

Chief Executive Officer  
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director  
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 1602 Emory Road, NE Atlanta, GA 30306

Applicant: Mark F Arnold E-Mail: markarnoldarchitect@gmail.com

Applicant Mailing Address: 1126 N Highland Ave., NE Atlanta, GA 30306

Applicant Phone(s): (404) 617-1520 Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner  Architect:  Contractor/Builder  Other

Owner(s): Hugh Gallagher E-Mail: hhgallag@gmail.com

Valerie Gallagher E-Mail: valgallagher3@gmail.com

Owner(s) Mailing Address: 1602 Emory Road, NE Atlanta, GA 30306

Owner(s) Telephone Number: Valerie - (404) 217-8425 Mobile

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1930

Nature of work (check all that apply):

- New construction  Demolition  Addition  Moving a building  Other building changes
- New accessory building  Landscaping  Fence/Wall  Other environmental changes
- Sign installation or replacement  Other

Description of Work:

Please see attached narrative.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Signature of Applicant/Date

Revised 1/26/17

DEPARTMENT OF PLANNING & SUSTAINABILITY

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is not the owner of the property.

(I) / (We),

Hugh and Valerie Gallagher  
being (owner) (owners) of the property 1602 Emory Rd NE Atlanta

hereby delegate authority to Mark Arnold GA 30306  
to file an application in (my) (our) behalf.

Hugh H. Gallagher

10/23/19

Signature of Owner/Date

**Please review the following information**

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may pick this up at the DeKalb County Department of Planning and Sustainability, 330 West Ponce de Leon Avenue, Suite 300 floor, in Decatur, or you may make your request by mail, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). If all documents are not provided the application will not be complete and will not be accepted.
3. A sign will be provided when the Certificate of Appropriateness is accepted. The applicant must post the sign on the subject property in a visible location, no more than ten feet from the road, at least ten days before the meeting.
4. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. In most months, the Historic Preservation Commission meets on the third Monday at 7 p.m. at the Maloof Auditorium, 1300 Commerce Drive in Decatur. In unusual circumstances meeting dates and location may be changed.
5. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
5. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make presentations, but presentations are not required. The commissioners may have questions for the applicant.
7. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

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## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### Sign Posting Requirements for a Certificate of Appropriateness

The DeKalb County Code requires that citizens who may be affected by the approval of a Certificate of Appropriateness must be notified of the hearing where that decision will take place. The notification is accomplished by requiring the applicant to post one or more signs on the property for which a certificate of appropriateness is being considered. The sign gives the date, time, and location of the meeting and the telephone number of the county historic preservation planner. The sign must be posted no later than ten days before the date of the preservation commission meeting and must remain in place until after the meeting.

**When an applicant submits an application for a Certificate of Appropriateness, the applicant must request a sign from the Planning Department.** If the property is bounded by more than one public street, a sign must be posted facing each street. It is the applicant's responsibility to obtain and post the sign appropriately. If you file your application by mail or fax, you must make arrangements to pick up the sign.

**The sign must be posted prominently in the center of the front yard, facing the street, and within ten feet of the street or sidewalk, although the sign may not be posted between the street and the sidewalk. It is best to attach the sign to a four-foot tall stake, but attaching it to an existing support is usually acceptable. The sign may not be posted inside a house except in the case of a purpose-built commercial structure where front yard posting is impossible or impractical.**

The signs are made of relatively thin cardstock. They should either be waterproofed or additional support should be added. The sign may be laminated, covered with clear plastic, or secured to heavier backing, such as heavy cardboard or plywood. If the sign is destroyed or becomes illegible during the ten day posting period, the applicant must contact the historic preservation planner for a replacement sign, which must be posted as soon as possible.

**If the sign is not posted, is not posted for the full ten day period, or is posted inappropriately, the DeKalb County Historic Preservation Commission may deny the application or may defer consideration of the application until the following month.**

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

**Design Checklist for a Certificate of Appropriateness**

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project’s architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. Three copies of drawings at scale (plus nine reduced sets) should be submitted. Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail [dcullis@dekalbcountyga.gov](mailto:dcullis@dekalbcountyga.gov). Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the “Design Manual for the Druid Hills Local Historic District”	Y	N
I have reviewed the DeKalb County Tree Ordinance	Y	N
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers	Y	N

**1. General**

- a. Label all drawings with the address of the site, owners’ name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

**2. Site Plan** (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18”;
- g. Tree protection plan;
- h. Tree removal and replacement plan

**3. Driveways and Walkways**

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### 4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

### 5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

### 6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

### 7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

### 8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

### 9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### 10. Façade

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g. Hardieplank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

### 11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

### 12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

### 13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

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## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### 14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

### 15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment





**Application for Certificate of Appropriateness for 1203 N Decatur Road**  
*DeKalb County Historic Preservation Commission*

**Background Information**

1602 Emory Road, NE is a circa 1930 brick bungalow located on Emory Road between Oakdale Road and Oxford Road and adjacent to Peavine Creek. The exterior walls consist of a granite foundation with a stucco overcoat, unpainted reddish-brown brick veneer on the first floor walls and front gables, and stucco 'half-timbering' in the side gables. The fenestration is mostly 6-over-1 wood double-hung windows with casement windows at the basement level. The roof consists of 3-tab composition shingles on wood framing.

The front of the house appears to be in original condition. There is a somewhat unique small gable with triangular fenestration that intersects the top of the side-to-side gable. This condition also exists on another house on the street. A small addition was added onto the back of the house where an existing entry/sleeping porch was most likely originally located. A pressure-treated wood deck has been added onto the back of the house. The stucco overcoat was applied to the existing granite foundation walls as a flood prevention measure because the house is located within Peavine Creek flood plain.



*Existing front elevation*



*Existing back elevation*



*Existing side elevation showing rear addition*



*Existing side elevation showing 'half-timbering' gable*

## Description of Proposed Work

### House

The scope of work includes first floor renovations to remodel and enlarge the existing kitchen by combining it with the middle first floor bedroom. The existing non-historic addition and deck will be removed in order to add a new screened porch at the back of the house. The existing staircase will be rebuilt in order to comply with current code requirements and it will be extended to a new second floor.

The existing roof will be reconfigured in order to build-out a three bedroom, two bath 1,230 sf second floor addition with a laundry room. The proposed roof changes envision widening the existing side-to-side gable approximately 7 feet in order to raise the ridge height approximately 3 feet. This height will coincide and incorporate the existing small gable at the top of the existing roof. The increased ridge height will allow for the construction of a new double-gable roof form on the back side of the house with shed dormers on each side. The screened porch gable will 'nest' within one of the new gables and all of the gables will match the slope of the existing side gables.

