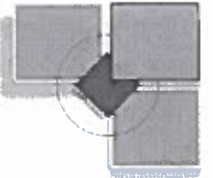
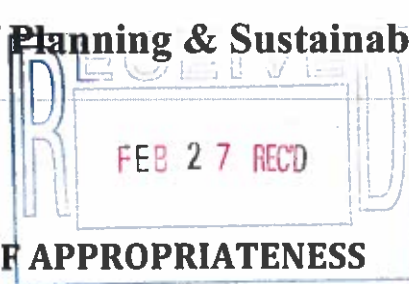




# DeKalb County Department of Planning & Sustainability

Michael Thurmond  
Chief Executive Officer



## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS DeKalb County Historic Preservation Commission

1. Address of Property: 525 Ridge Crest Rd Atlanta GA 30307  
Owner: Stacey Lusk Owner Telephone: 678-923-2016  
Owner Address: 525 Ridge crest rd Atlanta CA 30307

2. Name of Applicant: Jairo Murillo  
You or your representative may be present at the meeting of the commission, but attendance is not mandatory.  
You will be notified of the time, date, and location of the meeting.  
Mailing Address: 521 Pine Springs trail Marietta GA 30067  
Daytime Telephone: AOA 552 7710

Relationship of Applicant to Property Owner: Owner Architect Contractor Other

3. Age of Structure: Approximate date of construction for the primary structure on the property and any secondary structures affected by this project: 69 years old

### 4. Nature of Proposed Work:

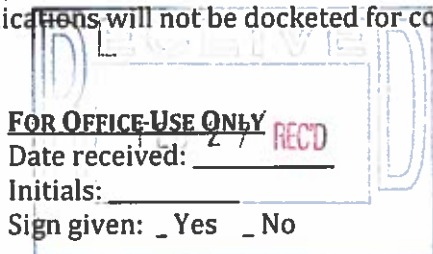
- New Construction
- Demolition
- Addition
- New Freestanding Building
- Fence/Wall
- Exterior Environmental Feature
- Change
- Deck or Patio
- Site Preparation/Clearance
- Moving a Building
- Sign Erection or Replacement
- Repairs or Alterations
- Exterior Architectural Features
- Landscaping
- Other

Please describe your proposed work as simply and accurately as possible. Use the attached submittal criteria checklist to guide you in your description. Be sure to indicate building and landscape materials to be used. Accurate drawings and photographs are required. (Use extra sheet, if necessary.)

Demo existing concrete stoop & door with side lisths. Enclosed existing door opening with matching siding. relocate door in existing double corner window. Build a new pressure treated wood stoop with 6 steps. add 5 matching windows in wall where door was remove. Frame new wall in screen porch area to install new matching wood french door & 3 wood windows. (New wall will match color & material of house)

**IMPORTANT:** This form must be completed before the Historic Preservation Commission can consider the approval of any material change to a Historic Property or within a Historic District. This form, along with supporting documents (plans, material, color samples, and photos), must be filed with the Historic Preservation staff, DeKalb County Planning Department, 330 West Ponce de Leon Avenue, Suite 500, Decatur, Georgia 30030. Eight (8) copies of plans or renderings for any new structures **must** be filed. One set of plans must be reduced to 11" x 17" or smaller.

All applicable items from the attached checklist of Submittal Criteria must be addressed. Incomplete applications will not be docketed for consideration by the Historic Preservation Commission.



Jairo Murillo 02-28-19  
Signature of Applicant Date

DESIGN DOCUMENTS FOR:  
**KYLE AND STACEY LUSK - HOME REMODELING**  
 1525 RIDGECREST ROAD NE, ATLANTA, GEORGIA 30307 - FULTON COUNTY



AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aaconlact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.

**KYLE AND STACEY LUSK  
 HOME REMODELING**  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN: CAdeO  
 CHECKED: CAdeO  
 DATE: February 27, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

Title:  
**COVER PAGE**

Scale:  
 AS NOTED

Sheet:  
**A001**  
 of:

**DRAWING INDEX**

- A001 COVER PAGE
- A101 DEMOLITION FLOOR PLAN
- A102 NEW FLOOR PLAN
- A103 RCP AND POWER PLAN
- A201 LARGE PLAN, ELEVATION AND SECTIONS
- A202 EXTERIOR ELEVATIONS
- A203 EXTERIOR ELEVATIONS

**GENERAL NOTES**

1. DO NOT SCALE THESE DRAWINGS, DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF GYP BD, EDGE OF OPENING OR EDGE OF DOOR OPENING UNLESS NOTED OTHERWISE.
3. ALL ANGLES SHALL BE 90 DEGREES UNLESS NOTED OTHERWISE.
4. ALL CONCEALED WOOD BLOCKING TO BE FLAME RETARDANT TREATED.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL STATE AND LOCAL CODES.
6. A COPY OF THE APPROVED DRAWINGS MUST BE KEPT AT THE SITE AVAILABLE TO THE FIELD INSPECTOR.
7. CONTRACTOR IS RESPONSIBLE FOR PERMITS, INSPECTIONS AND CERTIFICATES.

**APPLICABLE CODES**

INTERNATIONAL BUILDING CODE (IBC)	2012 edition with Georgia Amendments
INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS	2012 edition
INTERNATIONAL MECHANICAL CODE (IMC)	2012 edition with Georgia Amendments
INTERNATIONAL FUEL GAS CODE (IFGC)	2012 edition with Georgia Amendments
INTERNATIONAL PLUMBING CODE (IPC)	2012 edition with Georgia Amendments
INTERNATIONAL FIRE CODE (IFC)	2012 edition with Georgia Amendments
NATIONAL ELECTRIC CODE (NEC)	2017 edition
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2009 edition with Georgia Supplements and Amendments

**SCOPE OF WORK NARRATIVE**

THE PROJECT CONSISTS ON THE COMPLETE REMODELING AN EXISTING SINGLE-FAMILY PRIVATE RESIDENCE. THE REMODELING WILL RECONFIGURE EXISTING SPACE AND ADD ADDITIONAL LIVING SPACE TO THE EXISTING UNIT, AS FOLLOWS:

- COMPLETE AND PARTIAL REMOVAL OF SELECTIVE INTERIOR PARTITIONS TO CREATE AN OPEN PLAN LAYOUT, AND CREATE CONNECTIONS, DOORS, AND WINDOWS TO IMPLEMENT THE NEW DESIGN.
- RELOCATION OF THE EXISTING LAUNDRY AREA.
- ADDITION OF A GUEST BATHROOM AND A NEW MASTER SUITE (BEDROOM, BATHROOM, AND MASTER CLOSET.)
- EXPANSION OF ONE OF THE EXISTING BATHROOMS.
- ADDITION OF NEW ENERGY EFFICIENT WINDOWS IN SELECTIVE LOCATIONS TO MATCH EXISTING.
- REMOVAL OF THE EXISTING KITCHEN MILLWORK AND INSTALLATION OF NEW MILLWORK IN A NEW CONFIGURATION.
- PARTIAL ENCLOSURE OF EXISTING DECK TO CREATE A NEW GUEST BEDROOM AND FAMILY ROOM.
- REMOVAL OF AN EXISTING SERVICE STAIRS AND WALKWAY AND REPLACEMENT WITH NEW SIDEWALK AND STAIRS TO BETTER WORK WITH THE NEW LAYOUT.

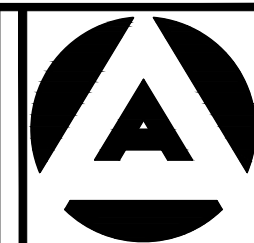
**BUILDING DATA**

PROJECT NAME:	KYLE AND STACEY LUSK - HOME REMODELING
PROJECT ADDRESS:	525 Ridgcrest Road NE, Atlanta, Georgia 30307
OCCUPANCY CLASSIFICATION (NFPA 101):	R-4 (Single Family Dwellings District)
OCCUPANCY TYPE:	Single Family Residential
OCCUPANCY SEPARATION:	N/A
TYPE OF CONSTRUCTION (PER IBCC 2012):	VB, Not Sprinklered
SPRINKLERED SYSTEM REQUIREMENTS/PROVISIONS:	N/A
ALLOWABLE/PROPOSED BUILDING AREA:	Allowable: Unlimited gsf - Proposed: 2,487 gsf
ALLOWABLE/PROPOSED BUILDING HEIGHT:	Allowable: 3-Stories - Proposed: 2-Stories
CALCULATED OCCUPANCY LOAD:	2,487 @ 200 gsf/person = 13
PLUMBING FIXTURES REQUIRED:	2 Lav., 1 WC, 1 Kitchen Sink, 1 Cloth Washer Connection
PLUMBING FIXTURES PROVIDED:	5 Lav., 4 WC, 2 Kitchen Sink, 1 Cloth Washer Connection

