEEP OUT SIGN

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER:
NAME: Turnkey Property Investment Group, Inc.
ADDRESS: 1254 STILLWOOD DRIVE ATLANTA, GA 30306
CONTACT NAME: Scott Sampsel
24-HRS (404) 844-9680

DIST STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT 388
TOTAL OF GROSS CUBIC YARDS OF FILL 85
EXCESS OF SOIL TO BE HAULED OFF THE SITE

DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 02-20-2018
ANTICIPATED COMPLETION DATE: 12-20-2018
THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

COORDINATES CONNECTED TO MEAN SEA LEVEL ELEVATIONS

EROSION CONTROL LEGEND

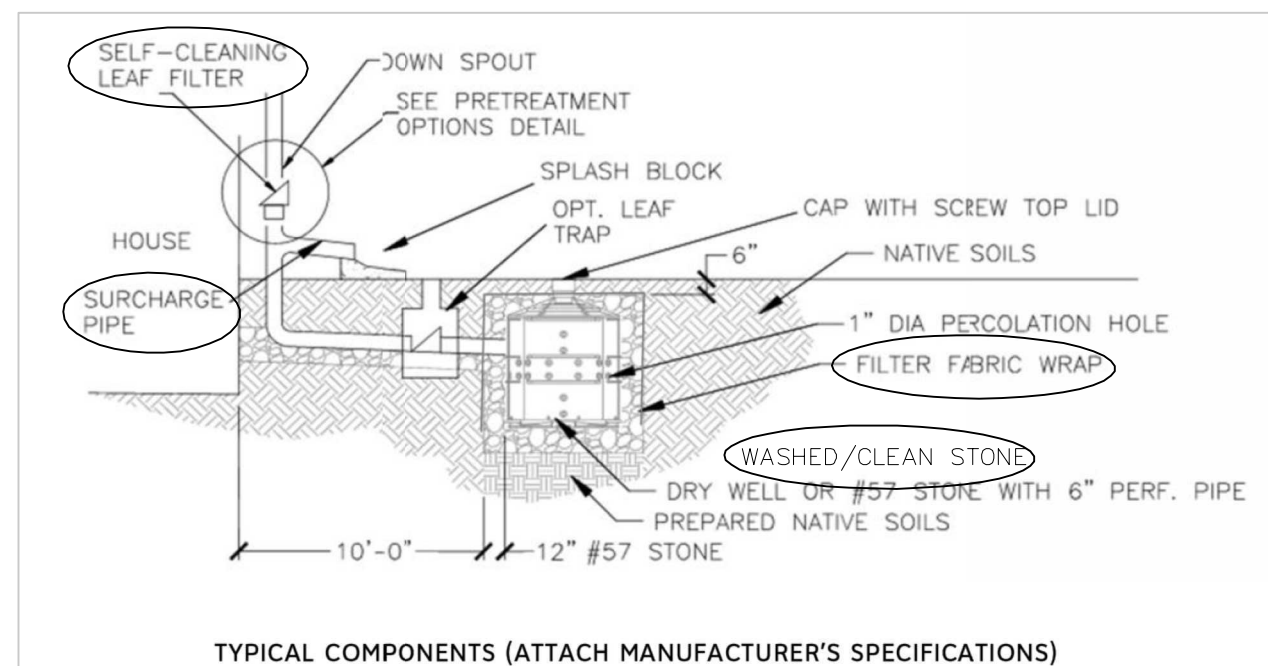
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY

- (Co) CONSTRUCTION ENTRANCE/EXIT
- (Sd1-S) INDICATES Sd1 TYPE S SILT FENCE
- (Tr) INDICATES TREE PROTECTION FENCE
- (Ds1) DISTURBED AREA STABILIZATION (WITH MULCH)
- (Ds2) DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
- (Ds3) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- (Ds4) DISTURBED AREA STABILIZATION (WITH SODDING)

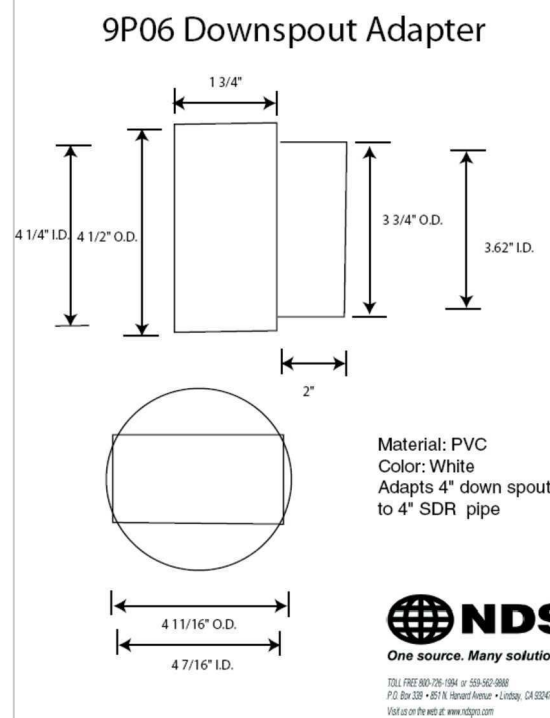
GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000065549
ISSUED: 01/27/2018 EXPIRES: 01/27/2021

CIRCLED ITEMS ARE REQUIRED



ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED R-75
BUILDING SETBACK:
FRONT AVERAGE (30.6')
SIDE 7.5'
REAR 40'
MAX LOT COVERAGE 35%
MINIMUM FRONTAGE 75'
MINIMUM LOT AREA: 10000 SF



*** LEGEND ***

N	N'BORES	POB	POINT OF BEGINNING
IPF	IRON PIN FOUND	LLL	LAND LOT LINE
IPB	IRON PIN SET	MH	MAN HOLE
OTF	OPEN TOP PIPE FOUND	SSL	SANITARY SEWER LINE
CTP	CRIMP TOP PIPE FOUND	CB	CATCH BASIN
RBF	REINFORCING BAR FOUND	JB	JUNCTION BOX
AL	ANGLE IRON FOUND	DI	DRAINAGE INLET
CP	CALCULATED POINT	YI	YARD INLET
-X-X	FENCE	HW	HEAD WALL
CLF	CHAIN LINK FENCE	PP	POWER POLE
WF	WOOD FENCE	PW	POWER LINE
WRF	WIRE FENCE	SSE	SANITARY SEWER EASEMENT
FC	FENCE CORNER	DE	DRAINAGE EASEMENT
BL	BUILDING LINE	UE	UTILITY EASEMENT
R/W	RIGHT-OF-WAY	AE	ACCESS EASEMENT
PL	PROPERTY LINE	TP	TOP OF BANK
PC	PROPERTY CORNER	CMP	CORRUGATED METAL PIPE
CL	CENTER LINE	RCP	REINFORCED CONC. PIPE
BR	BRICK	APP	AS PER PLAT
FR	FRAME	APD	AS PER DEED
WD	WOOD	APR	AS PER RECORD
P	PLAT	APF	AS PER FIELD
R	RECORD	BC	BACK OF CURB
F	FIELD	EP	EDGE OF PAVEMENT
		OU	OWNERSHIP UNCLEAR
		OH	OVERHANG
		GL	GAS LINE
		WM	WATER METER
		WL	WATER LINE
		WV	WATER VALVE

GENERAL NOTES:

- 1. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
- 2. THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
- 3. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- 4. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE.
- 5. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS INC FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
- 6. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
- 7. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- 8. EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTION MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.
- 9. STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
- 10. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- 11. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- 12. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
- 13. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. CERTIFIED AS-BUILT MAY ALSO BE REQUIRED.