The exterior finishes shall match those of the existing house with brick piers supporting the screened porch, brick veneer (possibly Statesville Vertex Mingled) exterior walls on the first floor, and cementitious panels and trim boards to simulate half-timber framing in the second floor gables. Window shall consist of a combination of 6-over-1 wood double-hung windows and casement window with simulated divided lites, (Monarch or better). The entire roof will be re-roofed with architectural profile composition shingles.

### Site

Sitework will be limited to minor excavation required for the installation of the brick piers supporting the screened porch and fine grading at the rear of the house.



*Proposed Back Elevation*



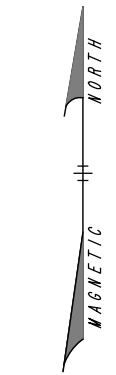
*Proposed North Side Elevation (South side is similar)*



*Google Street View*

ARCHITECTURAL SITE PLAN

1" = 20'-0"



EMORY ROAD ~ 50' RW

DRAWING INDEX

- A-0.00 COVER SHEET
- A-0.01 EXISTING SURVEY
- A-1.01 EXISTING & PROPOSED FIRST FLOOR PLANS
- A-1.02 EXISTING & PROPOSED SECOND FLOOR PLANS
- A-1.03 EXISTING & PROPOSED ROOF PLANS
- A-1.04 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-1.05 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-1.06 EXISTING & PROPOSED EXTERIOR ELEVATIONS

OWNER

HUGH & VALERIE GALLAGHER  
 1602 EMORY ROAD, NE  
 ATLANTA, GA 30306  
 (404) 217-8425  
 valgallagher3@gmail.com

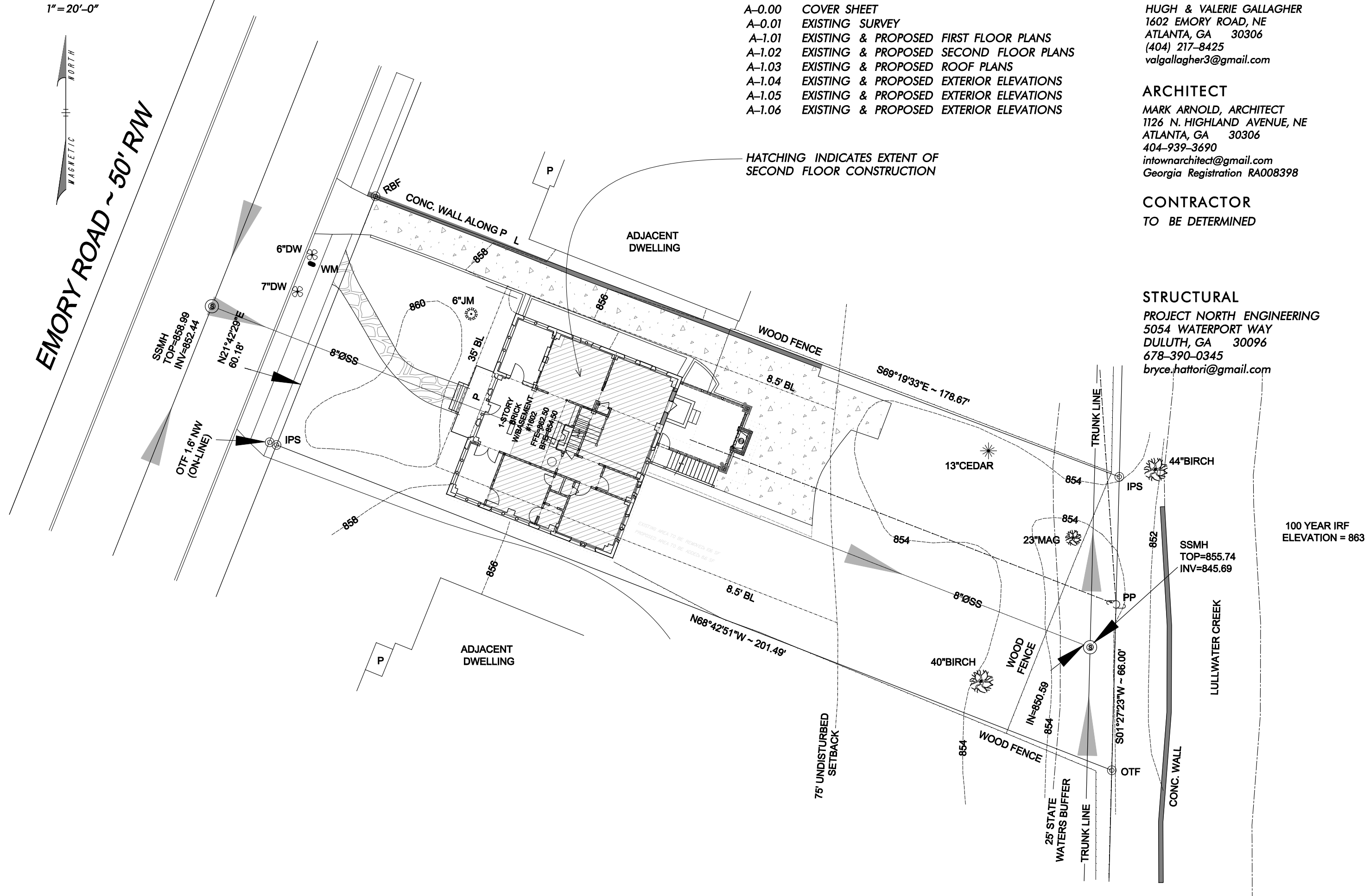
ARCHITECT

MARK ARNOLD, ARCHITECT  
 1126 N. HIGHLAND AVENUE, NE  
 ATLANTA, GA 30306  
 404-939-3690  
 intownarchitect@gmail.com  
 Georgia Registration RA008398

CONTRACTOR  
 TO BE DETERMINED

STRUCTURAL

PROJECT NORTH ENGINEERING  
 5054 WATERPORT WAY  
 DULUTH, GA 30096  
 678-390-0345  
 bryce.hattori@gmail.com



CERTIFICATE OF APPROPRIATENESS

RENOVATIONS AND ADDITIONS FOR THE

GALLAGHER RESIDENCE

1602 EMORY ROAD, NE ATLANTA, GEORGIA 30306

DATE  
10/30/19

REVISIONS



SHEET

A0.00

PHASE



THIS PLAT OF SURVEY IS A RETRACEMENT SURVEY OF AN EXISTING PARCEL OF LAND; THEREFORE, NO ADDITIONAL CITY OR COUNTY APPROVALS ARE REQUIRED SHOULD THE OWNER OR PURCHASER DECIDE TO RECORD SAID SURVEY WITH THE CLERK OF THE SUPERIOR COURT. THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 13-6-67 AS AMENDED BY HB 1004 (2016), IN THAT WHERE CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS THE REQUIREMENTS OF LAW PREVAIL.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 26,881 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 98,715 FEET.

