

Chief Executive Officer  
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director  
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: 8/29/2019 Application No.: \_\_\_\_\_

Address of Subject Property: 1648 East Clifton Rd NE, Atlanta, GA 30307

Applicant: Suzanne Urquhart E-Mail: suzanneurquhart@gmail.com

Applicant Mailing Address: 1648 East Clifton Rd NE, Atlanta, GA 30307

Applicant Phone(s): 908-391-2933 Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner  Architect:  Contractor/Builder  Other

Owner(s): Suzanne and Edward Urquhart E-Mail: suzanneurquhart@gmail.com

E-Mail: ed.urquhart@yahoo.com

Owner(s) Mailing Address: 1648 East Clifton Rd NE, Atlanta, GA 30307

Owner(s) Telephone Number: 908-391-2933

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1940

Nature of work (check all that apply):

- New construction  Demolition  Addition  Moving a building  Other building changes
- New accessory building  Landscaping  Fence/Wall  Other environmental changes
- Sign installation or replacement  Other

Description of Work:

Landscaping changes: Add irrigation system and sod, Replace rotting timber retaining wall at sidewalk and extend along driveway, Replace cracked and crumbling driveway, Repair (regROUT) existing steps at front door, Replace existing steps and walkway to code, Add native plants and shrubbery, Remove brush, Regrade slope of front lawn.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Signature of Applicant/Date

Revised 1/26/17

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**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is **not** the owner of the property.

(I) / (We),

\_\_\_\_\_

being (owner) (owners) of the property \_\_\_\_\_,

hereby delegate authority to \_\_\_\_\_

to file an application in (my) (our) behalf.

\_\_\_\_\_  
Signature of Owner/Date

**Please review the following information**

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may pick this up at the DeKalb County Department of Planning and Sustainability, 330 West Ponce de Leon Avenue, Suite 300 floor, in Decatur, or you may make your request by mail, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). If all documents are not provided the application will not be complete and will not be accepted.
3. A sign will be provided when the Certificate of Appropriateness is accepted. The applicant must post the sign on the subject property in a visible location, no more than ten feet from the road, at least ten days before the meeting.
4. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. In most months, the Historic Preservation Commission meets on the third Monday at 7 p.m. at the Maloof Auditorium, 1300 Commerce Drive in Decatur. In unusual circumstances meeting dates and location may be changed.
5. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
5. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make presentations, but presentations are not required. The commissioners may have questions for the applicant.
7. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

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### Sign Posting Requirements for a Certificate of Appropriateness

The DeKalb County Code requires that citizens who may be affected by the approval of a Certificate of Appropriateness must be notified of the hearing where that decision will take place. The notification is accomplished by requiring the applicant to post one or more signs on the property for which a certificate of appropriateness is being considered. The sign gives the date, time, and location of the meeting and the telephone number of the county historic preservation planner. The sign must be posted no later than ten days before the date of the preservation commission meeting and must remain in place until after the meeting.

**When an applicant submits an application for a Certificate of Appropriateness, the applicant must request a sign from the Planning Department.** If the property is bounded by more than one public street, a sign must be posted facing each street. It is the applicant's responsibility to obtain and post the sign appropriately. If you file your application by mail or fax, you must make arrangements to pick up the sign.

**The sign must be posted prominently in the center of the front yard, facing the street, and within ten feet of the street or sidewalk, although the sign may not be posted between the street and the sidewalk. It is best to attach the sign to a four-foot tall stake, but attaching it to an existing support is usually acceptable. The sign may not be posted inside a house except in the case of a purpose-built commercial structure where front yard posting is impossible or impractical.**

The signs are made of relatively thin cardstock. They should either be waterproofed or additional support should be added. The sign may be laminated, covered with clear plastic, or secured to heavier backing, such as heavy cardboard or plywood. If the sign is destroyed or becomes illegible during the ten day posting period, the applicant must contact the historic preservation planner for a replacement sign, which must be posted as soon as possible.