FFE IS MEASURED AT THE FRONT DOOR THRESHOLD

INDICATES PROPOSED CONTOURS
INDICATES EXISTING CONTOURS

TREE SAVE STATUS:
INDICATES TREE TO BE REMOVED

NO RETAINING WALLS PROPOSED
NO BURY PITS ON THE PROPERTY

FRONT AVERAGE SETBACK CALCULATIONS

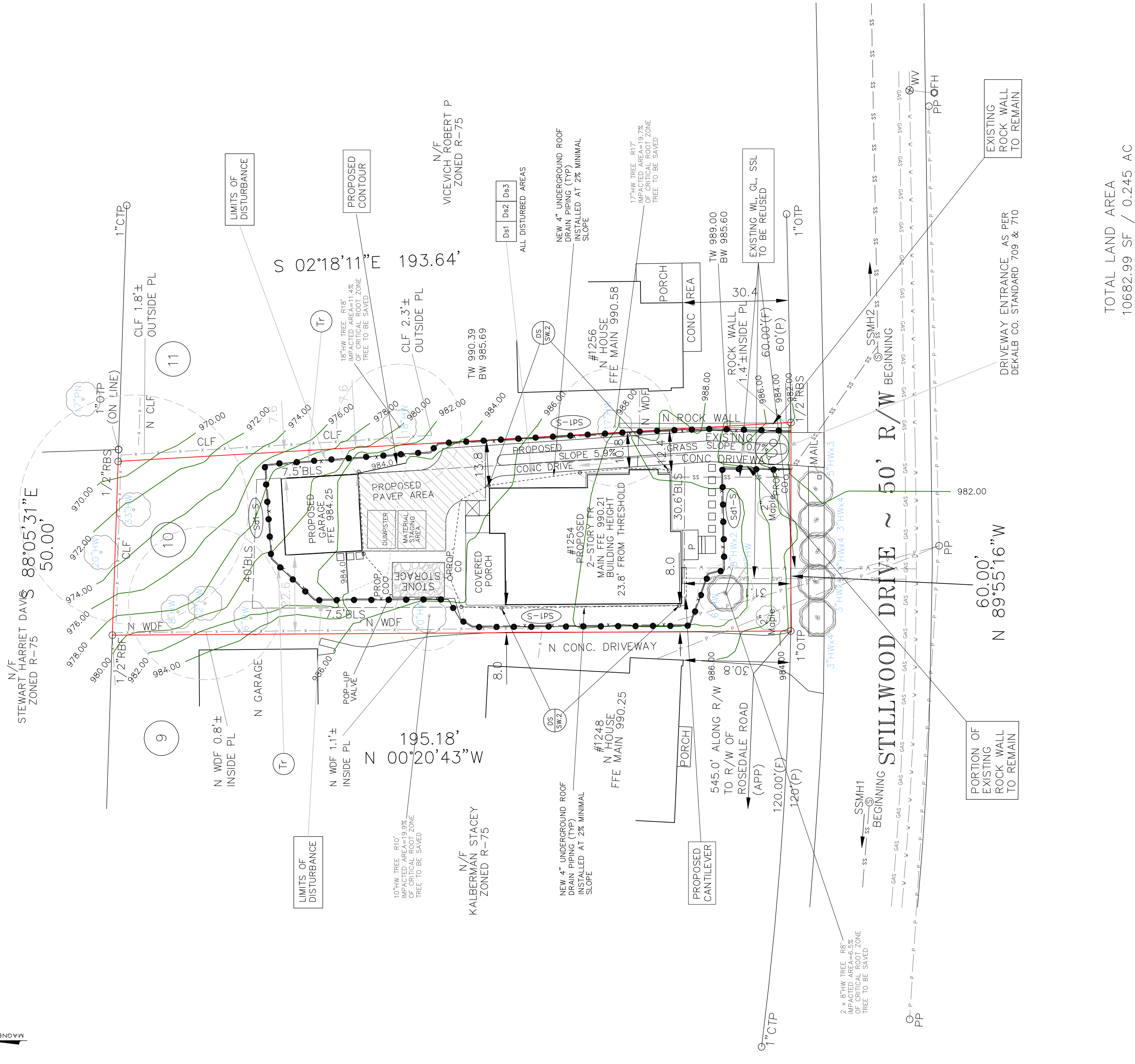
#1248 - 30.8'
#1256 - 30.4'
#1254 = (30.8+30.4)/2 = 30.6'

#1254
OLD HOUSE FFE
MAIN 990.96

SSMH1 982.52
INV OUT 977.22
SSMH2 979.31
INV OUT 974.21

INDICATES TREE PROTECTION FENCE

MAGNETIC



REVISED
04/12/2018

LOT 11 & 12	BLOCK 3	SITEPLAN PREPARED FOR:	SHEET 2 OF 4
SUBDIVISION STILLWOOD	UNIT	Turnkey Property Investment Group, Inc.	
LAND LOT 1	18TH DISTRICT	PROPERTY ADDRESS: 1254 STILLWOOD DRIVE ATLANTA, GA 30306	
DEKALB COUNTY, GEORGIA	PB.8/PG.120		
FIELD WORK DATE DEC 04, 2017	PRINTED/SIGNED MAR 13, 2018		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"		
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET. AN ANGULAR ERROR OF 0.8 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100 CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
AS COORD #20161669 DWG #20161669	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES	70 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	

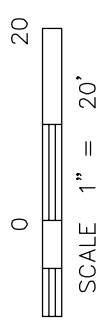
TOTAL LAND AREA
10682.99 SF / 0.245 AC

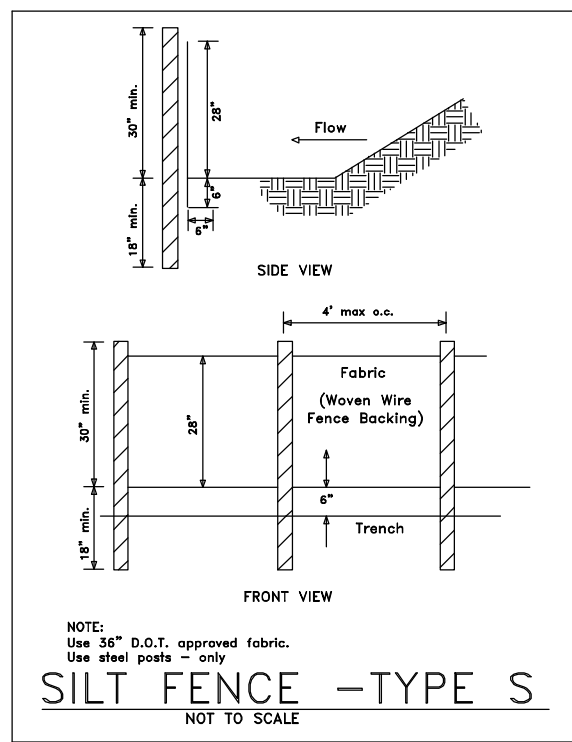
ALLOWABLE LOT COVERAGE
3739.05 SF / 0.086 AC / 35%

PROPOSED IMPERVIOUS AREA
4095.56 SF / 0.094 AC / 38.3%

FLOOR AREA RATIO
See architect's set for details

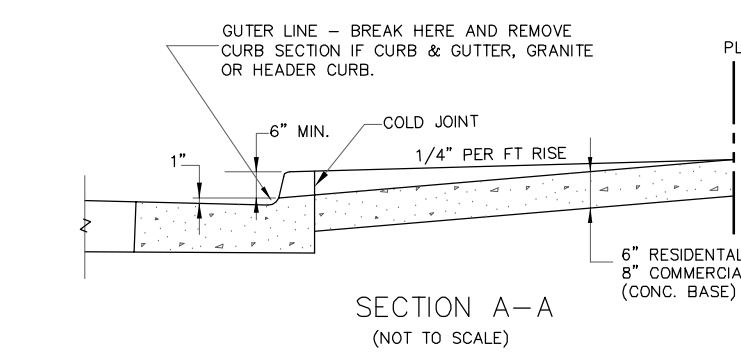
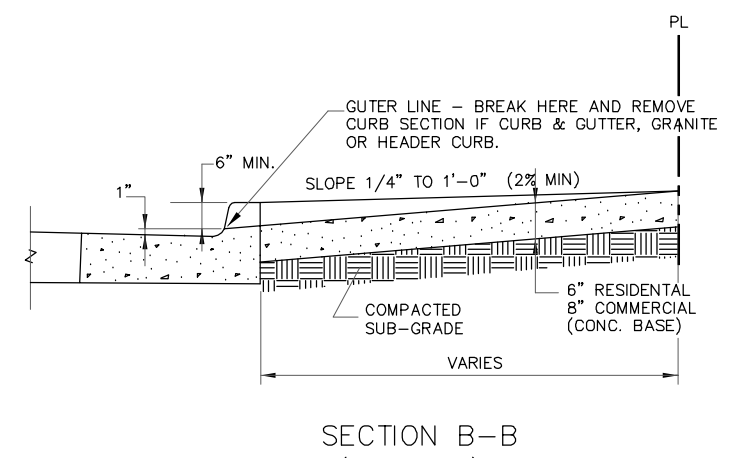
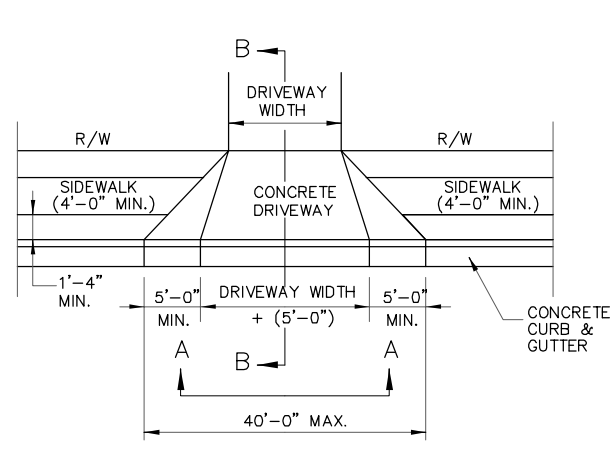
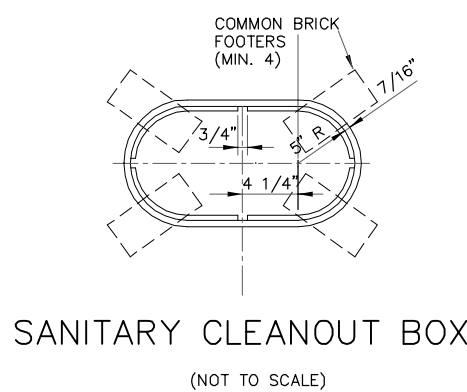
DISTURBED AREA
6388.61 SF / 0.146 AC