**PROJECT DIRECTORY**

<b>OWNER:</b>	<b>ARCHITECT:</b>
<b>KYLE AND STACEY LUSK</b>	<b>AZCUNES ARCHITECTS</b>
525 Ridgcrest Road NE Atlanta, Georgia 30307.	3124 Parkridge Crescent Atlanta, Georgia 30341
Phone: (678) 923-2016	Phone: (770) 300-9711
Stacey Lusk	Clara Azcunes de Ojeda, AIA





**AZCUNES ARCHITECTS**  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 azconlac@azcunesarchitects.com

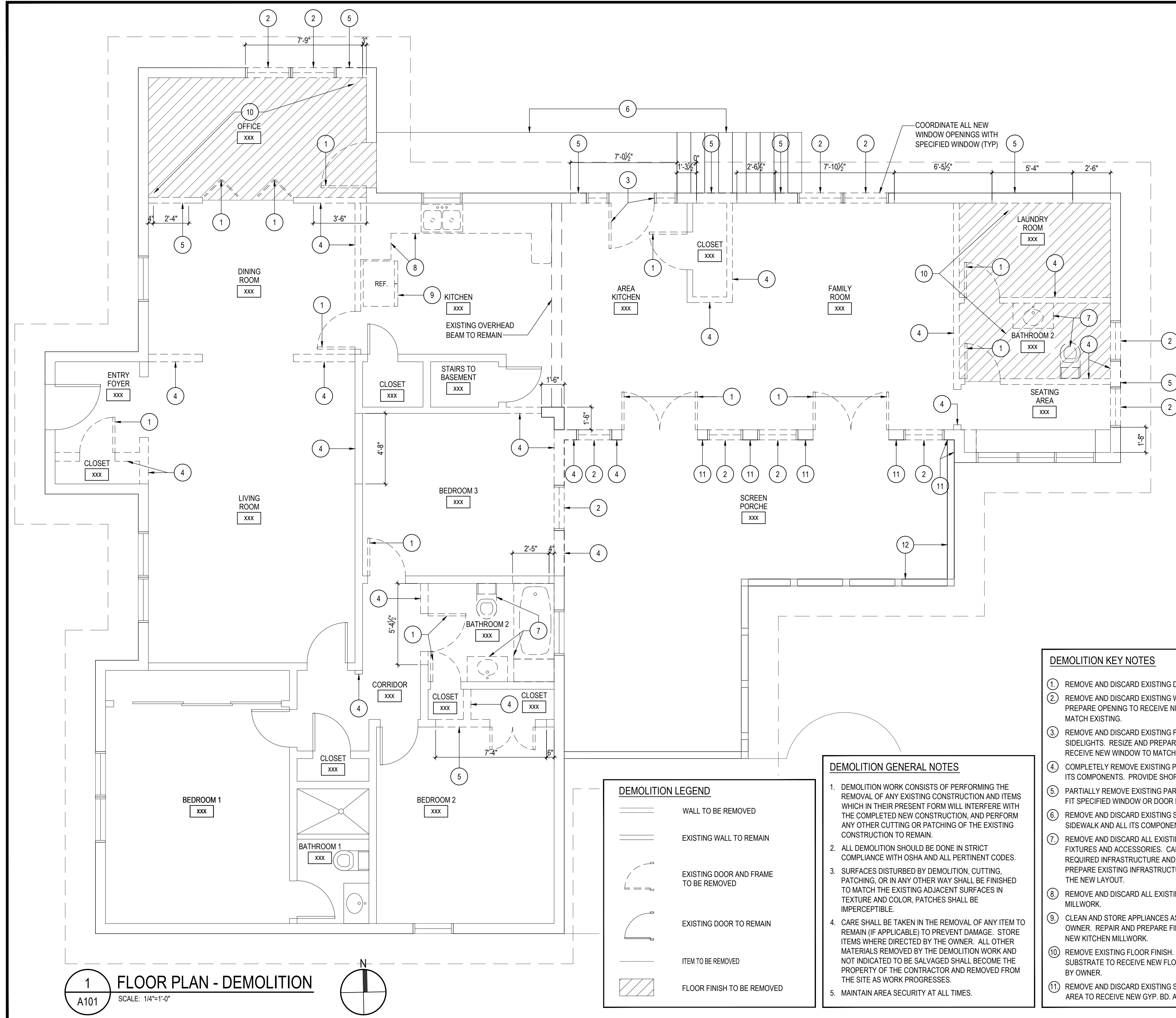


Revisions:	
No.	Date
1	CONSTRUCTION DOCS.

**KYLE AND STACEY LUSK  
 HOME REMODELING**  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN: CadeO  
 CHECKED: CadeO  
 DATE: January 28, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

Title:  
**DEMOLITION FLOOR PLAN**  
 Scale:  
 AS NOTED  
 Sheet:  
**A101**  
 of:



**1 FLOOR PLAN - DEMOLITION**  
 A101 SCALE: 1/4"=1'-0"

DEMOLITION LEGEND	
	WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING DOOR TO REMAIN
	ITEM TO BE REMOVED
	FLOOR FINISH TO BE REMOVED

- DEMOLITION GENERAL NOTES**
- DEMOLITION WORK CONSISTS OF PERFORMING THE REMOVAL OF ANY EXISTING CONSTRUCTION AND ITEMS WHICH IN THEIR PRESENT FORM WILL INTERFERE WITH THE COMPLETED NEW CONSTRUCTION, AND PERFORM ANY OTHER CUTTING OR PATCHING OF THE EXISTING CONSTRUCTION TO REMAIN.
  - ALL DEMOLITION SHOULD BE DONE IN STRICT COMPLIANCE WITH OSHA AND ALL PERTINENT CODES.
  - SURFACES DISTURBED BY DEMOLITION, CUTTING, PATCHING, OR IN ANY OTHER WAY SHALL BE FINISHED TO MATCH THE EXISTING ADJACENT SURFACES IN TEXTURE AND COLOR, PATCHES SHALL BE IMPERCEPTIBLE.
  - CARE SHALL BE TAKEN IN THE REMOVAL OF ANY ITEM TO REMAIN (IF APPLICABLE) TO PREVENT DAMAGE. STORE ITEMS WHERE DIRECTED BY THE OWNER. ALL OTHER MATERIALS REMOVED BY THE DEMOLITION WORK AND NOT INDICATED TO BE SALVAGED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AS WORK PROGRESSES.
  - MAINTAIN AREA SECURITY AT ALL TIMES.

- DEMOLITION KEY NOTES**
- REMOVE AND DISCARD EXISTING DOOR AND FRAME.
  - REMOVE AND DISCARD EXISTING WINDOW AND FRAME. PREPARE OPENING TO RECEIVE NEW WINDOWS TO MATCH EXISTING.
  - REMOVE AND DISCARD EXISTING FRENCH DOOR AND SIDELIGHTS. RESIZE AND PREPARE OPENING TO RECEIVE NEW WINDOW TO MATCH EXISTING.
  - COMPLETELY REMOVE EXISTING PARTITIONS AND ALL ITS COMPONENTS. PROVIDE SHORING AS NEEDED.
  - PARTIALLY REMOVE EXISTING PARTITION OR WALL TO FIT SPECIFIED WINDOW OR DOOR MATCHING EXISTING.
  - REMOVE AND DISCARD EXISTING SERVICE STAIR, SIDEWALK AND ALL ITS COMPONENTS.
  - REMOVE AND DISCARD ALL EXISTING BATHROOM FIXTURES AND ACCESSORIES. CAP EXISTING NOT REQUIRED INFRASTRUCTURE AND RELOCATE AND PREPARE EXISTING INFRASTRUCTURE REQUIRED FOR THE NEW LAYOUT.
  - REMOVE AND DISCARD ALL EXISTING KITCHEN MILLWORK.
  - CLEAN AND STORE APPLIANCES AS INDICATED BY OWNER. REPAIR AND PREPARE FINISHES TO RECEIVE NEW KITCHEN MILLWORK.
  - REMOVE EXISTING FLOOR FINISH. PREPARE SUBSTRATE TO RECEIVE NEW FLOORING AS SELECTED BY OWNER.
  - REMOVE AND DISCARD EXISTING SIDING. PREPARE AREA TO RECEIVE NEW GYP. BD. AND PAINT FINISH.