**If the sign is not posted, is not posted for the full ten day period, or is posted inappropriately, the DeKalb County Historic Preservation Commission may deny the application or may defer consideration of the application until the following month.**

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

**Design Checklist for a Certificate of Appropriateness**

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project’s architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. Three copies of drawings at scale (plus nine reduced sets) should be submitted. Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail [dccullis@dekalbcountyga.gov](mailto:dccullis@dekalbcountyga.gov). Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

|  |   |   |
|--|---|---|
| I have reviewed the “Design Manual for the Druid Hills Local Historic District”              | Y | N |
| I have reviewed the DeKalb County Tree Ordinance   | Y | N |
| I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers | Y | N |

**1. General**

- a. Label all drawings with the address of the site, owners’ name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

**2. Site Plan** (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18”;
- g. Tree protection plan;
- h. Tree removal and replacement plan

**3. Driveways and Walkways**

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

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### 4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

### 5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

### 6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

### 7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

### 8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

### 9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

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### 10. Façade

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g. Hardieplank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

### 11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

### 12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

### 13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

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### 14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

### 15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment



**IMPERVIOUS SURFACE**

|                                |                  |
|--------------------------------|------------------|
| HOUSE=                         | 2,440.7± SQ. FT. |
| CONC. DRIVE=                   | 433.1± SQ. FT.   |
| NEIGHBOR'S CONC. DRIVE=        | 78.0± SQ. FT.    |
| ROCK WALK=                     | 106.3± SQ. FT.   |
| STEPS=                         | 36.6± SQ. FT.    |
| SLATE PORCH AND STEPS=         | 23.5± SQ. FT.    |
| CONC. FLUME=                   | 14.9± SQ. FT.    |
| BRICK WALL=                    | 2.7± SQ. FT.     |
| TIMBER WALL=                   | 23.2± SQ. FT.    |
| CONC. PATIO=                   | 212.2± SQ. FT.   |
| WOOD DECK AND STEPS=           | 656.9± SQ. FT.   |
| A/C UNIT AND PAD=              | 40.0± SQ. FT.    |
| CONC. BLOCK WALL=              | 20.8± SQ. FT.    |
| BRICK WALK=                    | 69.8± SQ. FT.    |
| CONC. WALK=                    | 23.6± SQ. FT.    |
| STEPS=                         | 8.1± SQ. FT.     |
| BRICK WALL=                    | 3.6± SQ. FT.     |
| CONC. SIDEWALK=                | 7.6± SQ. FT.     |
| IMPERVIOUS SURFACE AREA=       | 4,201.6± SQ. FT. |
| TOTAL AREA=                    | 13,907± SQ. FT.  |
| PERCENT OF IMPERVIOUS SURFACE= | 30.2 PERCENT     |

**SURVEY NOTES**

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. PLEASE CALL ALL LOCAL UTILITY PROVIDERS AND OR 811 FOR FURTHER INFORMATION.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS GATHERED BY AN OPEN TRAVERSE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 610,151 FEET. A GEOMAX ZOOM 90 SERIES ROBOTIC TOTAL STATION WITH CARLSON SURVEY 2 DATA COLLECTOR WERE USED IN THE COLLECTION OF FIELD DATA.
5. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
6. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
7. ALL REBARS SET ARE 1/2" REBARS UNLESS OTHERWISE NOTED.
8. THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.
9. CONTOUR INTERVAL= 2 FEET
10. ELEVATION DATUM= NAVD 1998



**LEGEND**

|      |                                  |
|------|----------------------------------|
| BL   | DENOTES BUILDING LINE            |
| PL   | DENOTES PROPERTY LINE            |
| R/W  | DENOTES RIGHT-OF-WAY             |
| CL   | DENOTES CENTERLINE               |
| BC   | DENOTES BACK OF CURB             |
| G    | DENOTES GUTTER                   |
| EP   | DENOTES EDGE OF PAVING           |
| TW   | DENOTES TOP OF WALL              |
| BW   | DENOTES BOTTOM OF WALL           |
| X-X  | DENOTES FENCE                    |
| RCP  | DENOTES REINFORCED CONCRETE PIPE |
| CMP  | DENOTES CORRUGATED METAL PIPE    |
| PP   | DENOTES POWER POLE               |
| LP   | DENOTES LIGHT POLE               |
| GW   | DENOTES GUY WIRE                 |
| P    | DENOTES POWER LINE               |
| PM   | DENOTES POWER METER              |
| PB   | DENOTES POWER BOX                |
| FO   | DENOTES FIBER OPTIC              |
| A/C  | DENOTES AIR CONDITION            |
| TB   | DENOTES TELEPHONE BOX            |
| GM   | DENOTES GAS METER                |
| GV   | DENOTES GAS VALVE                |
| GLM  | DENOTES GAS LINE MARKER          |
| WM   | DENOTES WATER METER              |
| WV   | DENOTES WATER VALVE              |
| FH   | DENOTES FIRE HYDRANT             |
| MW   | DENOTES MONITORING WELL          |
| HW   | DENOTES HEADWALL                 |
| JB   | DENOTES JUNCTION BOX             |
| DI   | DENOTES DROP INLET               |
| S    | DENOTES SANITARY SEWER LINE      |
| SSMH | DENOTES SANITARY SEWER MANHOLE   |
| CO   | DENOTES CLEAN OUT                |