A NIKON DTM-420 TOTAL STATION WAS USED TO OBTAIN ANGULAR AND LINEAR MEASUREMENTS.

THE ENTIRETY OF THIS PROPERTY IS LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA, ZONE "AE", AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089C0062, EFFECTIVE DATE: 05-16-2013. ADDITIONALLY, THE ENTIRETY OF THE STRUCTURE LOCATED ON THIS PROPERTY IS LOCATED WITHIN A REGULATORY FLOODWAY PER THE AFFORMENTIONED FIRM.

AREA = 0.27 ACRE

PROPERTY ZONED R-85 (DEKALB COUNTY)

SETBACKS SHOWN HEREON ARE BASED ON DEKALB COUNTY ZONING REQUIREMENTS AND ARE SUBJECT TO APPROVAL BY DEKALB COUNTY DEPARTMENT OF PLANNING.

SURVEYOR RECOMMENDS A FULL TITLE REPORT TO BE PREPARED BY A TITLE EXAMINER TO DETERMINE WIDTH OF SEWER EASEMENT. DEKALB COUNTY MAY CLAIM LARGER WIDTH THAN DEDICATED FOR RE-DEVELOPMENT PURPOSES.

PROPERTY IS LOCATED WITHIN THE DRUID HILLS HISTORIC AREA.

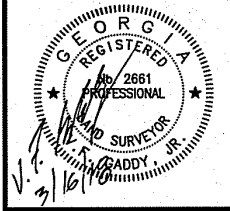
THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT



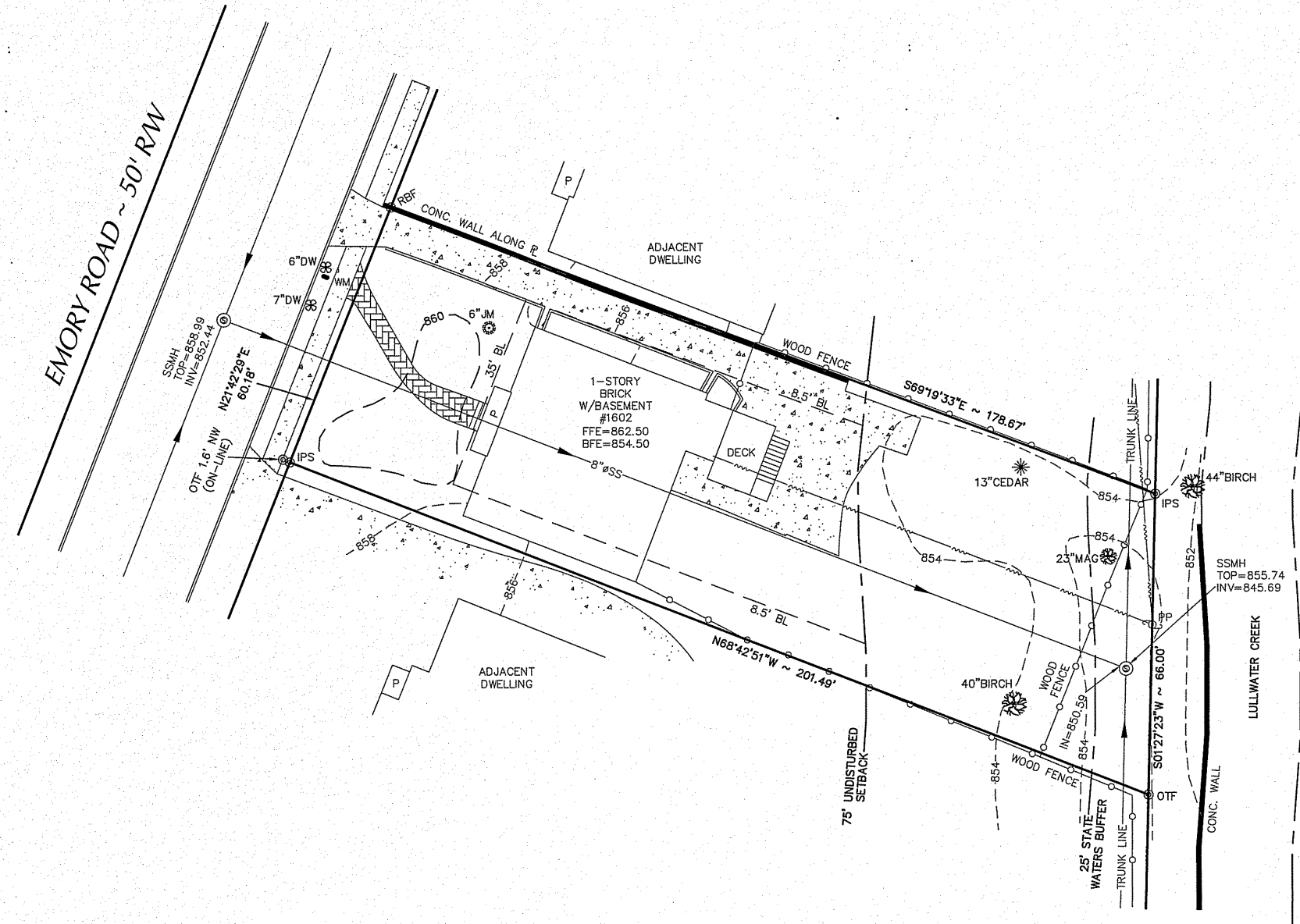
LEGEND	
IPS	IRON PIN SET (1/2" REBAR)
RBF	REBAR FOUND
CTF	CRIMP TOP FOUND
OTF	OPEN TOP FOUND
JB	JUNCTION BOX
R/W	RIGHT-OF-WAY
B.L.	BUILDING LINE
P	PROPERTY LINE
CB	CATCH BASIN
HW	HEADWALL
SSMH	SEWER MANHOLE
X	FENCE
L.L.L.	LAND LOT LINE
O.L.L.	ORIGINAL LOT LINE
D.E.	DRAINAGE EASMT.
S.E.	SEWER EASMT.
U.E.	UTILITY EASMT.
C.L.	CHAIN LINK
PP	POWER POLE
DI	DROP INLET
LP	LIGHT POLE
EP	EDGE OF PAVEMENT
ε	CENTERLINE

PROJECT NUMBER  
**VSG-18-001**

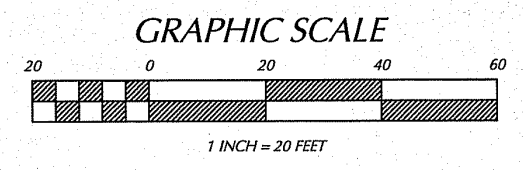
BY FIELD DRAWING  
PJB 3/12/18 3/16/18



TOPOGRAPHIC SURVEY FOR:  
**VALERIE GALLAGHER**  
LOT 3 - BLOCK "C"  
LULLWATER SUBDIVISION  
(PLAT BOOK 8, PAGE 36)  
LAND LOT 53 - 18TH DISTRICT  
DEKALB COUNTY, GEORGIA