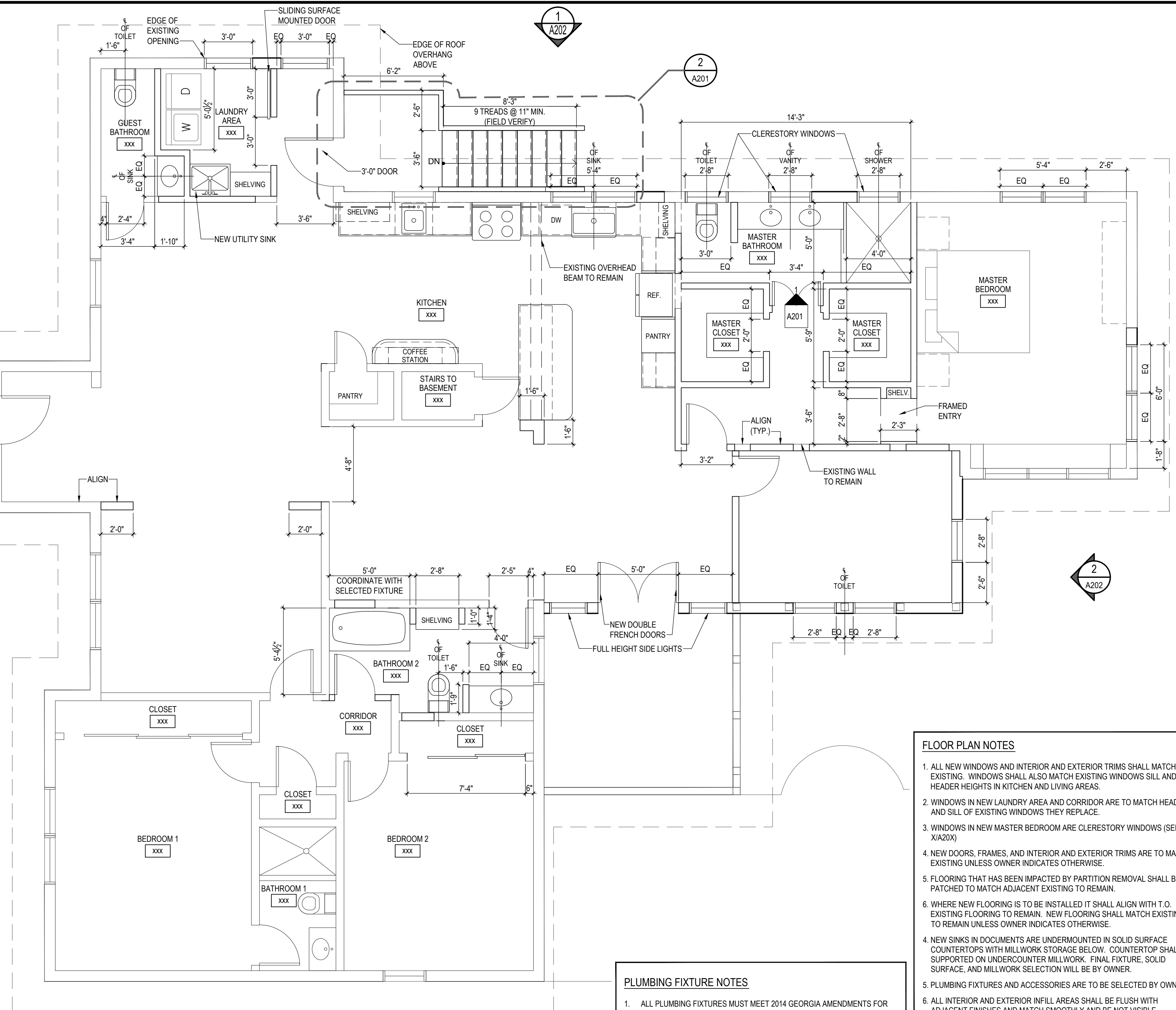


AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamble, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com

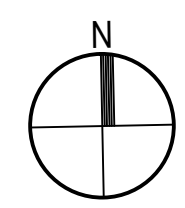


Revisions:	No.	Date
	1	CONSTRUCTION DOCS.

KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

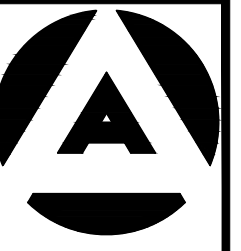


**1 FLOOR PLAN - NEW**  
 A102 SCALE: 1/4"=1'-0"



- PLUMBING FIXTURE NOTES**
- ALL PLUMBING FIXTURES MUST MEET 2014 GEORGIA AMENDMENTS FOR "HIGH EFFICIENCY" FIXTURES, AS FOLLOWS: WATER CLOSETS - 1.28 G.P.F., SHOWER HEADS - 2.5 G.P.M., SINK FAUCET - 2.0 G.P.M., AND LAVATORIES - 1.5 G.P.M.
  - PLUMBING FIXTURES AND ACCESSORIES WILL BE SELECTED BY OWNER.

- FLOOR PLAN NOTES**
- ALL NEW WINDOWS AND INTERIOR AND EXTERIOR TRIMS SHALL MATCH EXISTING. WINDOWS SHALL ALSO MATCH EXISTING WINDOWS SILL AND HEADER HEIGHTS IN KITCHEN AND LIVING AREAS.
  - WINDOWS IN NEW LAUNDRY AREA AND CORRIDOR ARE TO MATCH HEADER AND SILL OF EXISTING WINDOWS THEY REPLACE.
  - WINDOWS IN NEW MASTER BEDROOM ARE CLERESTORY WINDOWS (SEE X/A20X)
  - NEW DOORS, FRAMES, AND INTERIOR AND EXTERIOR TRIMS ARE TO MATCH EXISTING UNLESS OWNER INDICATES OTHERWISE.
  - FLOORING THAT HAS BEEN IMPACTED BY PARTITION REMOVAL SHALL BE PATCHED TO MATCH ADJACENT EXISTING TO REMAIN.
  - WHERE NEW FLOORING IS TO BE INSTALLED IT SHALL ALIGN WITH T.O. EXISTING FLOORING TO REMAIN. NEW FLOORING SHALL MATCH EXISTING TO REMAIN UNLESS OWNER INDICATES OTHERWISE.
  - NEW SINKS IN DOCUMENTS ARE UNDERMOUNTED IN SOLID SURFACE COUNTERTOPS WITH MILLWORK STORAGE BELOW. COUNTERTOP SHALL BE SUPPORTED ON UNDERCOUNTER MILLWORK. FINAL FIXTURE, SOLID SURFACE, AND MILLWORK SELECTION WILL BE BY OWNER.
  - PLUMBING FIXTURES AND ACCESSORIES ARE TO BE SELECTED BY OWNER.
  - ALL INTERIOR AND EXTERIOR INFILL AREAS SHALL BE FLUSH WITH ADJACENT FINISHES AND MATCH SMOOTHLY AND BE NOT VISIBLE.
  - CAP ALL POWER AND CONTROL INFRASTRUCTURE LOCATED IN PARTITIONS TO BE COMPLETELY OR PARTIALLY REMOVED, OR RELOCATE TO WORK WITH NEW LAYOUT.



AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.