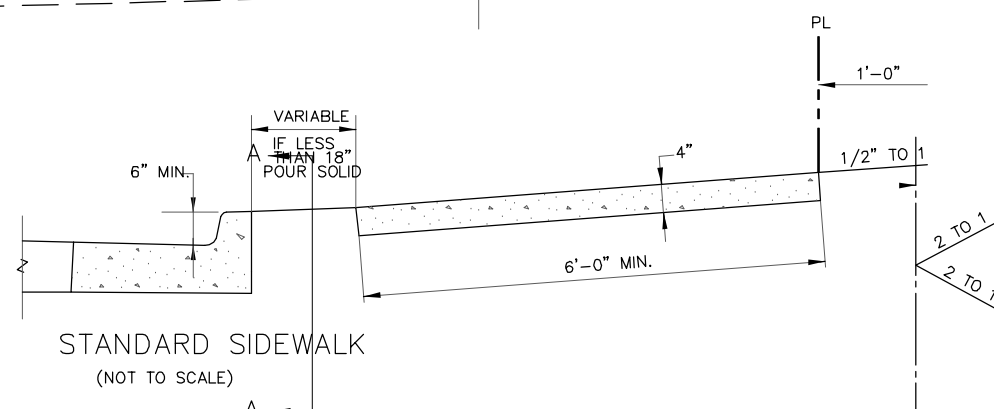
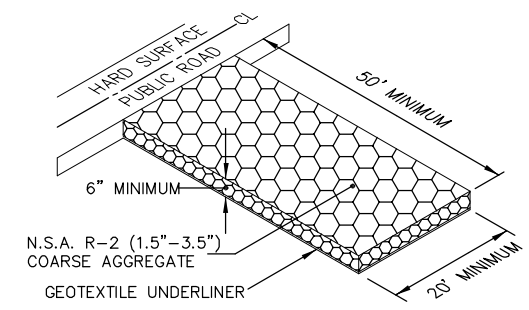
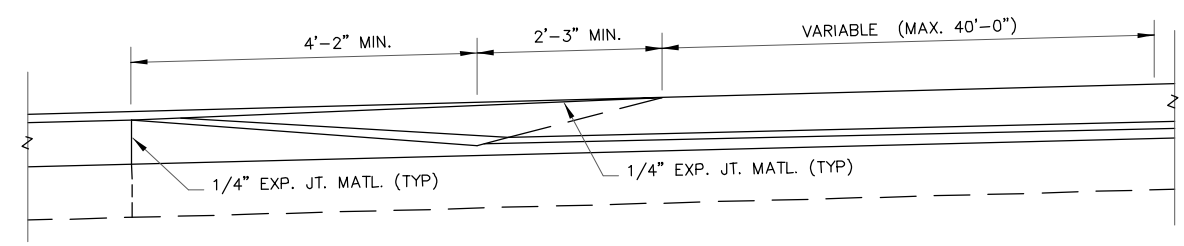


Sd1-S SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

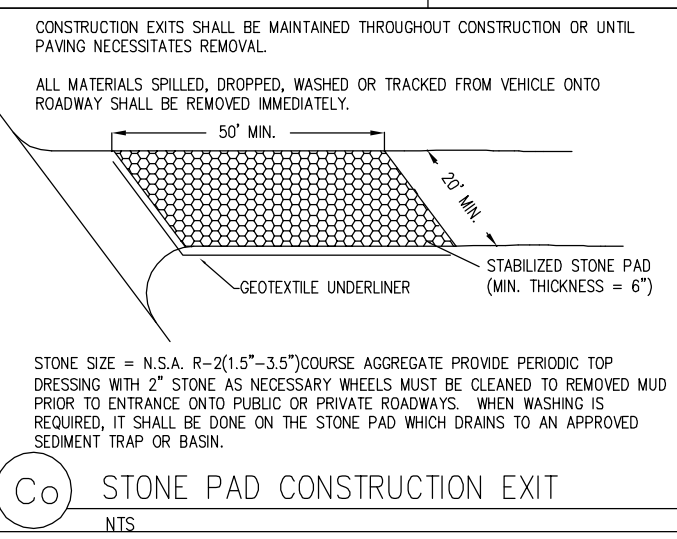
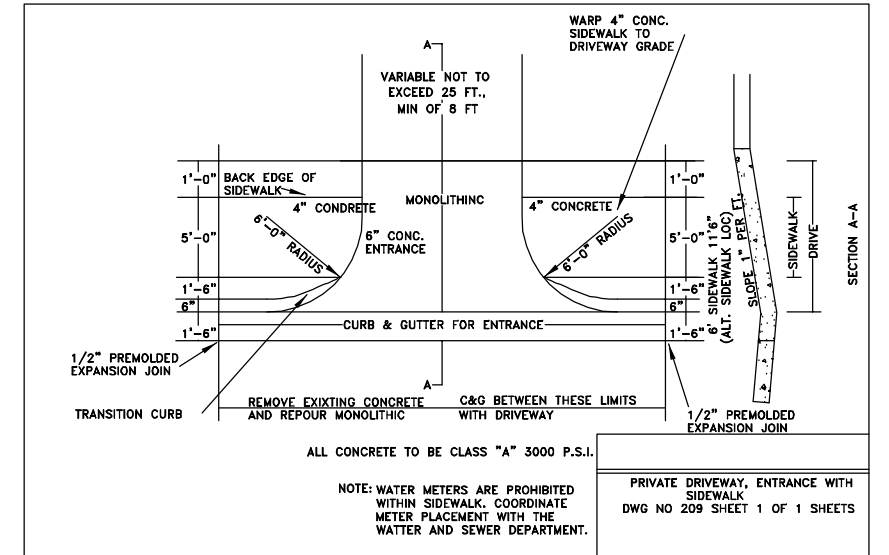


STANDARD DRIVEWAY WITH CURB AND GUTTER
(NOT TO SCALE)