22  
"45"

25  
"45"

24  
"45"

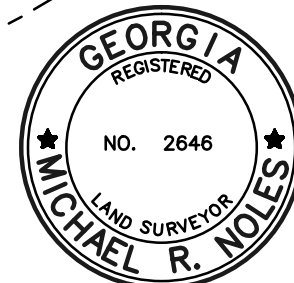
23  
"45"

#1642  
N/F  
JOSEPH M. WEBB  
DB 11349 PG 546

#1658  
MATTHEW BRITT STODDARD  
CARRIE LOUISE PORTER  
DB 26177 PG 193

**THIS PROPERTY SUBJECT TO THE FOLLOWING**

1. CURRENT ZONING PER DEKALB COUNTY, GEORGIA R-75 SUBJECT TO DRUID HILLS HISTORIC DISTRICT REGULATIONS
- |                                     |                |
|-------------------------------------|----------------|
| MINIMUM LOT AREA=                   | 10,000 SQ. FT. |
| MINIMUM LOT WIDTH, STREET FRONTAGE= | 75 FEET        |
| MINIMUM LOT WIDTH AT BUILDING LINE= | 75 FEET        |
| MAXIMUM LOT COVERAGE=               | 35%            |
| MINIMUM FRONT BUILDING SETBACK=     | 30 FEET        |
| (COLLECTOR)                         |                |
| MINIMUM SIDE BUILDING SETBACK       | 7.5 FEET       |
| MINIMUM REAR BUILDING SETBACK=      | 40 FEET        |
| MINIMUM UNIT SIZE=                  | 1,600 SQ. FT.  |
| MAXIMUM HEIGHT=                     | 35 FEET        |
| MINIMUM OPEN SPACE=                 | 20%            |
- MUST BE VERIFIED BY DEKALB COUNTY BEFORE CONSTRUCTION



Michael R. Noles  
Georgia RLS #2646  
Member SAMSOG

A=151.49'  
R=152.17'  
CHD=  
S82°14'45"W  
145.31'

**REFERENCE MATERIAL**

1. WARRANTY DEED IN FAVOR OF EDWARD E. URQUHART AND SUZANNE C. URQUHART DEED BOOK 21719 PAGE 640 DEKALB COUNTY, GEORGIA RECORDS

**FLOOD NOTE**

THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS.

**SURVEYOR'S CERTIFICATE**

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulation for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

*Michael R. Noles*

Michael R. Noles Georgia RLS No. 2646 6-23-19

| NO. | REVISIONS | DATE |
|-----|-----------|------|
|     |           |      |



McClung Surveying Services, Inc.  
4833 South Cobb Drive Suite 200  
Smyrna, Georgia 30080 (770) 434-3383  
www.mcclungsurveying.com Certificate of Authorization #LSF000752

TOPOGRAPHIC MAP FOR  
EDWARD E. URQUHART  
SUZANNE C. URQUHART

1648 EAST CLIFTON ROAD  
ATLANTA, GEORGIA  
TOTAL AREA= 0.319± ACRES  
OR 13,907± SQ. FT.

LOT 24 BLOCK "45"  
DRUID HILLS

LAND LOT 3  
18TH DISTRICT  
DEKALB COUNTY  
GEORGIA

PLAT PREPARED: 6-23-19  
FIELD: 6-19-19 SCALE: 1"=20'

PB 7  
PG 114



SCALE IN FEET

JOB#250667

SOD TO REAR  
CORNER  
OF HOUSE

1" CONDUIT FOR  
A/C DRIP TO  
DOWNSPOUT

(1) EMERALD ARB

(90) LIRIOPE

(1) JAP. MAPLE

(5) N.P. HOLLY

(5) GOLD MOP  
CYPRESS  
BE PINT BRICK

PRUNE GARDENIA

Boxwoods CT.P.  
(w) 36 M AZUS

(5) DWF CAMELLIA S.