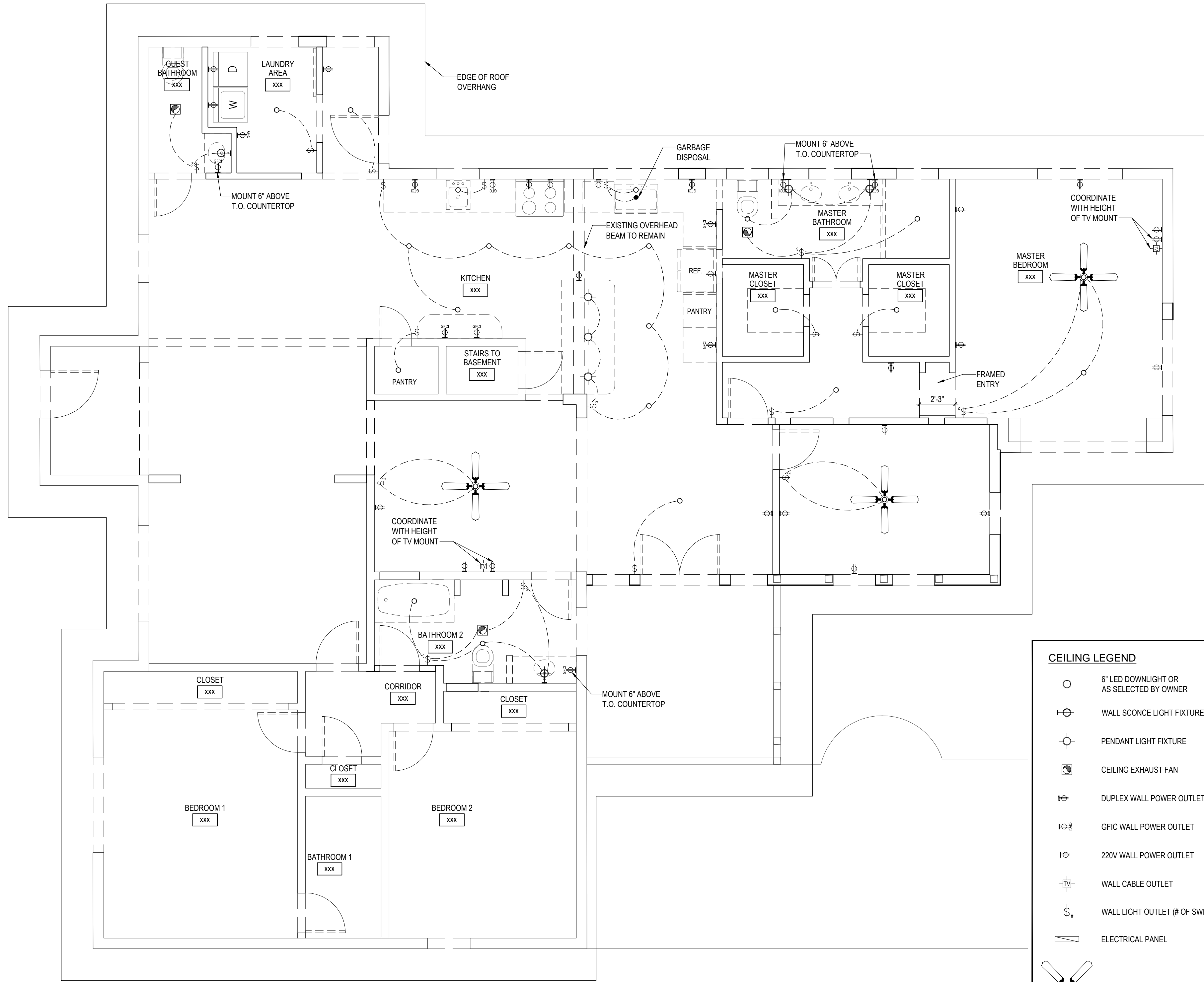
KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN: CAdo  
 CHECKED: CAdo  
 DATE: January 28, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

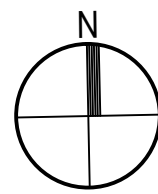
Title:  
**RCP AND POWER PLAN**  
 Scale:  
 AS NOTED

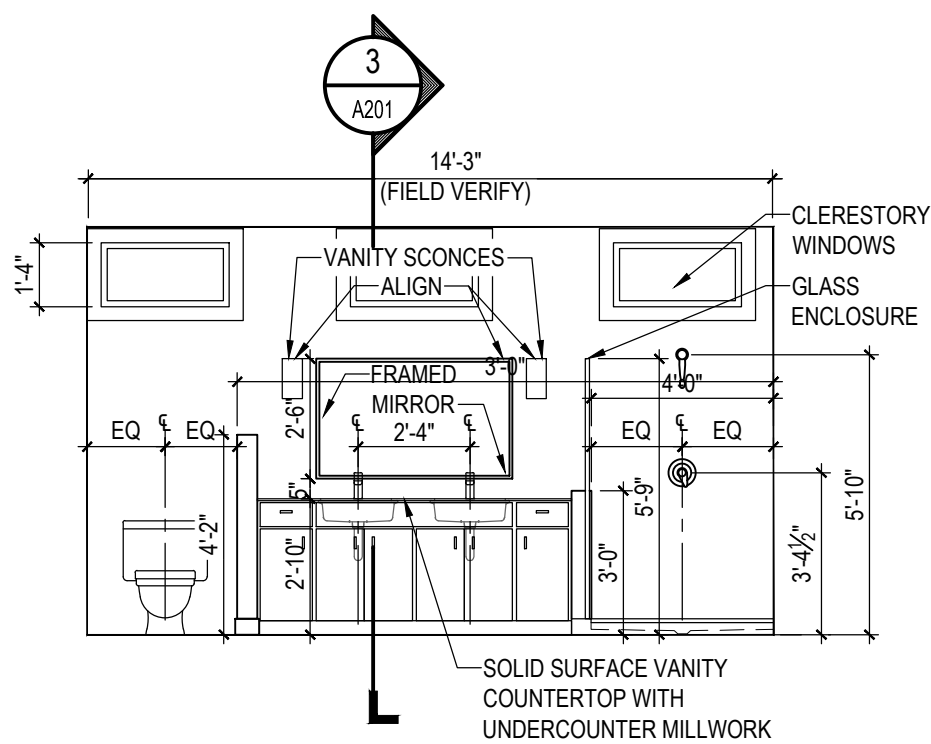
Sheet:  
**A103**  
 of:



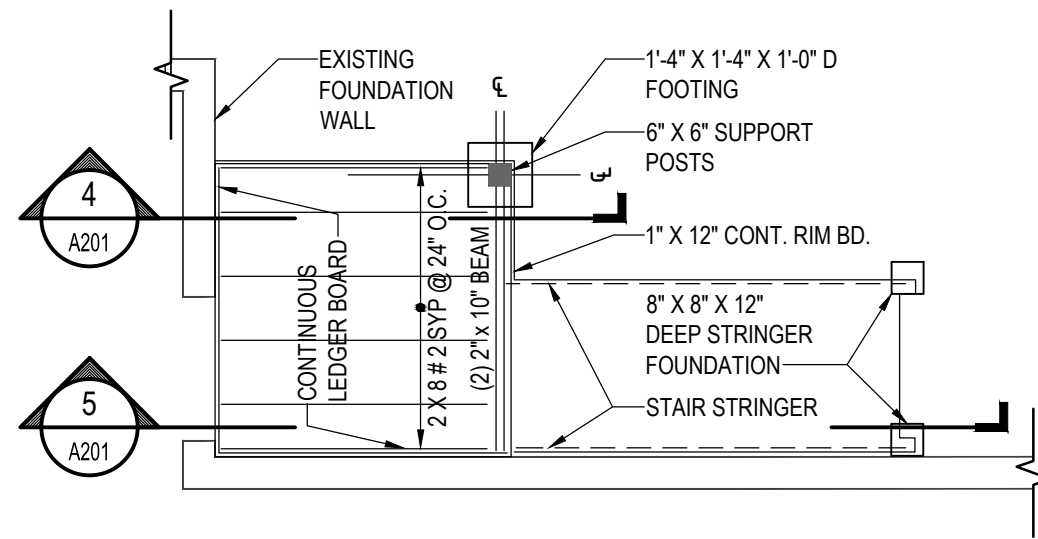
CEILING LEGEND	
	6" LED DOWNLIGHT OR AS SELECTED BY OWNER
	WALL SCONCE LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	CEILING EXHAUST FAN
	DUPLEX WALL POWER OUTLET
	GFIC WALL POWER OUTLET
	220V WALL POWER OUTLET
	WALL CABLE OUTLET
	WALL LIGHT OUTLET (# OF SWITCHES)
	ELECTRICAL PANEL
	CEILING FAN WITH LIGHT