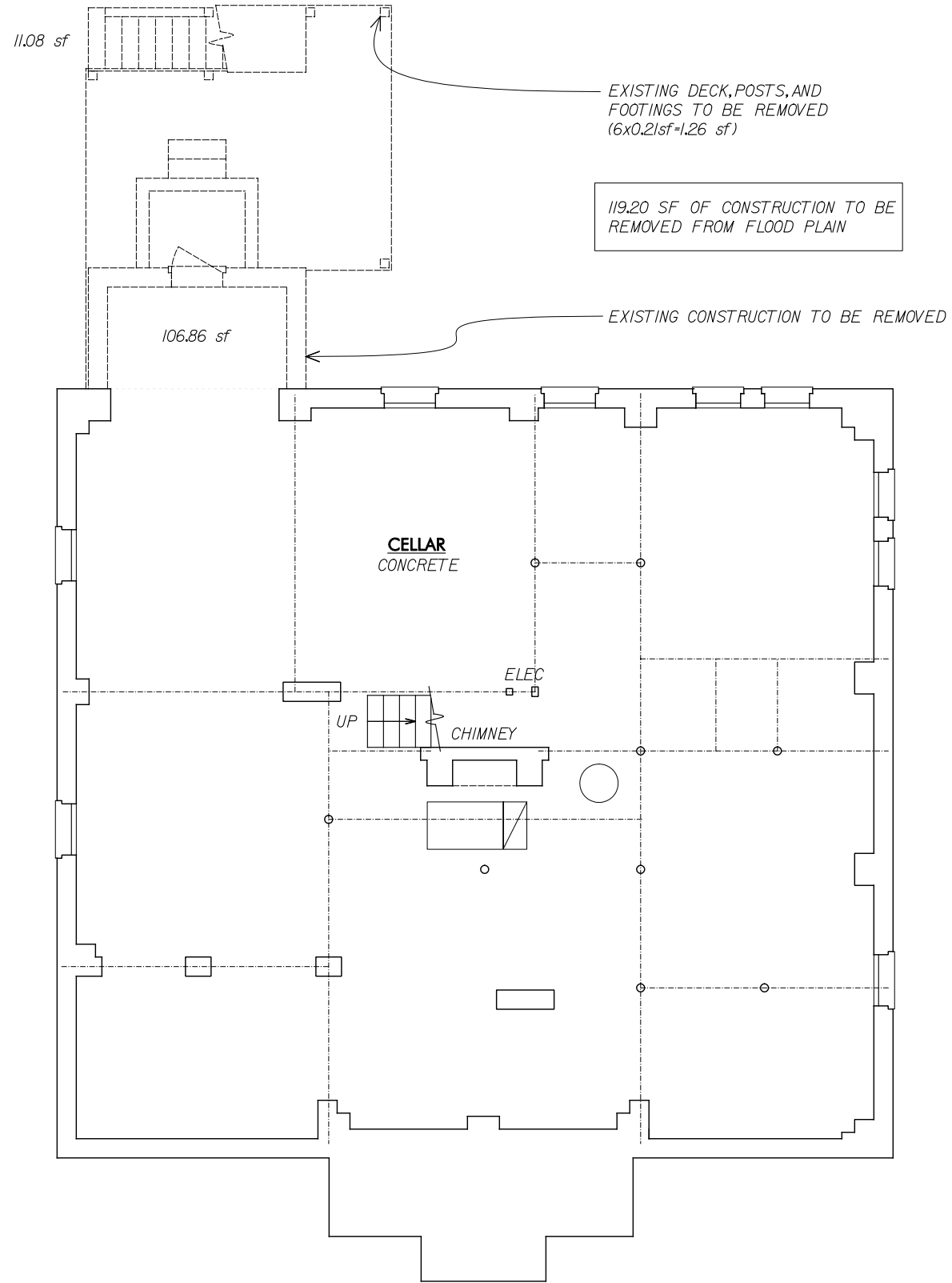


100 YEAR IRF ELEVATION = 863

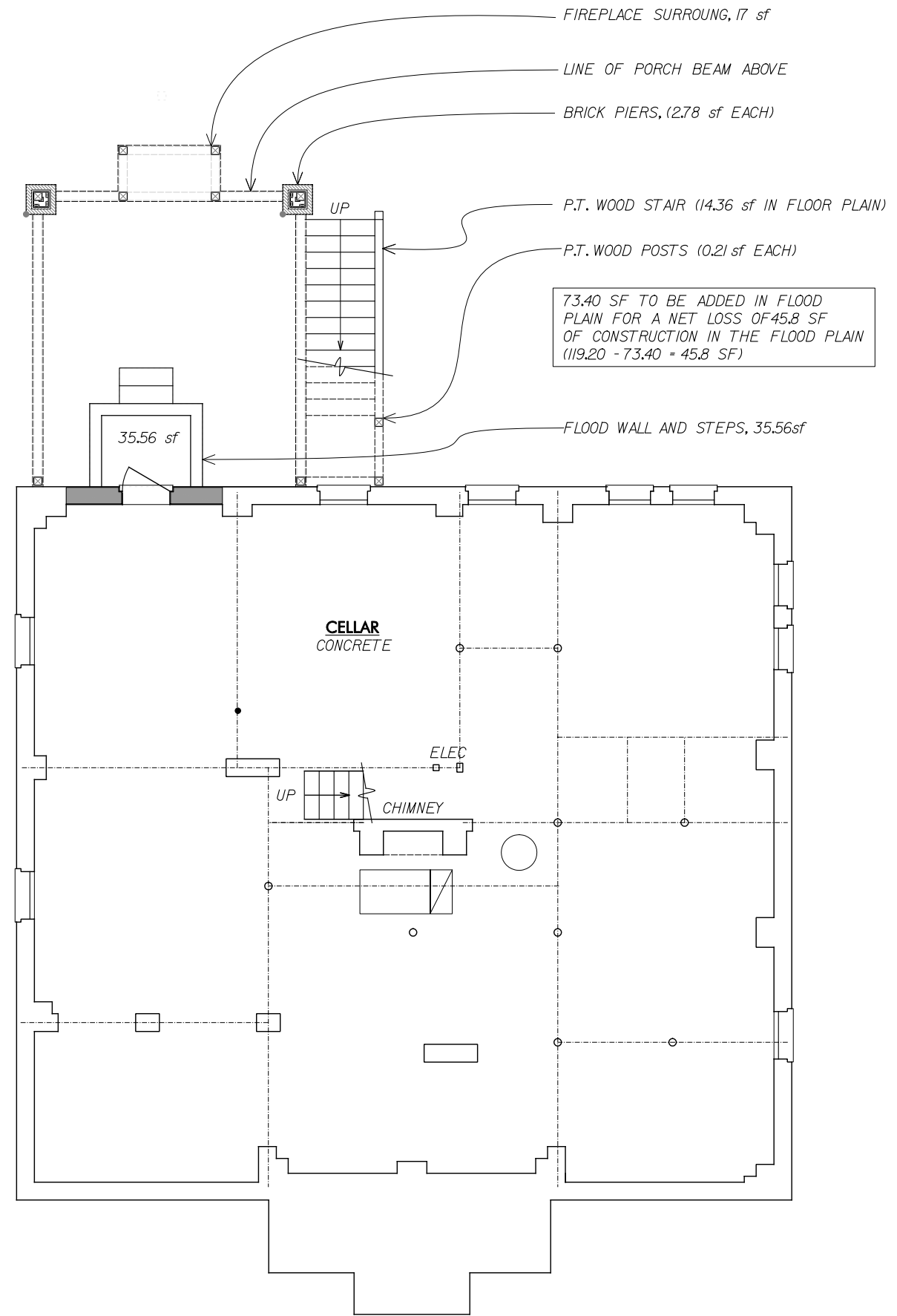


**GADDY SURVEYING & DESIGN, INC.**  
1215 PLEASANT HILL ROAD  
LAWRENCEVILLE, GEORGIA 30044  
PHONE - (770) 931-5920  