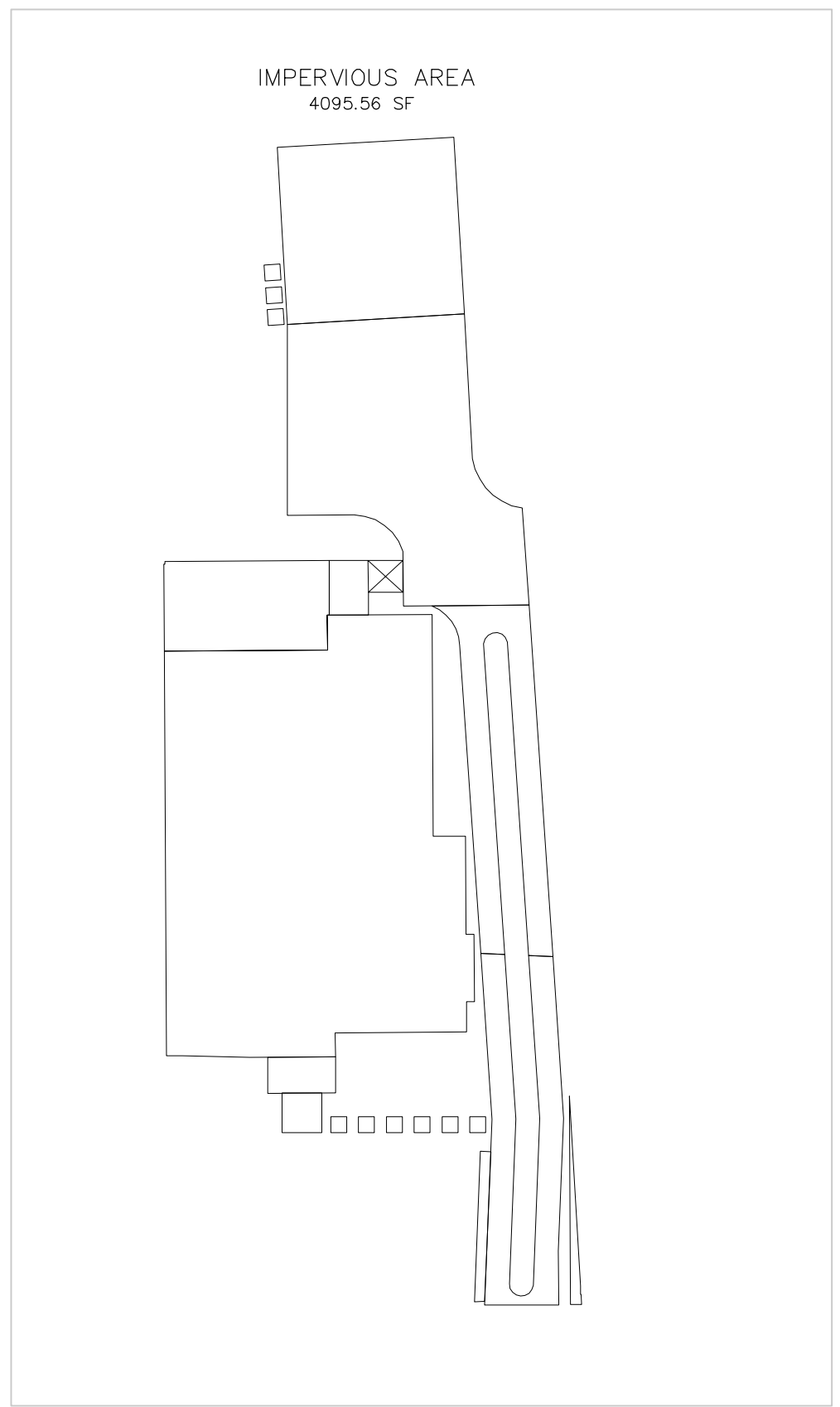


STANDARDS - DRIVEWAY AND SIDEWALK

1. SIDEWALK TO BE SCRIBED IN SQUARES EQUAL TO WALK WIDTH BUT NOT TO EXCEED 10'.
2. CONCRETE TO BE 3,000 P.S.I. MIN. DRIVEWAY SECTIONS, USE 3,000P.S.I. HIGH EARLY.
3. EXPANSION JOINTS ACROSS THE SIDEWALK ON EACH SIDE OF DRIVEWAY AND NOT MORE THAN 100' APART.
4. PREFORMED BITUMINOUS EXPANSION MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS (EXCEPT CURB) AND THE NEW CONCRETE SIDEWALK.



IMPERVIOUS AREA DETAIL



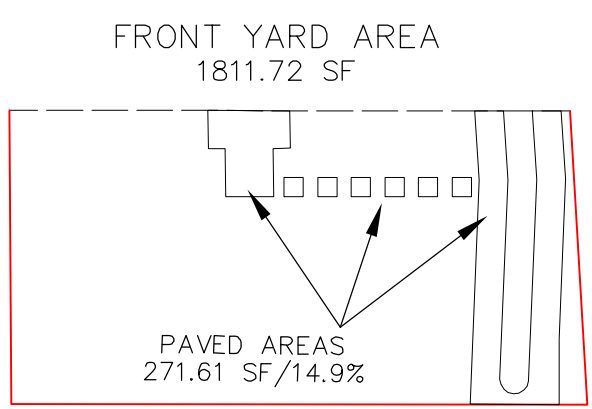
TYPICAL MAINTENANCE ACTIVITIES FOR STONE STORAGE

ACTIVITY	FREQUENCY
1. AFTER CONSTRUCTION, INSPECT AFTER EVERY MAJOR STORM FOR THE FIRST FEW MONTHS TO ENSURE STABILIZATION AND PROPER FUNCTION.	DURING ESTABLISHMENT
2. INSPECT STONE STORAGE AT LEAST FOUR TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH.	
3. INSPECT PRETREATMENT DEVICES AND OVERFLOW OUTLETS AND DISPOSE OF SEDIMENT, DEBRIS/TRASH, AND ANY OTHER WASTE MATERIAL REMOVED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS	
4. CHECK OBSERVATION WELL FOLLOWING 3 DAYS OF DRY WEATHER TO ENSURE 72-HOUR MAXIMUM IS NOT BEING EXCEEDED.	
5. REGULARLY CLEAN OUT GUTTERS AND ENSURE PROPER CONNECTIONS.	
6. REPLACE ROOF LEADER FILTER SCREENS AS NECESSARY.	QUARTERLY
7. CLEAN OUT INTERMEDIATE SUMP BOX (IF INCLUDED) AT LEAST ONCE A YEAR.	ANNUALLY
8. PERFORM TOTAL REHABILITATION OF STONE STORAGE TO MAINTAIN DESIGN STORAGE CAPACITY AND 72-HOUR DRAWDOWN TIME	UPON FAILURE

- BMP NOTES:**
1. GRAVEL SIZE 1"-3" STONE.
 2. 4" PIPES FROM DOWNDRAINS MUST EXTEND AT LEAST 3" INTO STONE STORAGE
 3. ENTIRE PERIMETER TO BE WRAPPED IN 6-02 FILTER FABRIC.
 4. A CLEANOUT AND/OR EMERGENCY BYPASS SHALL BE PROVIDED
 5. OVERFLOW FROM WATER QUALITY BMP(S) SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES
 6. WQ BMP'S TO BE INSTALLED AT TIME OF FINAL LANDSCAPING
 7. ALL COLLECTED WATER SHALL BE DIRECTED TO WQ BMP'S

PROPOSED IMPERVIOUS AREA BREAKDOWN

PROPOSED HOUSE	1860.98 SF
PROPOSED FRONT PORCH	38.34 SF
PROPOSED GARAGE	495.06 SF
PROPOSED REAR PORCH+STPS	283.61 SF
PROPOSED WALKWAYS	60.97 SF
PROPOSED CONC DRIVE	279.75 SF
PROPOSED PAVER DRIVEWAY	763.79 SF
EXISTING CONC DRIVE	269.82 SF
EXISTING ROCK WALLS	43.24 SF
TOTAL:	4095.56 SF



REVISED 04/12/2018

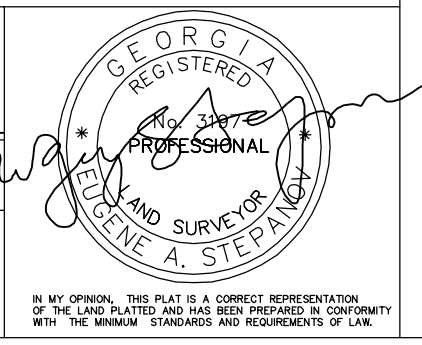
LOT 11 & 12	BLOCK 3	SITEPLAN PREPARED FOR:	SHEET 3 OF 4
SUBDIVISION STILLWOOD	UNIT	Turnkey Property Investment Group, Inc.	
LAND LOT 1	18TH DISTRICT SECTION	PROPERTY ADDRESS:	1254 STILLWOOD DRIVE ATLANTA, GA 30306
DEKALB COUNTY, GEORGIA	PB.8/PG.120 DB.18748/PG.780		
FIELD WORK DATE DEC 04, 2017	PRINTED/SIGNED MAR 13, 2018		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"		

AS
COORD #20161669
DWG #20161669

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

70 LENOX POINT
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.



- **Tree Protection Signs** are to be placed at least every 50' along the length of the Tree Protection Fence. The signs should be in language so that all workers on site are able to understand.

TREE PROTECTION AREA KEEP OUT!