**1 FIRST FLOOR RCP/POWER PLAN**  
 A103 SCALE: 1/4"=1'-0"





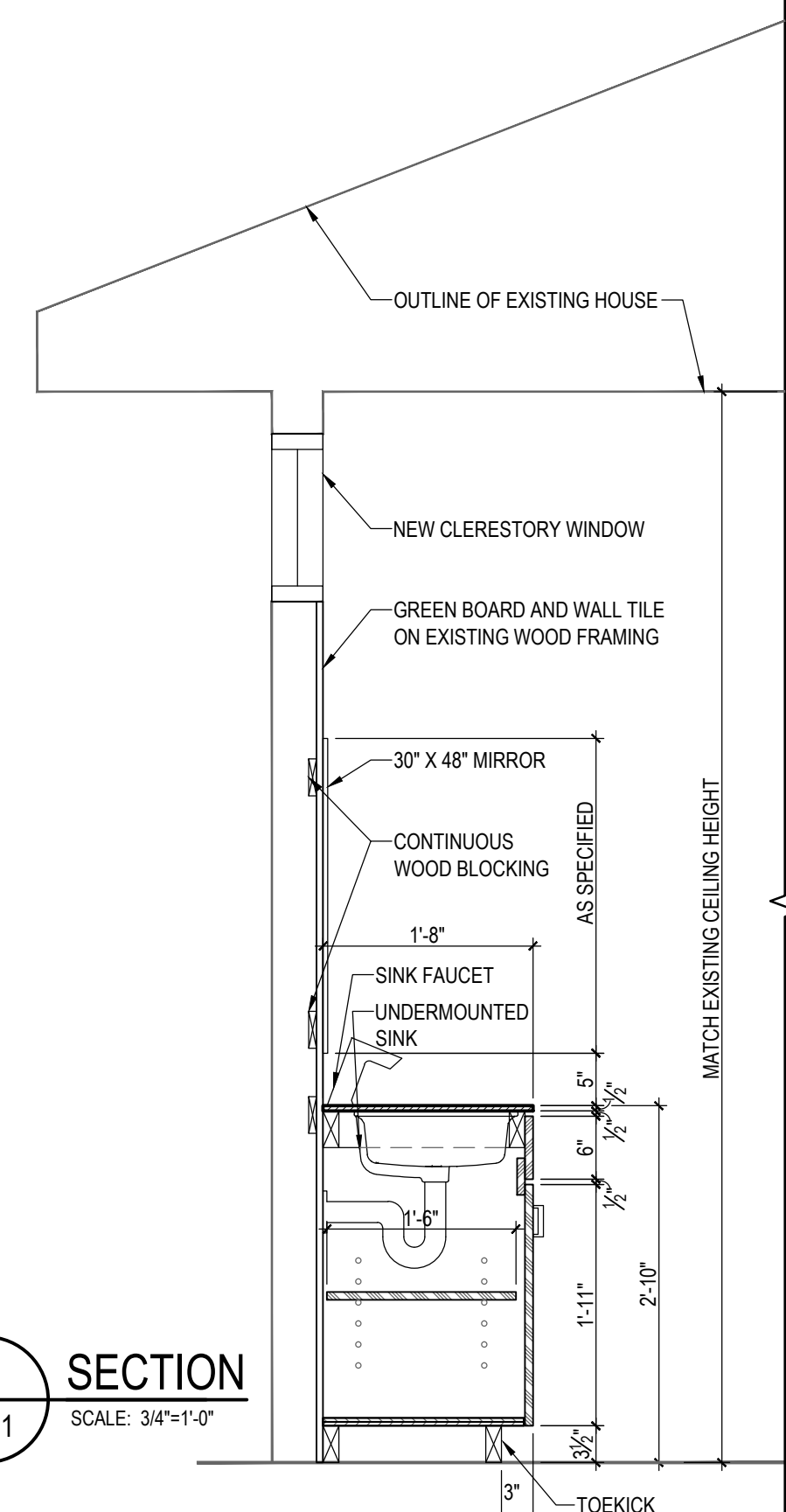
**1 BATHROOM ELEVATION**  
 A201 SCALE: 1/4"=1'-0"



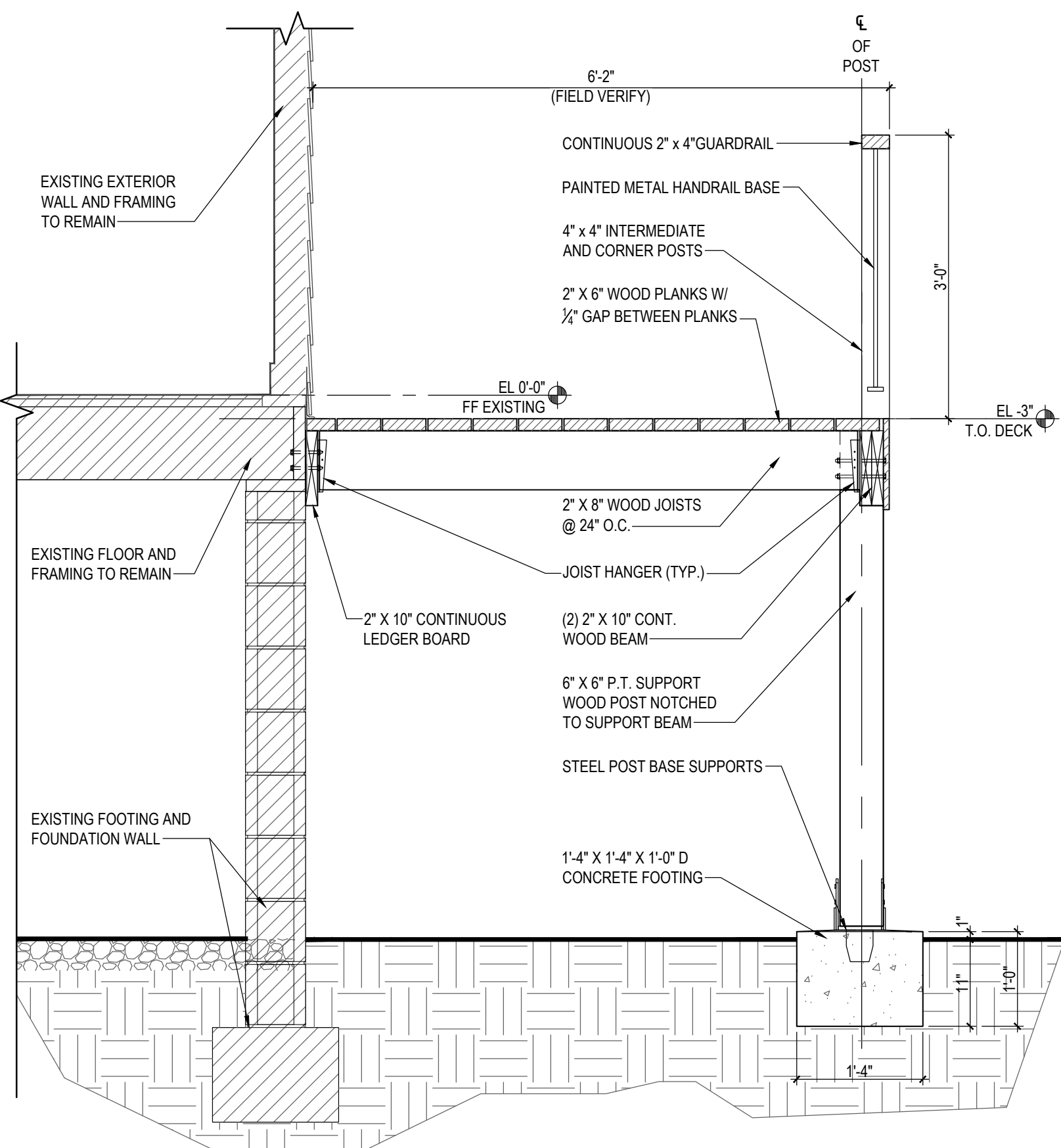
**2 DECK/STAIRS FRAMING PLAN**  
 A201 SCALE: 1/4"=1'-0"