FAX - (770) 931-5903

L.S. CERTIFICATE OF AUTHORIZATION #15001014  
P.E. CERTIFICATE OF AUTHORIZATION #PEF005450



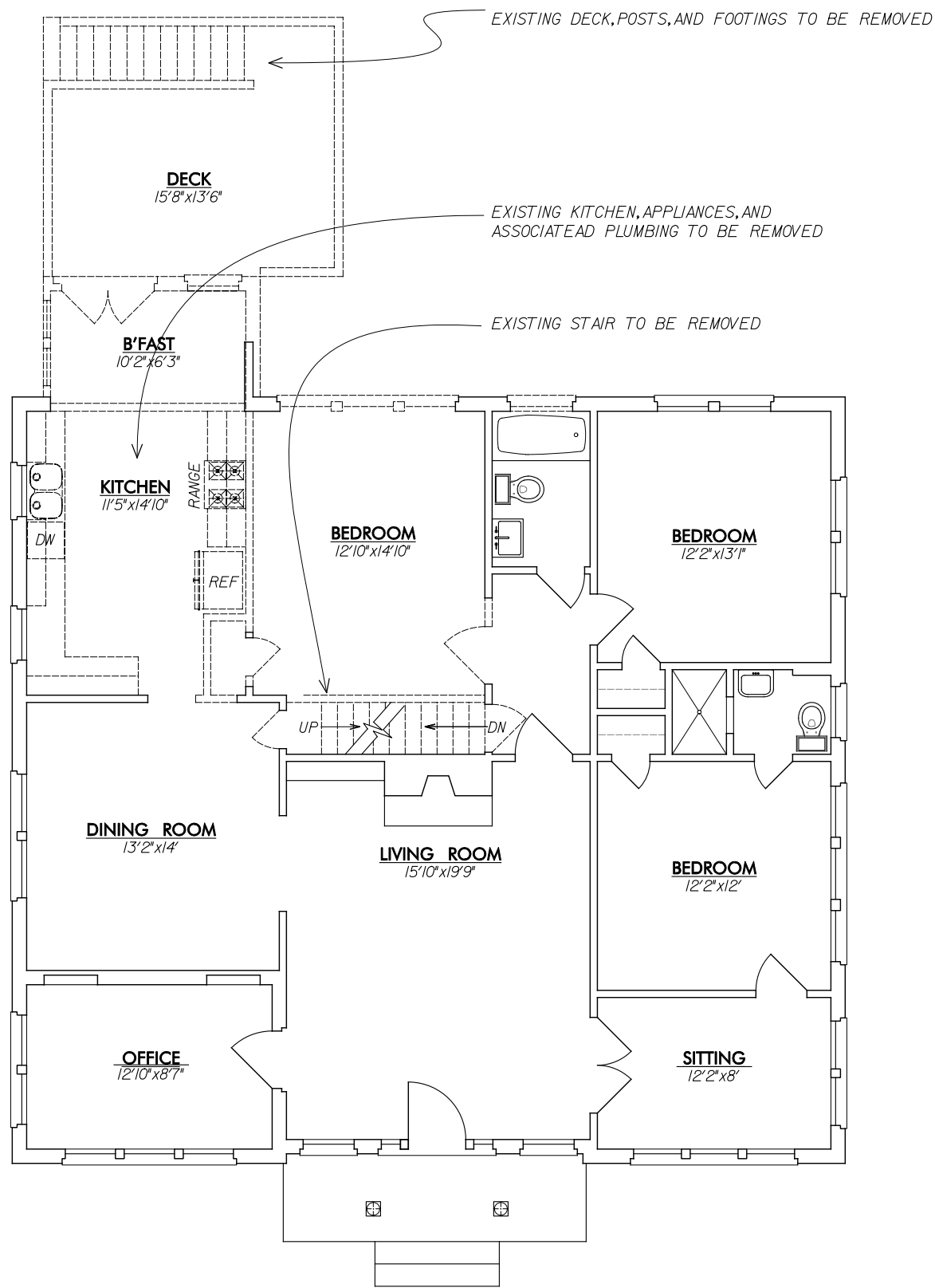
**01** EXISTING CELLAR PLAN  
A-1.00 SCALE: 1/8" = 1'-0"