TREES ENCLOSED BY THIS FENCE ARE PROTECTED BY PLANNING ORDINANCES AND ARE SUBJECTS OF A TREE PRESERVATION ORDER (TOWN & COUNTY PLANNING ACT 1985)

CONTRAVENTION OF TREE PRESERVATION ORDER MAY LEAD TO CRIMINAL PROSECUTION

THE FOLLOWING MUST BE OBSERVED BY ALL PERSONS:

- THE PROTECTIVE FENCING MUST NOT BE REMOVED
- NO PERSON SHALL ENTER THE PROTECTED AREA
- NO MACHINE OR PLANT SHALL ENTER THE PROTECTED AREA
- NO MATERIALS SHALL BE STORED IN THE PROTECTED AREA
- NO SPOIL SHALL BE DEPOSITED IN THE PROTECTED AREA
- NO EXCAVATION SHALL OCCUR IN THE PROTECTED AREA

ANY INCURSION INTO THE PROTECTED AREA MUST BE WITH THE WRITTEN PERMISSION OF THE LOCAL PLANNING AUTHORITY



1. No one **SHALL** encroach, place solvents, building, machinery, building debris or any other material within 6' outside the periphery of the **CRZ** or within any Tree Save Area, transitional buffer zone, stream buffer, or state buffer zone.
2. All Tree Fence and other tree protection devices must remain in functioning condition until completion of the project or until the CO is issued.
3. A tree that is designated to be saved, but is damaged during construction, **SHALL** be replaced with 4" caliper trees equal to the unit value of the tree removed. Any specimen tree damaged **SHALL** be replaced with 4" caliper trees equal to 1.5 times the DBH of the damaged specimen tree.

1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
2. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOT ZONE (CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
4. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS (CRZ).
5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.

TREE REPLACEMENT PLAN

The **TRP** shall include planting schedules with botanical and common tree names, quantity, size, spacing, and any special planting notes. Trees used for credit on the **TRP** must be chosen from the County's approved tree list. At least 50% of replacement trees must be overstory trees. No more than 25% may be of any single species. No more than 25% may be evergreen species.

Tree relocation and credit for existing tree replacement units will be granted to trees relocated on site. Tree relocation is subject to approval of the **CA**. Existing trees $\geq 2"$ **DBH** and $\leq 7.9"$ may be used for credit on the tree replacement plan.

Unless otherwise approved by the **CA**, trees selected for replanting must meet the minimum standards as provided in the American Standard for Nursery Stock (ANSI Z60.1) and must be on the County's tree species selection list. Trees selected must be free of injury, pests, disease, nutritional disorders or root defects, and must be in good vigor to assure a reasonable expectation of survival. Standards for transplanting shall be in compliance with the International Society of Arboriculture (**ISA**) publication **Tree and Shrub Planting Manual** or a similar publication.

Replanted trees should be ecologically compatible with the site and neighboring area. When practical, replanted trees shall be of the same or similar species as those removed. Trees shall be planted in manner that provides adequate space for nourishment, light, and maturation.

Planting and staking details, as well as other applicable drawings, shall be specified in the **TRP**.

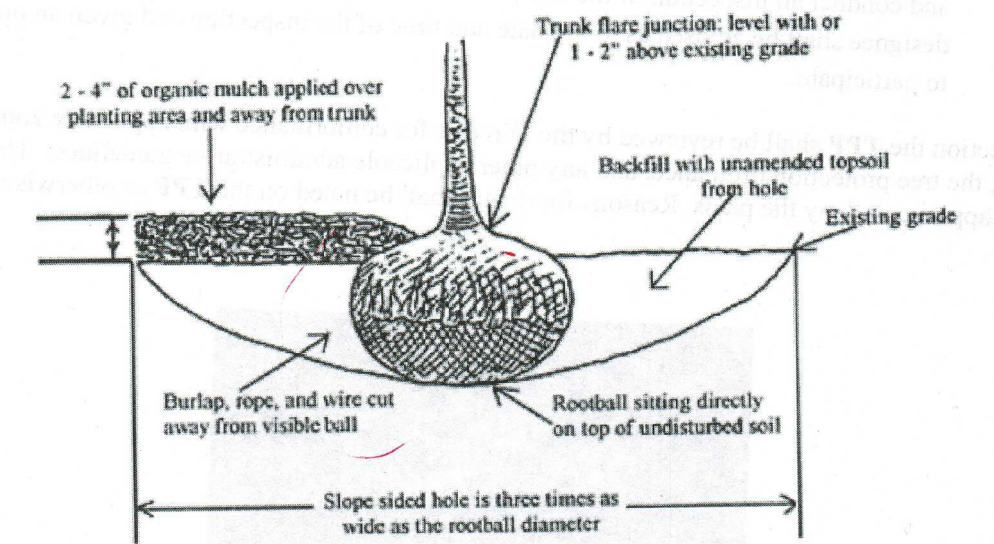


Diagram illustrating proper planting procedure for a tree or shrub.

TREE PLAN

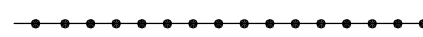
TREE LIST	REMOVED TREES
DBH 30"HW	N/A
DBH 8"HW	
DBH 22"HW	
DBH 10"HW	
DBH 6"HW x2	
DBH 7"HW	
DBH 8"HW x2	

REPLACEMENT TREES
2x
2" Maple

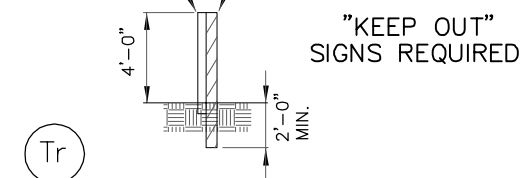
PRESERVED DBH INCHES=	105"
REMOVED DBH INCHES=	0"
REPLACEMENT TREES=	4"
TOTAL DBH INCHES=	109"

0.245 AC x 120 INCHES/ACRE = 29.4 INCHES REQUIRED FOR PRESERVATION.

INDICATES TREE PROTECTION FENCE



4' HIGH, ORANGE, POLYETHYLENE LAMINAR SAFETY NETTING.



TREE PROTECTION FENCING DETAIL
(NOT TO SCALE)

TREE NOTES & DETAILS

REVISED
04/12/2018

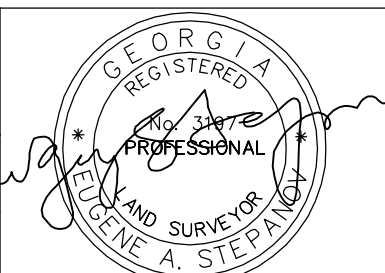
LOT 11 & 12	BLOCK 3	SITEPLAN PREPARED FOR:	SHEET 4 OF 4
SUBDIVISION STILLWOOD	UNIT	Turnkey Property Investment Group, Inc.	
LAND LOT 1	18TH DISTRICT	SECTION	
DEKALB COUNTY, GEORGIA	PB.8/PG.120	DB.18748/PG.780	
FIELD WORK DATE DEC 04, 2017	PRINTED/SIGNED MAR 13, 2018	PROPERTY ADDRESS:	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"	1254 STILLWOOD DRIVE	
		ATLANTA, GA 30306	