**STRUCTURAL NOTES**

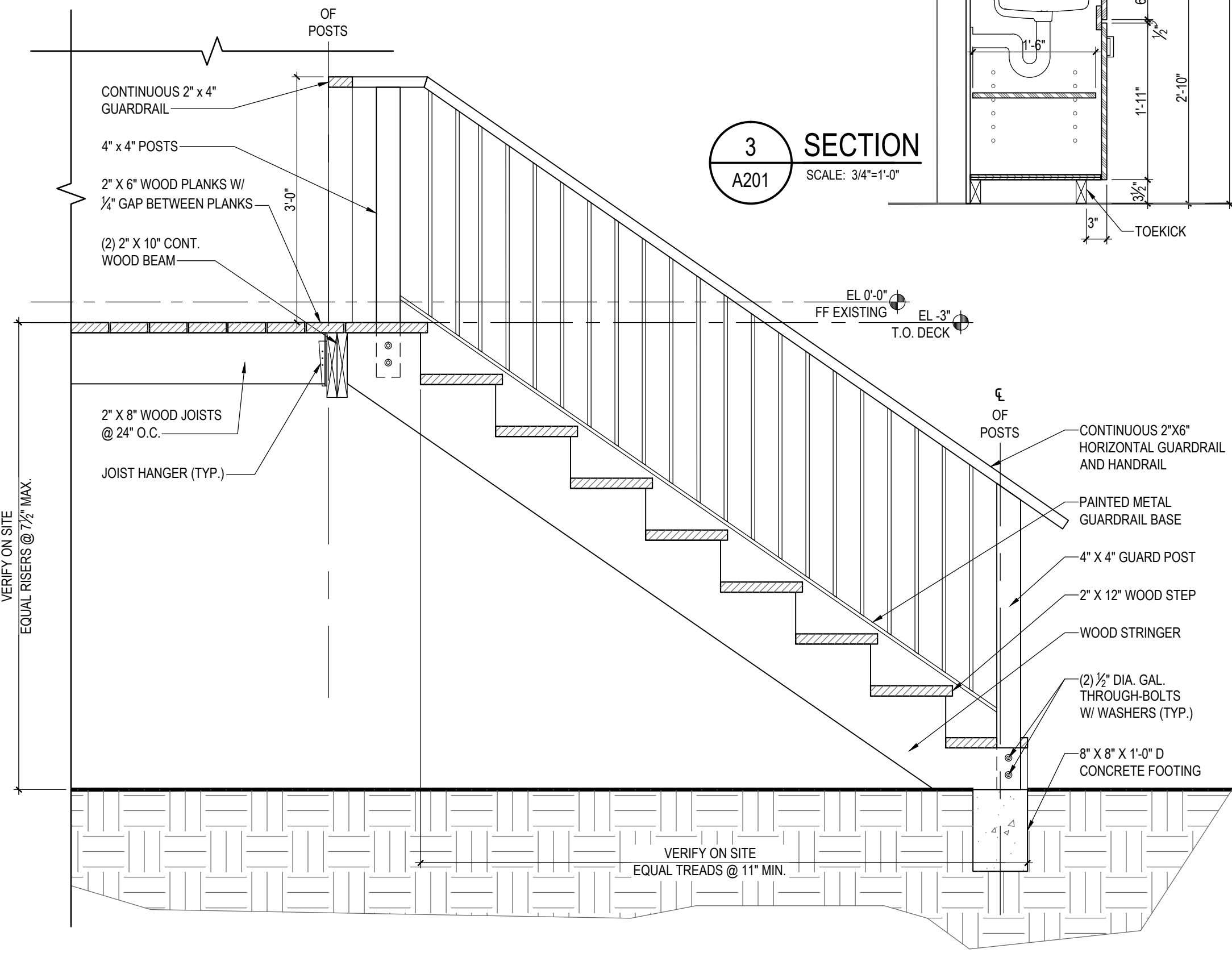
- WOOD FRAMING SHALL CONFORM TO ALL LOCAL BUILDING CODES AS A MINIMUM STANDARD.
- TOE AND END NAILING MAY BE ALLOWED FOR BEARING TYPE CONNECTIONS UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL OTHER CONNECTIONS SHALL BE MADE USING METAL CONNECTORS.
- NOMINAL WOOD FRAMING SHALL BE SOUTHERN PINE NO. 2 AND CONFORM TO NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, KILN DRIED (MC=15%) OR EQUAL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- WALL STUD FRAMING SHALL BE SOUTHERN PINE, STUD GRADE TYPICAL.
- WOOD FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH SOIL, CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED TYPICAL.
- SIMPSON CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SIMPSON STRONG-TIE COMPANY, INC. USE THE SIZE AND NUMBER OF REQUIRED FASTENERS AS LISTED IN THE SIMPSON STRONG-TIE CATALOG C-2009.
- STRUCTURAL BOLTS SHALL CONFORM TO ASTM A325N, TYPICAL.
- ALL LAMINATED VENEER LUMBER BEAMS (LVL) TO HAVE MINIMUM FB = 2925 PSI AND A MODULUS OF ELASTICITY OF 2000 KSI.
- ALL METAL CONNECTORS AND FASTENERS TO BE PROTECTED FROM CORROSION BY USING SUCH CONNECTORS AND FASTENERS THAT ARE ADDITIONALLY TREATED FOR PROTECTION AGAINST CORROSION BY THE MANUFACTURERS.
- ALL HEADERS SHALL BE 2-2x10's WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
- ALL FRAMED WALL DIMENSIONS ARE BASED ON 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- COMMON WIRE NAILS SHALL BE GALVANIZED AND CONFORM TO ASTM F1667.
- DECK ASSEMBLY SHALL COMPLY WITH 2012 GEORGIA PRESCRIPTIVE DECK DETAILS AND AMENDMENTS.



**3 SECTION**  
 A201 SCALE: 3/4"=1'-0"



**4 SECTION**  
 A201 SCALE: 3/4"=1'-0"



**5 SECTION**  
 A201 SCALE: 3/4"=1'-0"

**AZCUNES ARCHITECTS**  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail: azaonlaci@azcunesarchitects.com

STATE OF GEORGIA  
**CLARA AZCUNES DE OJEDA**  
 REGISTERED ARCHITECT  
 CERTIFICATE NO. 00020

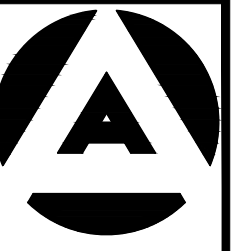
No.	Date
1	CONSTRUCTION DOCS.

**KYLE AND STACEY LUSK HOME REMODELING**  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN:	CadeO
CHECKED:	CadeO
DATE:	January 28, 2019
JOB No.:	18.017
ISSUE:	FOR CONSTRUCTION

Title:  
**LARGE PLAN, ELEVATION AND SECTIONS**  
 Scale:  
 AS NOTED

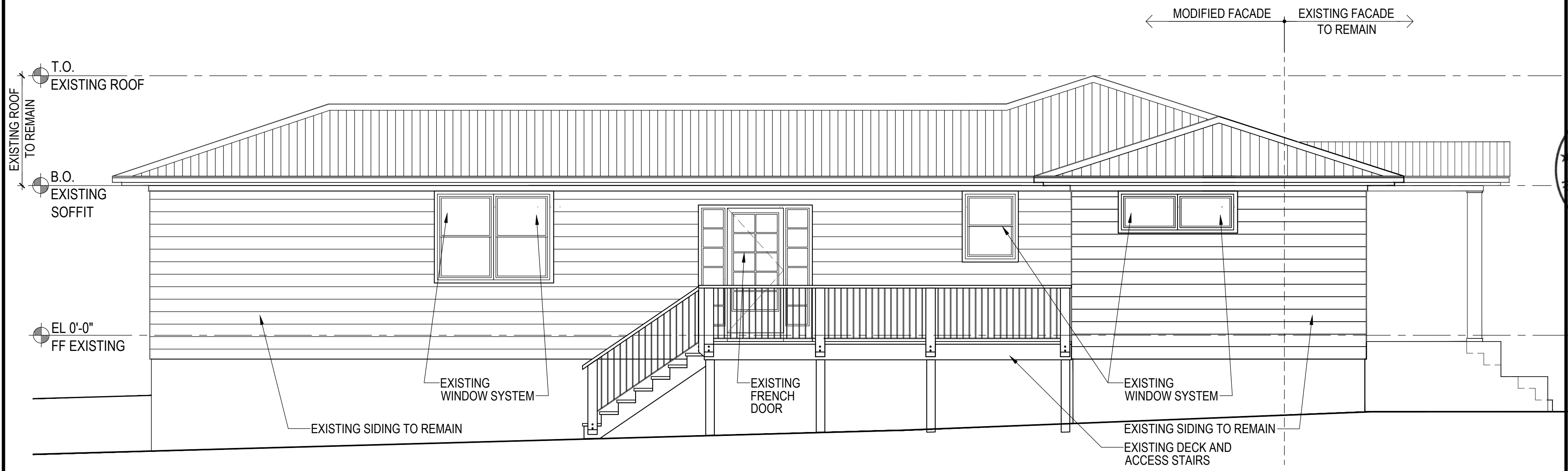
Sheet:  
**A201**



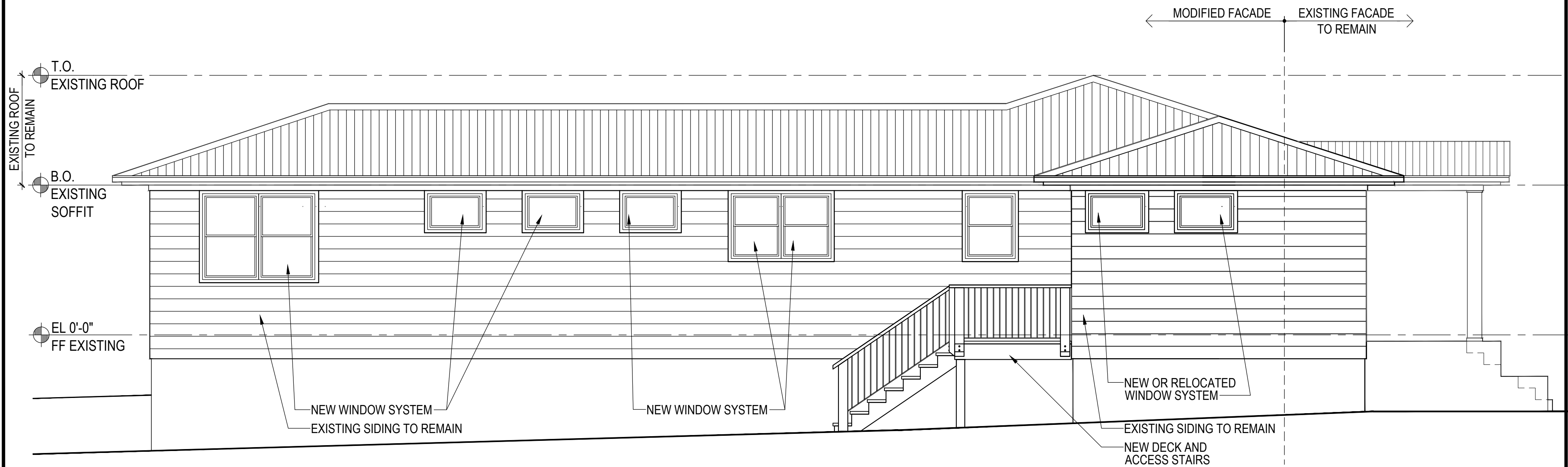
AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.