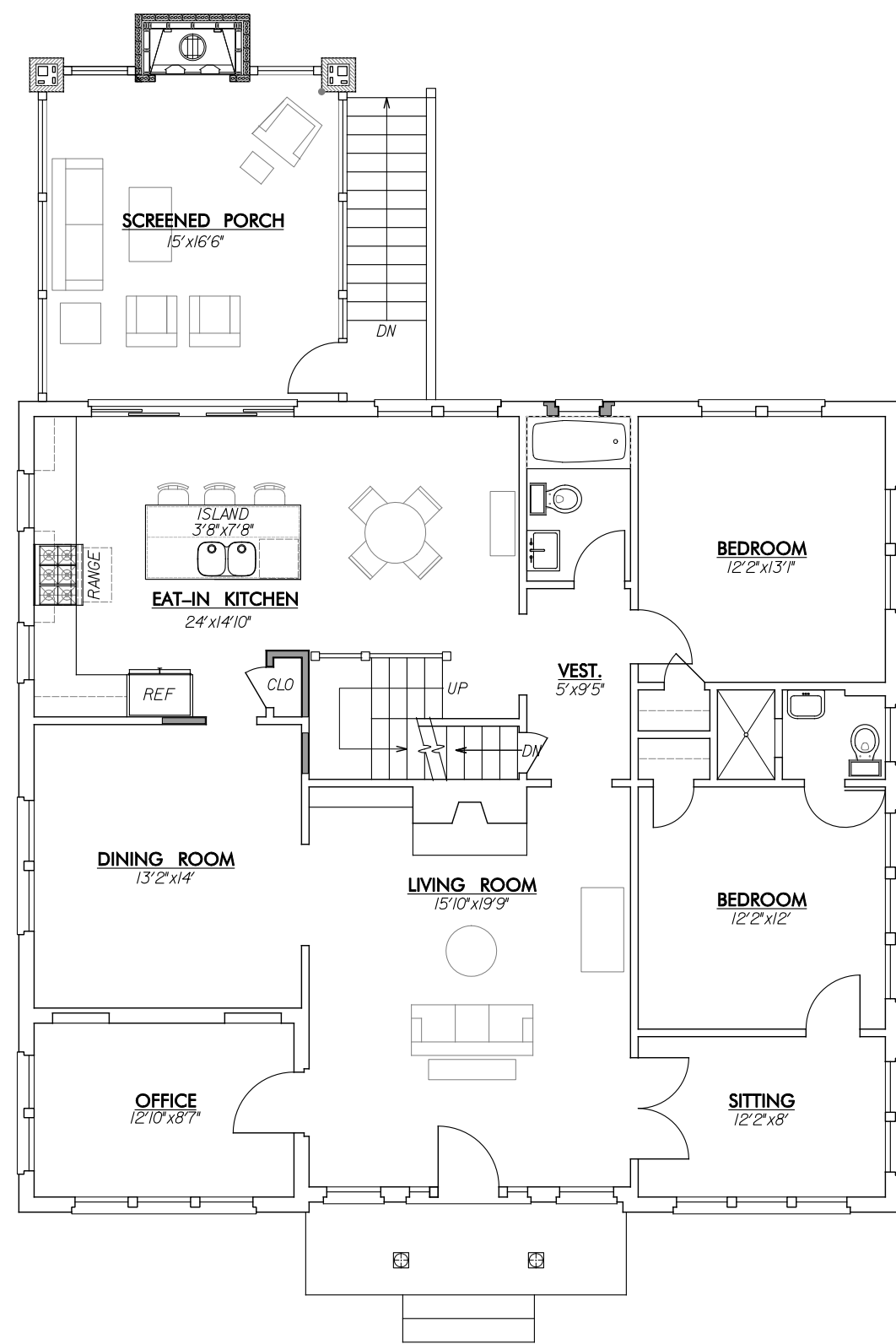
**02** PROPOSED CELLAR PLAN  
A-1.00 SCALE: 1/8" = 1'-0"