(10) CHINDO URBEANUM

CLEAR BRUSH

WT MAGNOLIA

(5) BO BO HYDRANGEA



URQUHART

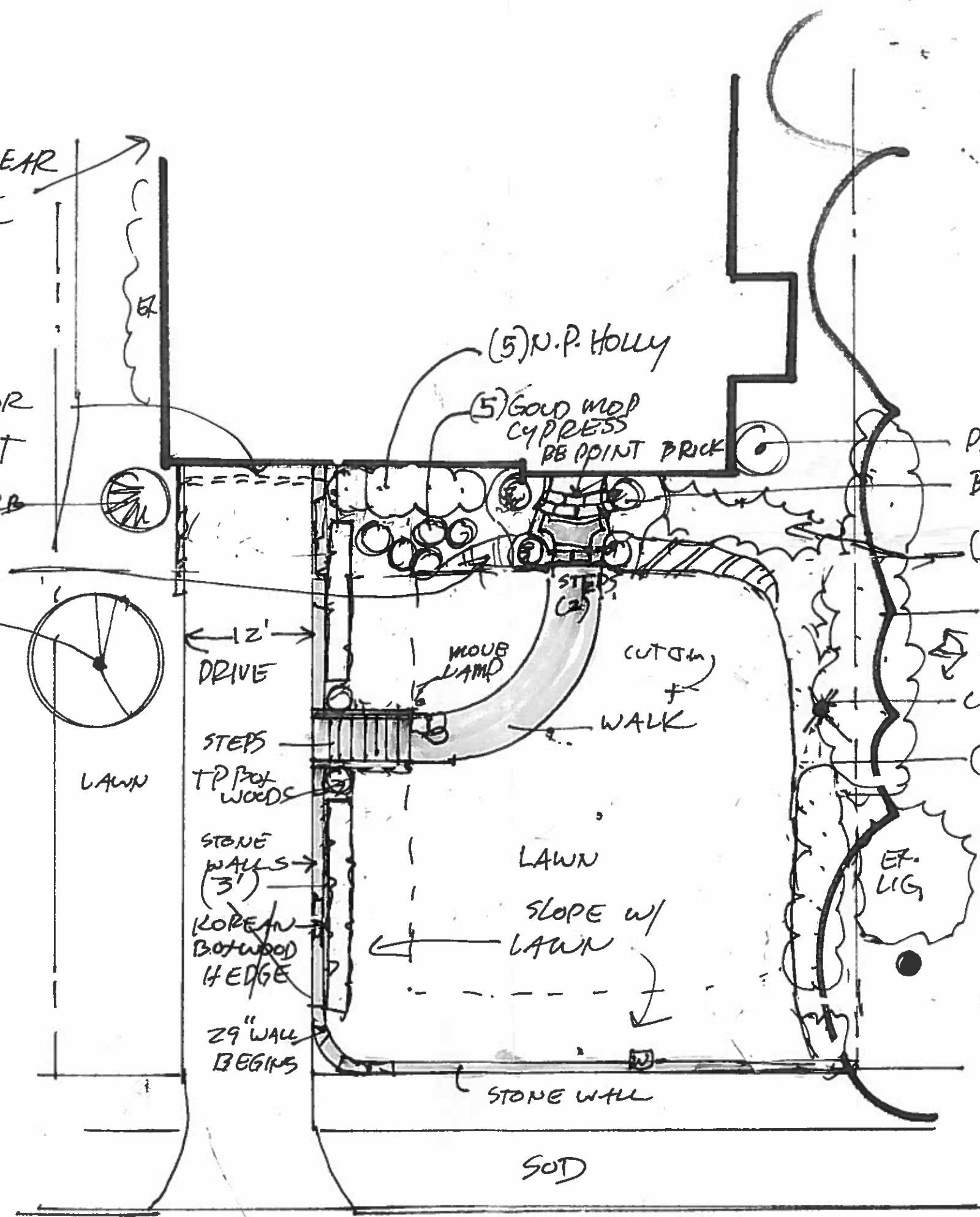
SCALE 1"=10'

4-30-18

R 5-1-18

R 10-24-18

R-5-20-19



12'  
DRIVE

MOON  
LAMP

CUT-IN  
WALK

STEPS

WALK

LAWN

TP Box  
WOODS

LAWN

STONE  
WALLS  
(3')