**1** SIDE ELEVATION - EXISTING  
 A202 SCALE: 1/4"=1'-0"



**2** SIDE ELEVATION - NEW  
 A202 SCALE: 1/4"=1'-0"

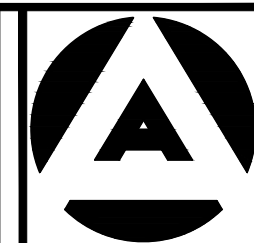
KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN: CAdeO  
 CHECKED: CAdeO  
 DATE: February 27, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

Title:  
 EXTERIOR ELEVATIONS  
 Scale:  
 AS NOTED

Sheet:  
**A202**



AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.

KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

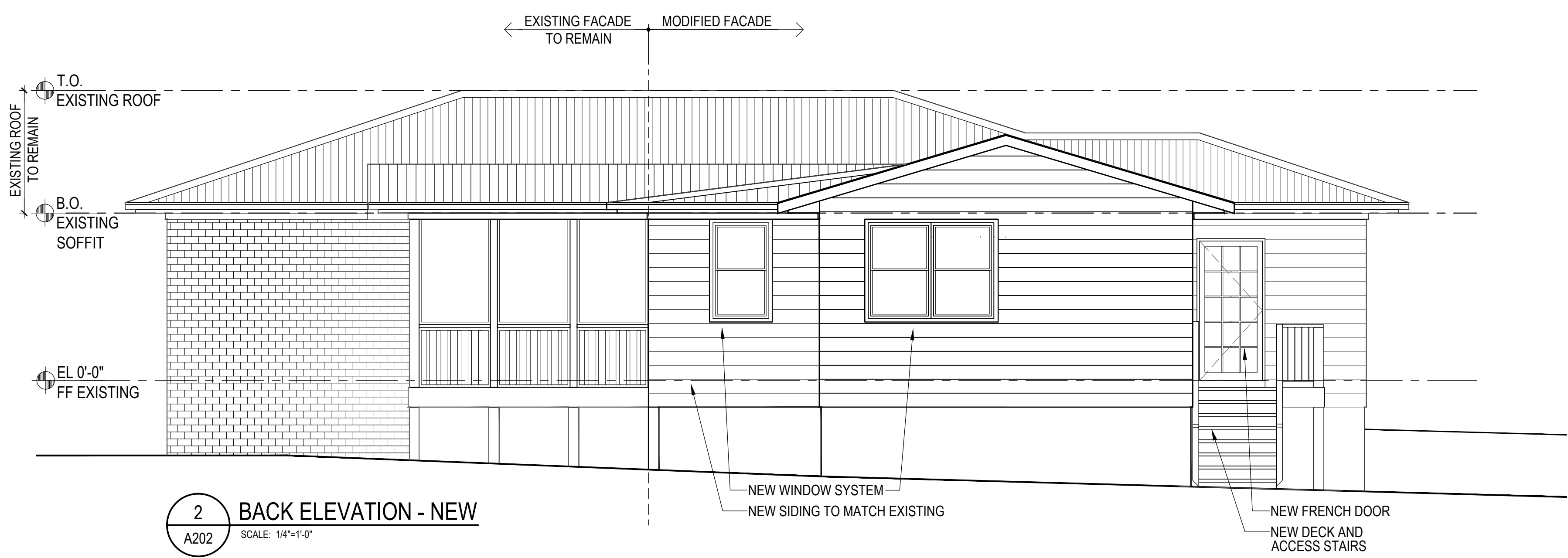
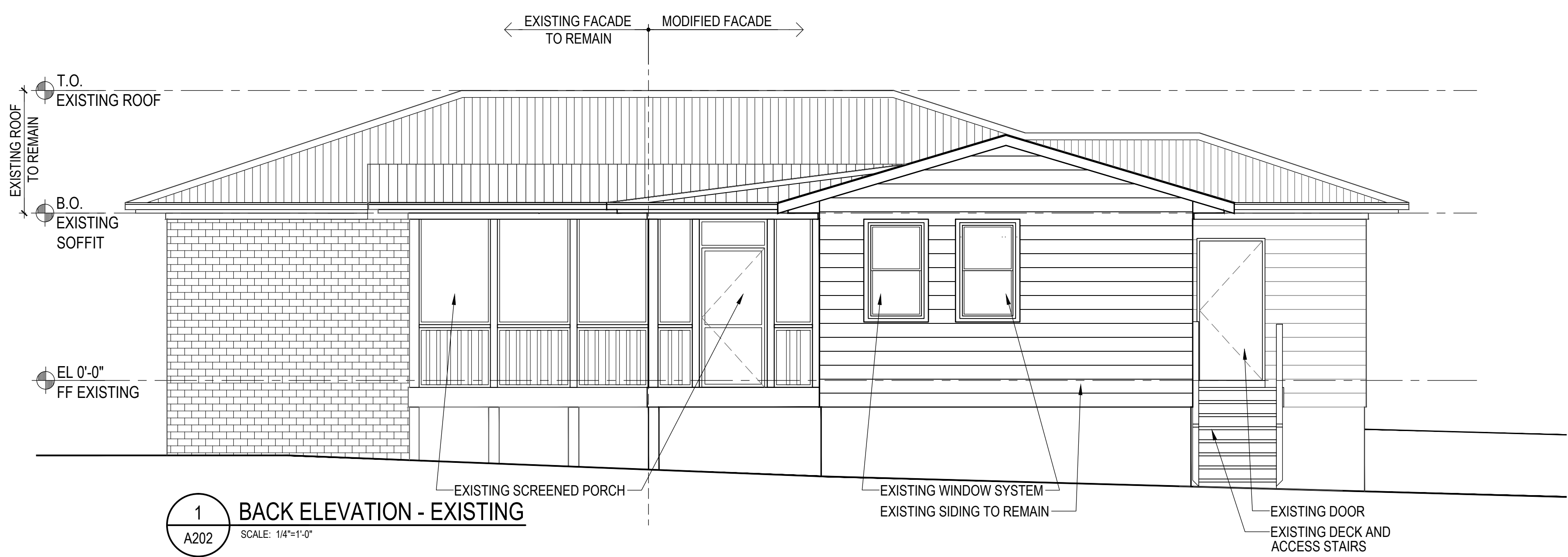
DRAWN: CAdeO  
 CHECKED: CAdeO  
 DATE: February 27, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

Title:  
 EXTERIOR ELEVATIONS

Scale:  
 AS NOTED

Sheet:  
**A203**  
 of:





DESIGN DOCUMENTS FOR:  
**KYLE AND STACEY LUSK - HOME REMODELING**  
 1525 RIDGECREST ROAD NE, ATLANTA, GEORGIA 30307 - FULTON COUNTY



AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.

**KYLE AND STACEY LUSK**  
**HOME REMODELING**  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN: CAdeO  
 CHECKED: CAdeO  
 DATE: February 27, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

Title:  
**COVER PAGE**

Scale:  
 AS NOTED

Sheet:  
**A001**

of:

**DRAWING INDEX**

- A001 COVER PAGE
- A101 DEMOLITION FLOOR PLAN
- A102 NEW FLOOR PLAN
- A103 RCP AND POWER PLAN
- A201 LARGE PLAN, ELEVATION AND SECTIONS
- A202 EXTERIOR ELEVATIONS
- A203 EXTERIOR ELEVATIONS

**GENERAL NOTES**

1. DO NOT SCALE THESE DRAWINGS, DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF GYP BD, EDGE OF OPENING OR EDGE OF DOOR OPENING UNLESS NOTED OTHERWISE.
3. ALL ANGLES SHALL BE 90 DEGREES UNLESS NOTED OTHERWISE.
4. ALL CONCEALED WOOD BLOCKING TO BE FLAME RETARDANT TREATED.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL STATE AND LOCAL CODES.
6. A COPY OF THE APPROVED DRAWINGS MUST BE KEPT AT THE SITE AVAILABLE TO THE FIELD INSPECTOR.
7. CONTRACTOR IS RESPONSIBLE FOR PERMITS, INSPECTIONS AND CERTIFICATES.