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

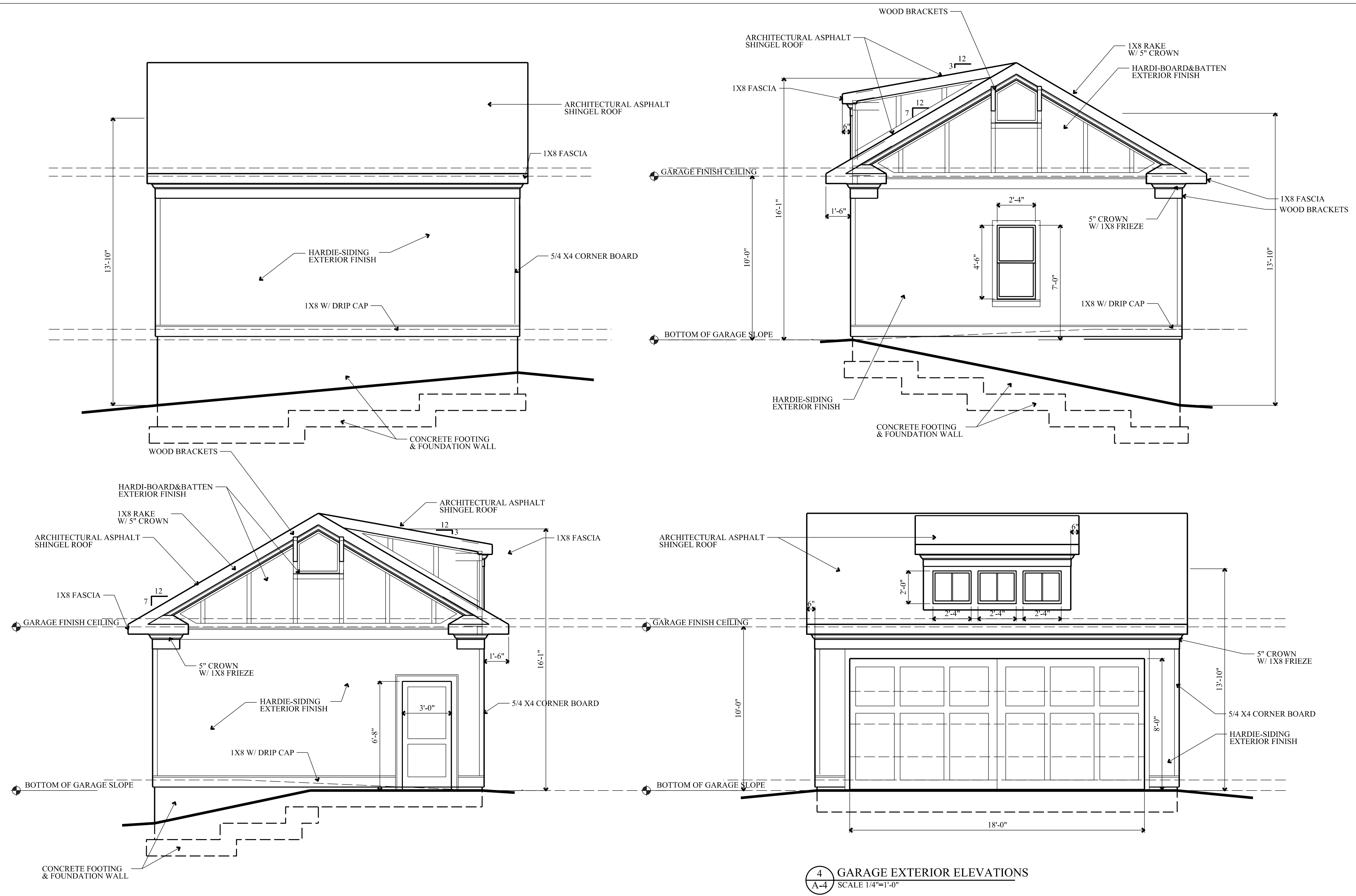
AS
COORD #20161669
DWG #20161669

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

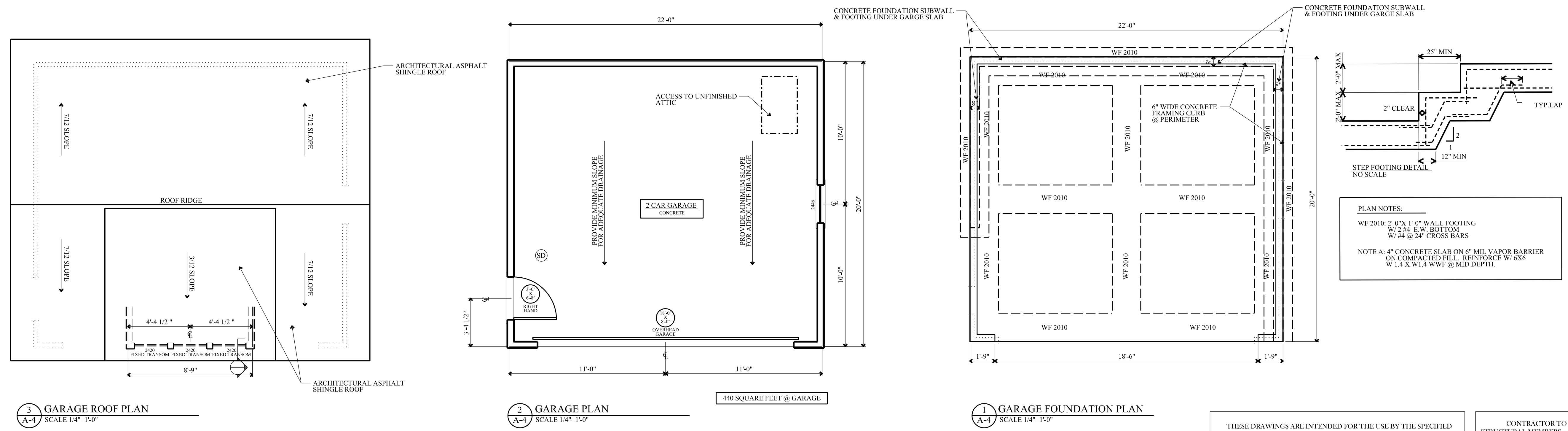
70 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.



4 GARAGE EXTERIOR ELEVATIONS
SCALE 1/4"=1'-0"



3 GARAGE ROOF PLAN
SCALE 1/4"=1'-0"

2 GARAGE PLAN
SCALE 1/4"=1'-0"

1 GARAGE FOUNDATION PLAN
SCALE 1/4"=1'-0"

THESE DRAWINGS ARE INTENDED FOR THE USE BY THE SPECIFIED OWNER AND ADDRESS LISTED ON THE CORRESPONDING TITLED SHEETS. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER OWNER OR ADDRESS. DO NOT REPRODUCE WITHOUT NOTIFICATION OR PERMISSION FROM CHAD M. MATTISON, ARCHITECT, INC.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBERS. FRAMING MEMBERS & DIAGRAMS ARE TO BE VERIFIED BY LICENSED ENGINEER OR LUMBER DISTRIBUTOR. CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL DRAWINGS AND EXISTING FIELD CONDITIONS.

ISSUED FOR PERMIT
RELEASED FOR CONSTRUCTION

DRAWN BY:	CMM
CHECKED BY:	CMM
DATE:	2.26.2018
REVISIONS:	

GARAGE PLANS
SCALE: 1/4" = 1'-0"

TURN KEY PROPERTIES

1254 STILLWOOD DRIVE ATLANTA, GEORGIA 30306

A NEW CONSTRUCTION

PROJECT DESCRIPTION & SCOPE:

TO BUILD A NEW WOOD FRAMED CONSTRUCTION OF A 3625 SQFT. SINGLE FAMILY HOME WITH BRICK VENEER, BOARD & BATTEN, AND AN ARCHITECTURAL ASPHALT SHINGLE ROOF. THE FIRST FLOOR HAS A 9' FINISHED CEILING WITH 1 STUDY, DINING ROOM, KITCHEN AND FAMILY ROOM WITH .5 BATHS. THE SECOND FLOOR HAS A 9' FINISHED CEILING WITH 4 BEDROOMS & 3 BATHS.

PROJECT TEAM:

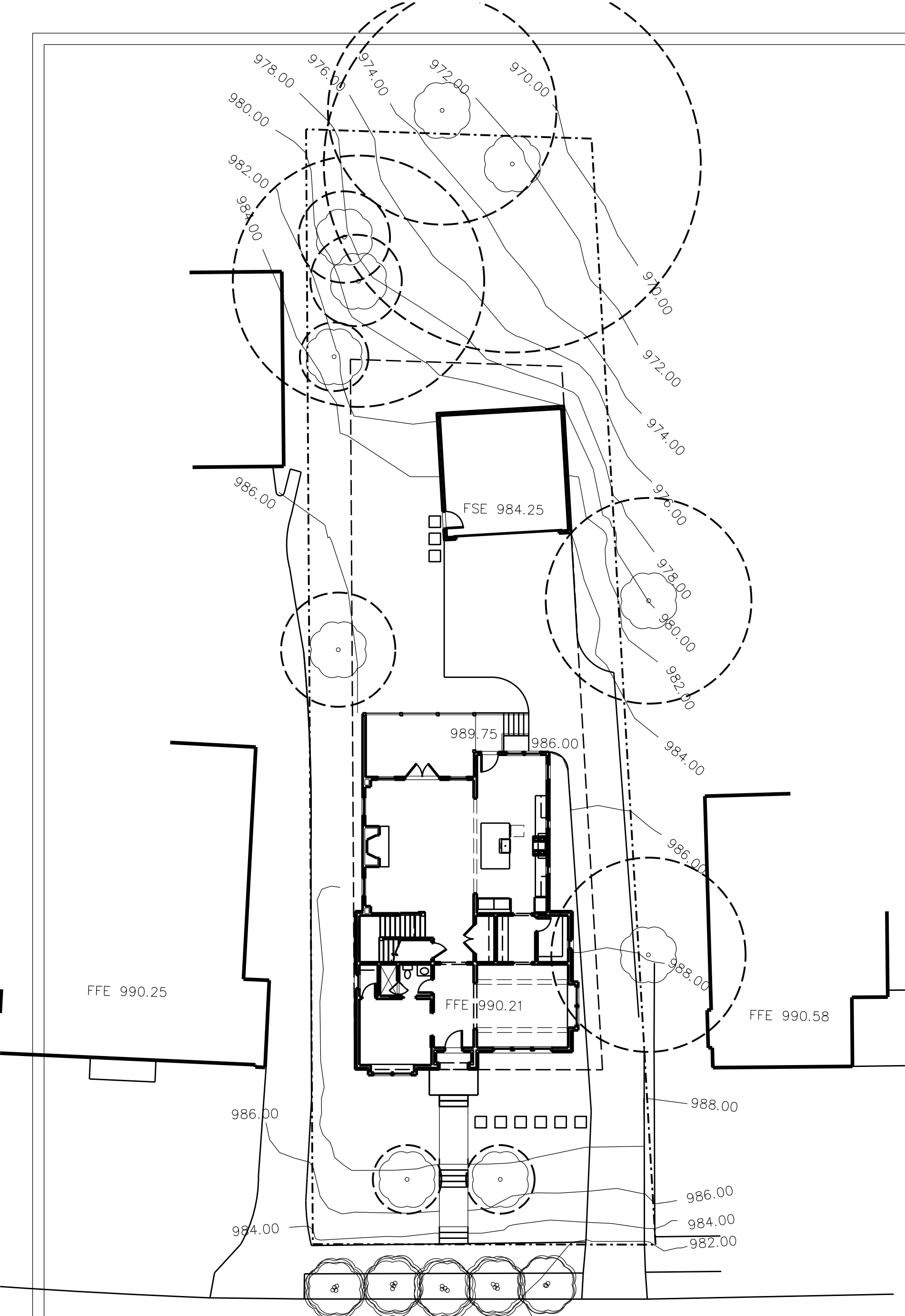
ARCHITECT	OWNER	CONTRACTOR
CHAD M. MATTISON, ARCHITECT, INC. CHAD MATTISON 4246 PEACHTREE ROAD #6 BROOKHAVEN, GA 30319 CHAD@MATTISONARCHITECT.COM (770)653-3091	TURNKEY INVESTMENT GROUP SCOTT SAMPSEL 5501 NORTH ORLANDO AVE WINTER PARK, FL 32789 SCOTT@TURNKEYPROPERTYINC.COM (321)251-7374	RED CEDAR RESIDENTIAL STEVE STAWICK 2020 SOUTH TRYON ST SUITE 2A CHARLOTTE, NC 28203 STEVE@REDCEDARCO.COM (704)-560-2052