DATE
10/30/19
REVISIONS



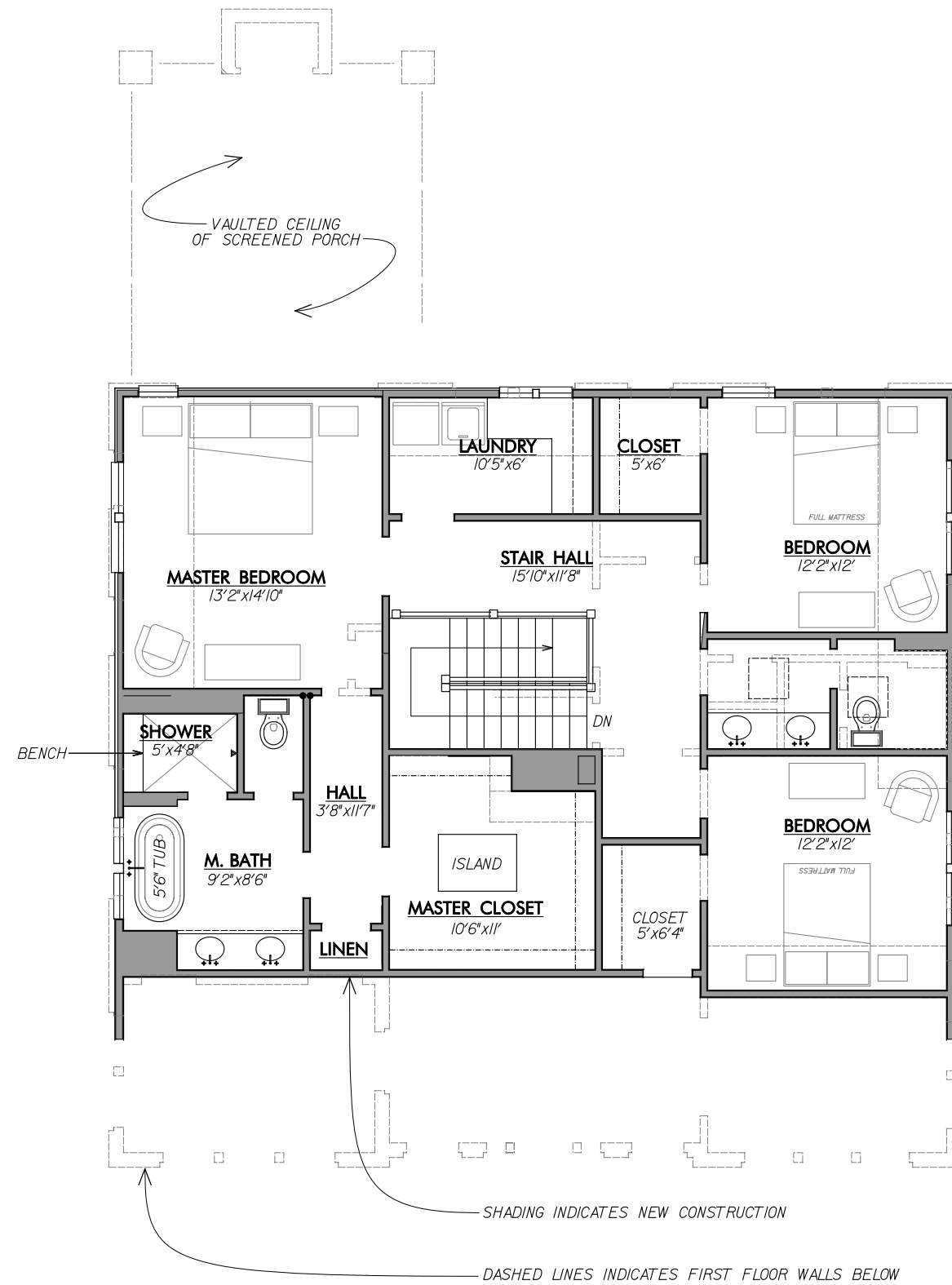


**01** EXISTING FIRST FLOOR PLAN  
 A-1.01 SCALE: 1/8" = 1'-0" FLOOR AREA: 1,685 SF



**02** PROPOSED FIRST FLOOR PLAN  
 A-1.01 SCALE: 1/8" = 1'-0" FLOOR AREA: 1,620 SF

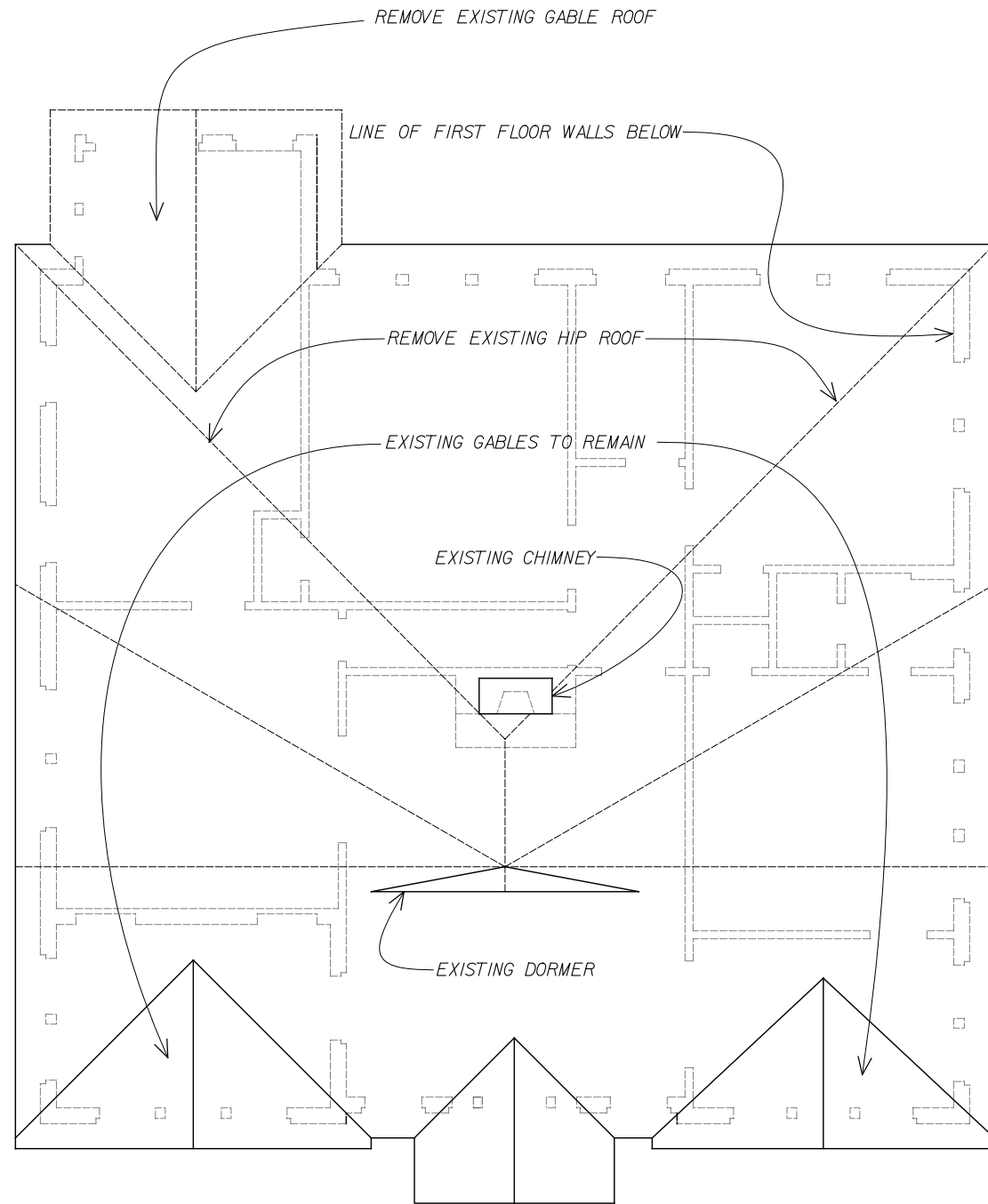




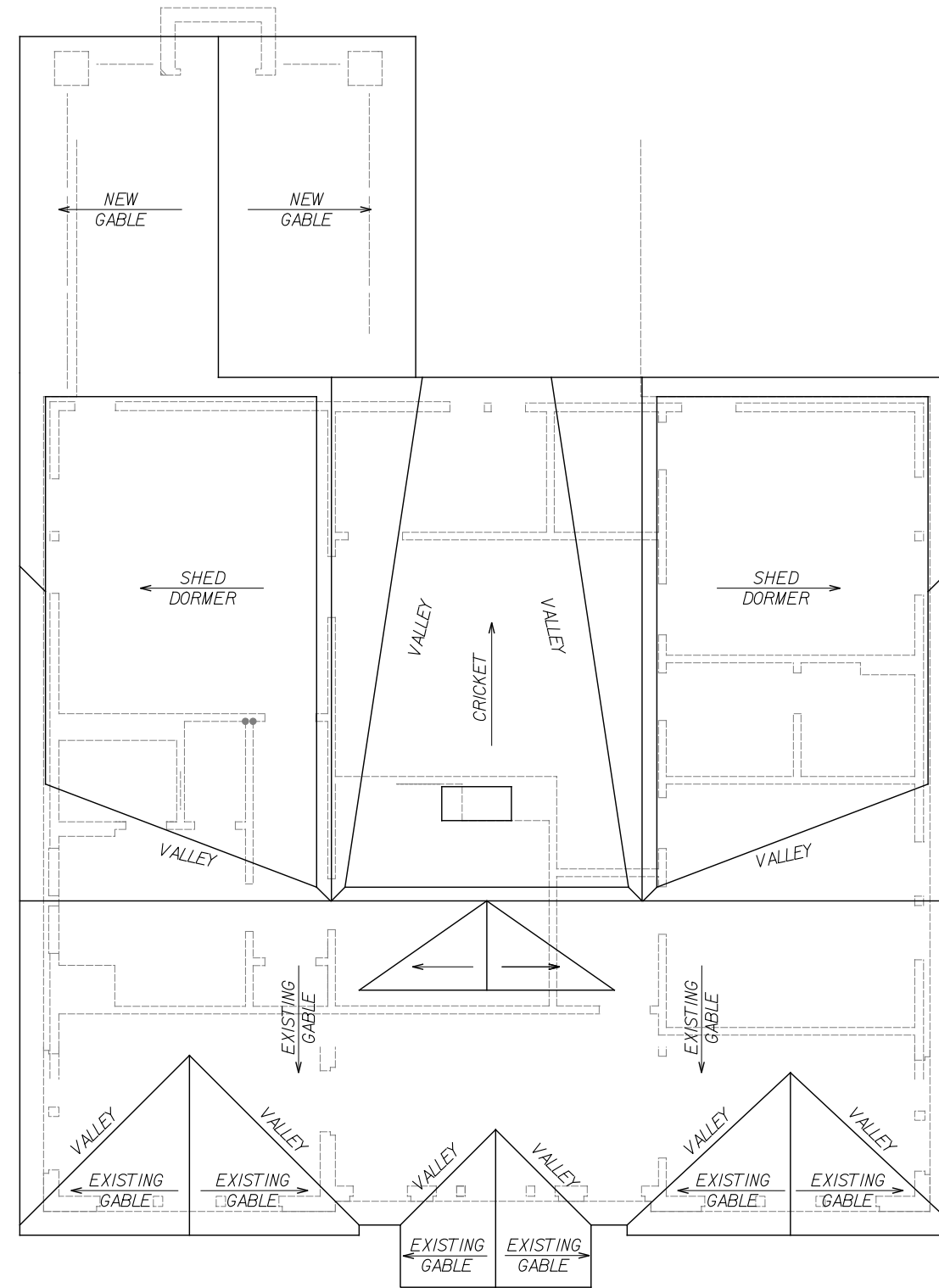
**02** PROPOSED SECOND FLOOR PLAN  
 A-1.02 SCALE: 1/8" = 1'-0" FLOOR AREA: 1,230 SF