SLOPE w/  
LAWN

KOREAN  
BOXWOOD  
HEDGE

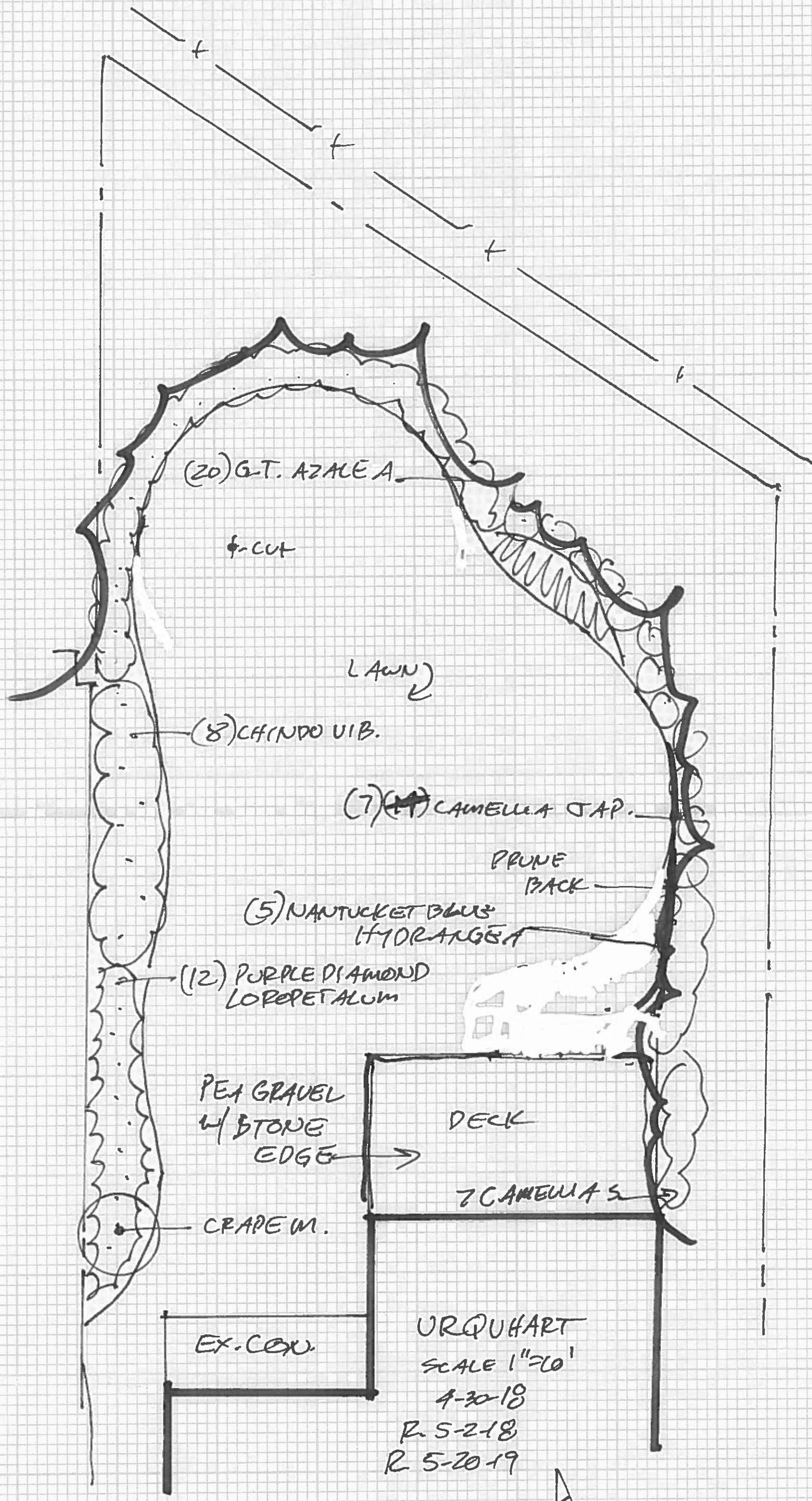
29" WALL  
BEGINS

STONE WALL

SOD

ER.  
LIG





(20) G.T. AZALEA

4-CUT

LAWN

(8) CHINDO VIB.

(7) ~~11~~ CAMELLIA JAP.

PRUNE BACK

(5) NANTUCKET BLUE HYDRANGEA

(12) PURPLE DIAMOND LOREPETALUM

PEA GRAVEL W/ STONE EDGE

DECK

2 CAMELLIAS

CRAPE M.

EX. CON.

URQUHART  
SCALE 1"=10'

4-30-18

R. 5-2-18

R. 5-20-19