TABLE OF CONTENTS:

A-0	COVER SHEET	ADDITIONAL PLANS BY OTHERS
A-1	1ST & 2ND FLOOR PLAN	EXISTING SURVEY
A-2	BASEMENT & ROOF PLAN	SITE PLAN
A-3	EXTERIOR ELEVATIONS	
A-4	GARAGE PLANS & EXTERIOR ELEVATIONS	

DESIGNED IN COMPLIANCE WITH:

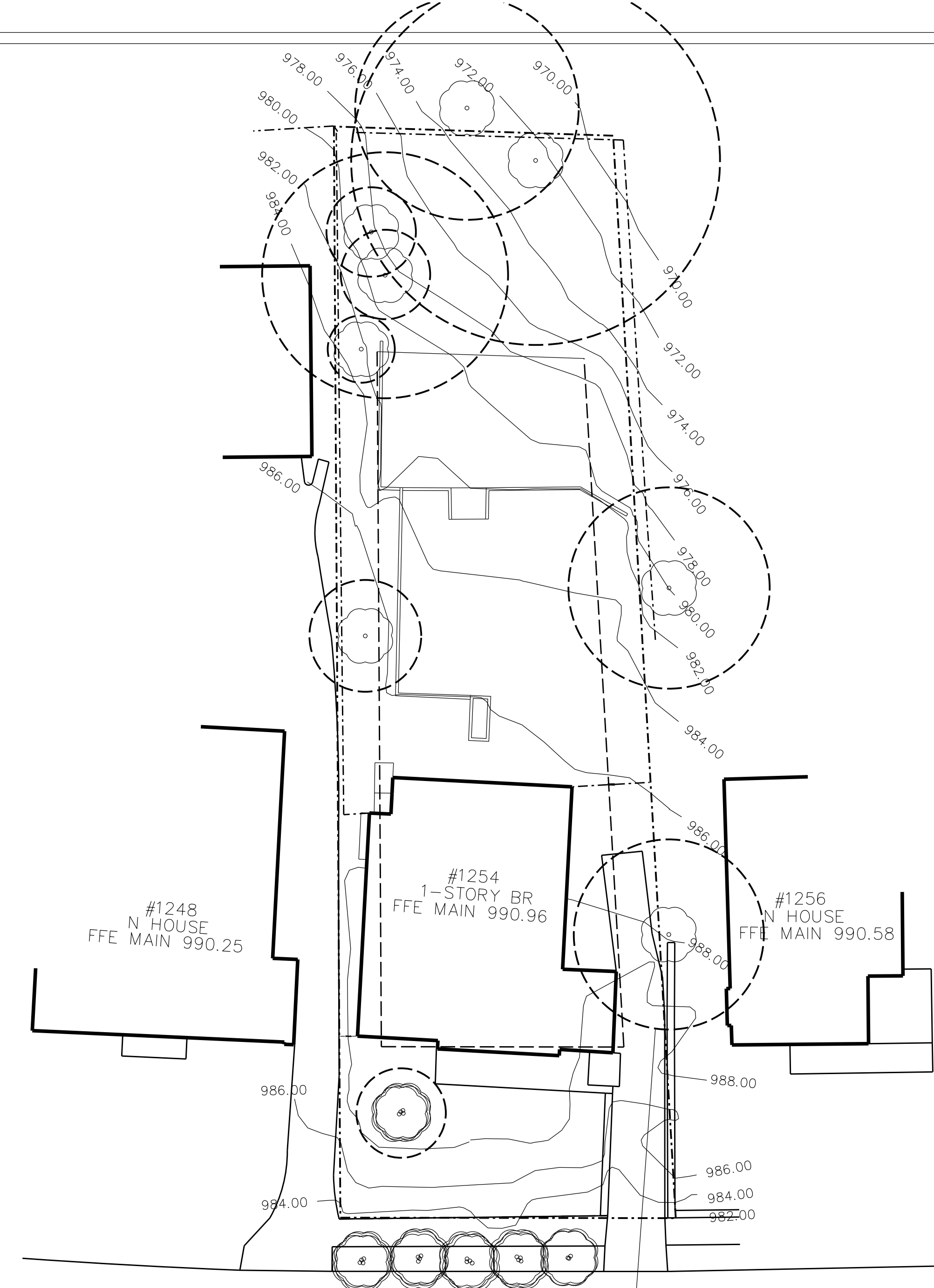
INTERNATIONAL BUILDING CODE (IBC), 2012 ED., WITH 2014 & 2015 GEORGIA STATE AMENDMENTS
INTERNATIONAL MECHANICAL CODE, 2012 ED., WITH 2015 GEORGIA STATE AMENDMENTS
INTERNATIONAL PLUMBING CODE, 2012 ED., WITH 2014 & 2015 GEORGIA STATE AMENDMENTS
INTERNATIONAL FUEL GAS CODE, 2012 ED., WITH 2014 & 2015 GEORGIA STATE AMENDMENTS
NATIONAL ELECTRICAL CODE, 2014 ED., WITH NO GEORGIA STATE AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 ED., WITH 2011 & 2012 GEORGIA STATE SUPPLEMENTS & AMENDMENTS
NFPA 101 - LIFE SAFETY CODE, 2012 ED, WITH GEORGIA STATE AMENDMENTS



1800 SQFT @ FINISHED 1ST FLOOR PLAN
1885 SQFT @ FINISHED 2ND FLOOR PLAN
3685 SQFT - TOTAL @ 1ST & 2ND FLOOR
440 SQFT @ DETACHED GARAGE

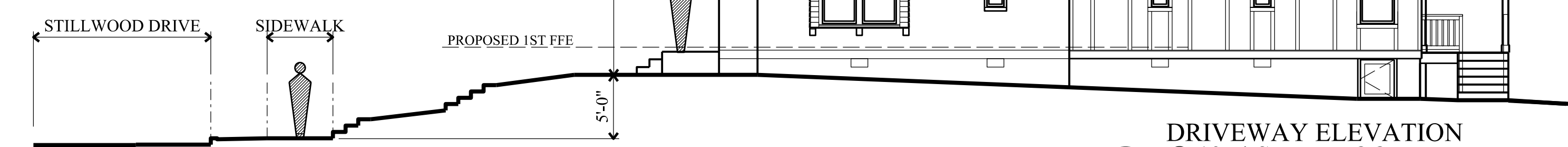
STILLWOOD DRIVE

KEY PLAN
@ 1254 STILLWOOD DRIVE
SCALE 1/16"=1'-0"