DATE	REVISIONS
10/30/19	

  
 SHEET  
**A1.02**  
 PHASE



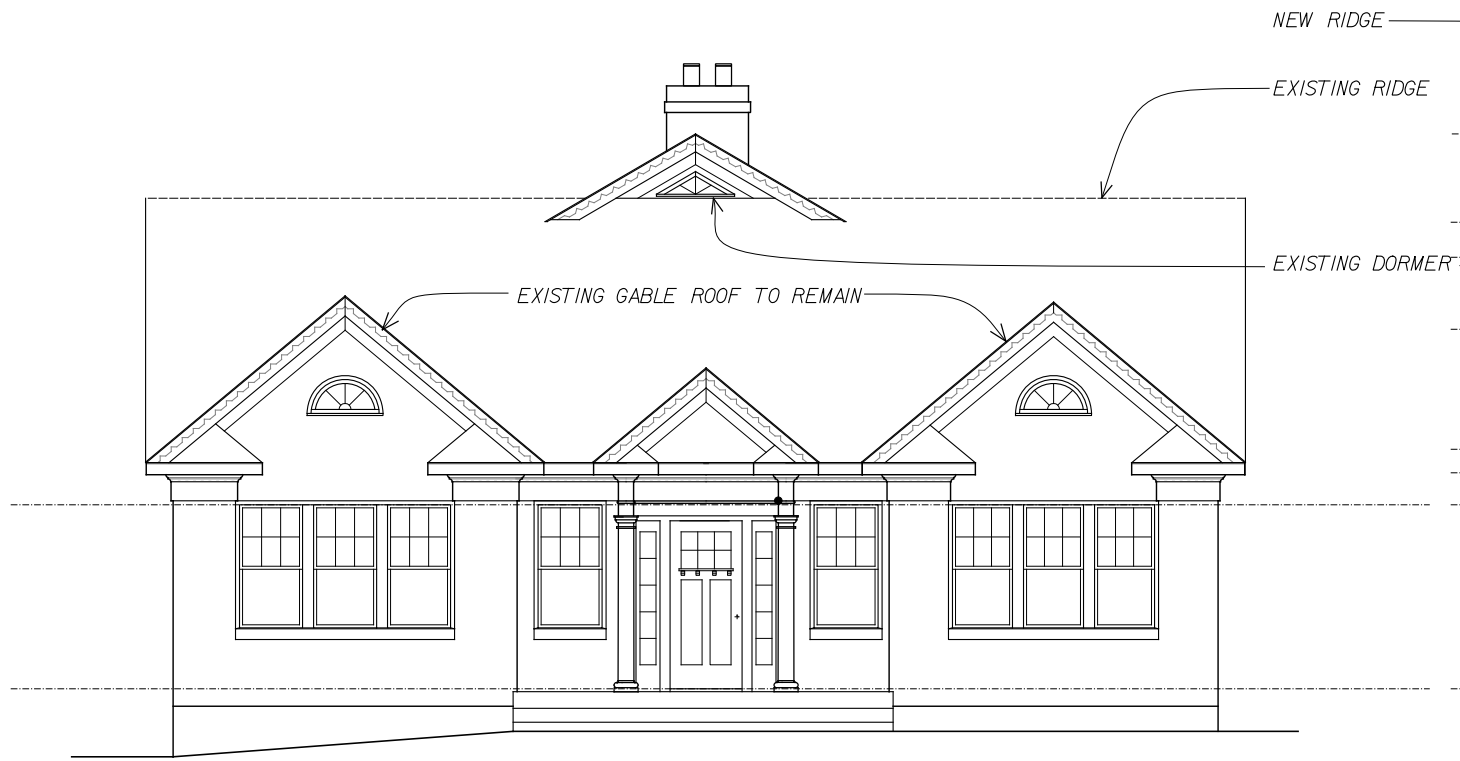
**01** EXISTING ROOF PLAN  
 A-1.03 SCALE: 1/8" = 1'-0"



**02** PROPOSED ROOF PLAN  
 A-1.03 SCALE: 1/8" = 1'-0"

DATE	REVISIONS
10/30/19	





**01** EXISTING FRONT ELEVATION  
A-1.04 SCALE: 1/8" = 1'-0"



**02** PROPOSED FRONT ELEVATION  
A-1.04 SCALE: 1/8" = 1'-0"



**03** EXISTING REAR ELEVATION  
A-1.04 SCALE: 1/8" = 1'-0"



**04** PROPOSED REAR ELEVATION  
A-1.04 SCALE: 1/8" = 1'-0"

DATE	REVISIONS
10/30/19	



**01** EXISTING SIDE ELEVATION  
 A-1.05 SCALE: 1/8" = 1'-0"



**02** PROPOSED SIDE ELEVATION  
 A-1.05 SCALE: 1/8" = 1'-0"

DATE
10/30/19
REVISIONS



**02** EXISTING SIDE ELEVATION  
 A-1.06 SCALE: 1/8" = 1'-0"



**02** PROPOSED SIDE ELEVATION  
 A-1.06 SCALE: 1/8" = 1'-0"

RENOVATIONS AND ADDITIONS FOR THE  
**GALLAGHER RESIDENCE**  
 1602 EMORY ROAD, NE ATLANTA, GEORGIA 30306  
 CERTIFICATE OF APPROPRIATENESS  
 MARK ARNOLD, ARCHITECT  
 © 2017  
 404-939-3690  
 info@markarnold.com

DATE
10/30/19
REVISIONS

  
 SHEET  
**A1.06**  
 PHASE