STILLWOOD DRIVE

EXISTING SITE
@ 1254 STILLWOOD DRIVE
SCALE 1/16"=1'-0"



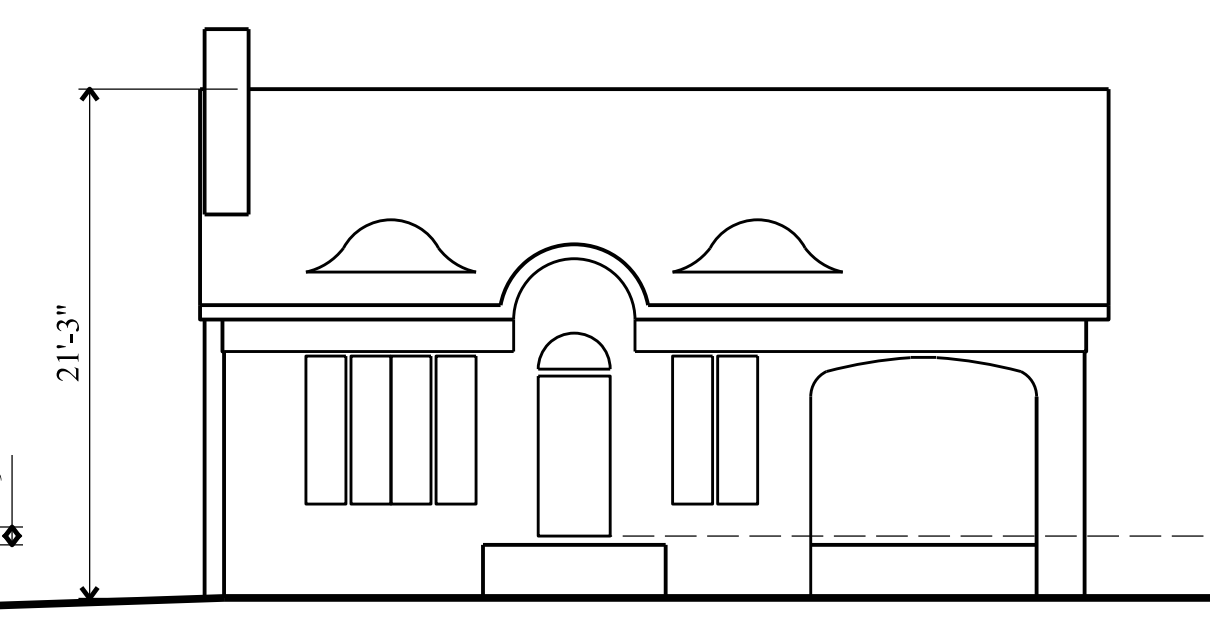
DRIVEWAY ELEVATION
@ 1254 STILLWOOD DRIVE
SCALE 1/16"=1'-0"



STREET ELEVATION
1254 STILLWOOD DRIVE
SCALE 1/8"=1'-0"



EXISTING 1ST FFE
PROPOSED 1ST FFE



ISSUED FOR PERMIT
FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED FOR THE USE BY THE SPECIFIED OWNER AND ADDRESS LISTED ON THE CORRESPONDING TITLED SHEETS. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER OWNER OR ADDRESS. DO NOT REPRODUCE WITHOUT NOTIFICATION OR PERMISSION FROM CHAD M. MATTISON, ARCHITECT, INC.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBERS. FRAMING MEMBERS & DIAGRAMS ARE TO BE VERIFIED BY LICENSED ENGINEER OR MEMBER DISTRIBUTOR. CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL DRAWINGS AND EXISTING FIELD CONDITIONS.

DRAWN BY:	CMM
CHECKED BY:	CMM
DATE:	2.5.2018
REVISIONS:	

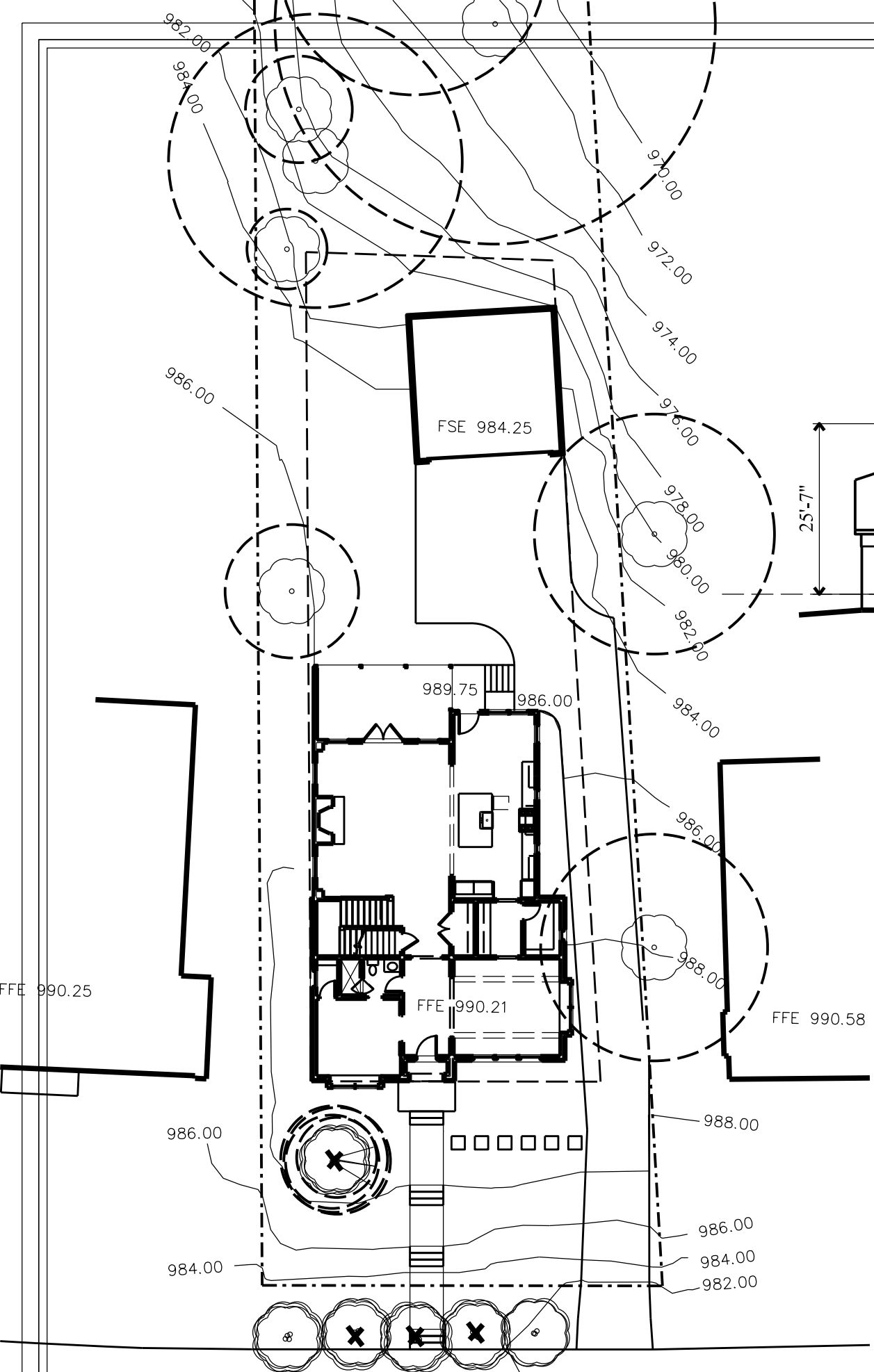
SCALE:

A-0

TURN KEY PROPERTIES
1254 STILLWOOD DRIVE
ATLANTA, GEORGIA 30306
A NEW CONSTRUCTION



1
A-0
STREET SCAPE
@ 1254 STILLWOOD DRIVE
SCALE 1"=20'-0"



1
A-0
SITE PLAN
@ 1254 STILLWOOD DRIVE
SCALE 1"=20'-0"

DESIGN DRAWINGS
NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED FOR THE USE BY THE SPECIFIED OWNER AND ADDRESS LISTED ON THE CORRESPONDING TITLED SHEETS. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER OWNER OR ADDRESS. DO NOT REPRODUCE WITHOUT NOTIFICATION OR PERMISSION FROM CHAD M. MATTISON, ARCHITECT, INC.

DRAWN BY:	CMM
CHECKED BY:	CMM
DATE:	1.12.2018
REVISIONS:	
SCALE:	

MATTISON
ARCHITECT