**APPLICABLE CODES**

INTERNATIONAL BUILDING CODE (IBC)	2012 edition with Georgia Amendments
INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS	2012 edition
INTERNATIONAL MECHANICAL CODE (IMC)	2012 edition with Georgia Amendments
INTERNATIONAL FUEL GAS CODE (IFGC)	2012 edition with Georgia Amendments
INTERNATIONAL PLUMBING CODE (IPC)	2012 edition with Georgia Amendments
INTERNATIONAL FIRE CODE (IFC)	2012 edition with Georgia Amendments
NATIONAL ELECTRIC CODE (NEC)	2017 edition
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2009 edition with Georgia Supplements and Amendments

**SCOPE OF WORK NARRATIVE**

THE PROJECT CONSISTS ON THE COMPLETE REMODELING AN EXISTING SINGLE-FAMILY PRIVATE RESIDENCE. THE REMODELING WILL RECONFIGURE EXISTING SPACE AND ADD ADDITIONAL LIVING SPACE TO THE EXISTING UNIT, AS FOLLOWS:

- COMPLETE AND PARTIAL REMOVAL OF SELECTIVE INTERIOR PARTITIONS TO CREATE AN OPEN PLAN LAYOUT, AND CREATE CONNECTIONS, DOORS, AND WINDOWS TO IMPLEMENT THE NEW DESIGN.
- RELOCATION OF THE EXISTING LAUNDRY AREA.
- ADDITION OF A GUEST BATHROOM AND A NEW MASTER SUITE (BEDROOM, BATHROOM, AND MASTER CLOSET.)
- EXPANSION OF ONE OF THE EXISTING BATHROOMS.
- ADDITION OF NEW ENERGY EFFICIENT WINDOWS IN SELECTIVE LOCATIONS TO MATCH EXISTING.
- REMOVAL OF THE EXISTING KITCHEN MILLWORK AND INSTALLATION OF NEW MILLWORK IN A NEW CONFIGURATION.
- PARTIAL ENCLOSURE OF EXISTING DECK TO CREATE A NEW GUEST BEDROOM AND FAMILY ROOM.
- REMOVAL OF AN EXISTING SERVICE STAIRS AND WALKWAY AND REPLACEMENT WITH NEW SIDEWALK AND STAIRS TO BETTER WORK WITH THE NEW LAYOUT.

**BUILDING DATA**

PROJECT NAME:	KYLE AND STACEY LUSK - HOME REMODELING
PROJECT ADDRESS:	525 Ridgcrest Road NE, Atlanta, Georgia 30307
OCCUPANCY CLASSIFICATION (NFPA 101):	R-4 (Single Family Dwellings District)
OCCUPANCY TYPE:	Single Family Residential
OCCUPANCY SEPARATION:	N/A
TYPE OF CONSTRUCTION (PER IBCC 2012):	VB, Not Sprinklered
SPRINKLERED SYSTEM REQUIREMENTS/PROVISIONS:	N/A
ALLOWABLE/PROPOSED BUILDING AREA:	Allowable: Unlimited gsf - Proposed: 2,487 gsf
ALLOWABLE/PROPOSED BUILDING HEIGHT:	Allowable: 3-Stories - Proposed: 2-Stories
CALCULATED OCCUPANCY LOAD:	2,487 @ 200 gsf/person = 13
PLUMBING FIXTURES REQUIRED:	2 Lav., 1 WC, 1 Kitchen Sink, 1 Cloth Washer Connection
PLUMBING FIXTURES PROVIDED:	5 Lav., 4 WC, 2 Kitchen Sink, 1 Cloth Washer Connection

**PROJECT DIRECTORY**

**OWNER:**

**KYLE AND STACEY LUSK**  
 525 Ridgcrest Road NE  
 Atlanta, Georgia 30307.  
 Phone: (678) 923-2016  
 Stacey Lusk

**ARCHITECT:**

**AZCUNES ARCHITECTS**  
 3124 Parkridge Crescent  
 Atlanta, Georgia 30341  
 Phone: (770) 300-9711  
 Clara Azcunes de Ojeda, AIA



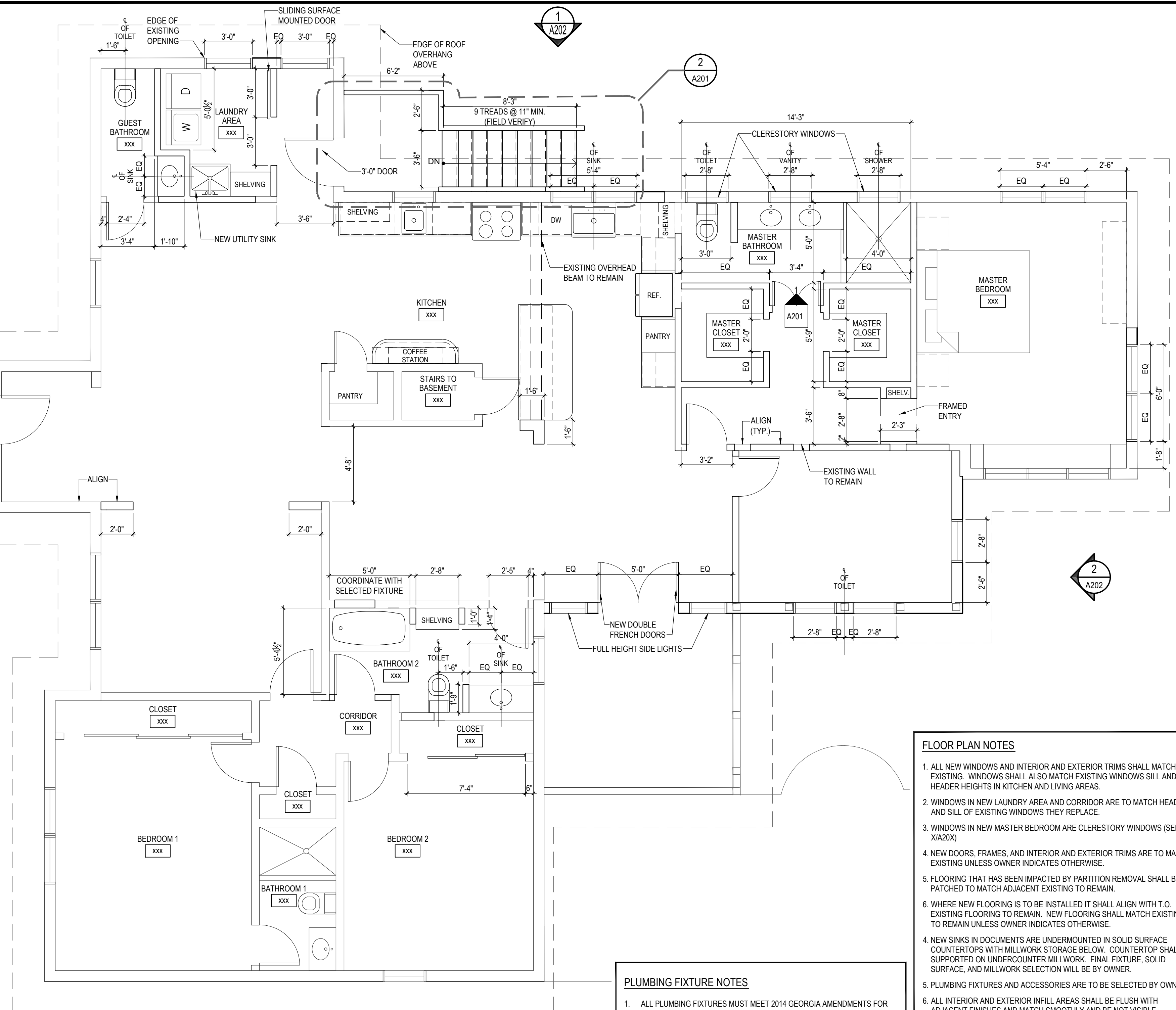


AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamble, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com

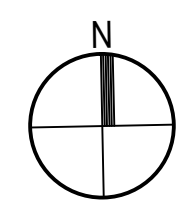


Revisions:	No.	Date
	1	CONSTRUCTION DOCS.

KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

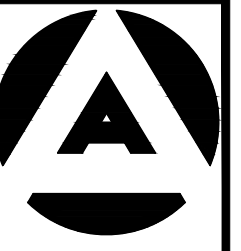


**1 FLOOR PLAN - NEW**  
 A102 SCALE: 1/4"=1'-0"



- PLUMBING FIXTURE NOTES**
- ALL PLUMBING FIXTURES MUST MEET 2014 GEORGIA AMENDMENTS FOR "HIGH EFFICIENCY" FIXTURES, AS FOLLOWS: WATER CLOSETS - 1.28 G.P.F., SHOWER HEADS - 2.5 G.P.M., SINK FAUCET - 2.0 G.P.M., AND LAVATORIES - 1.5 G.P.M.
  - PLUMBING FIXTURES AND ACCESSORIES WILL BE SELECTED BY OWNER.

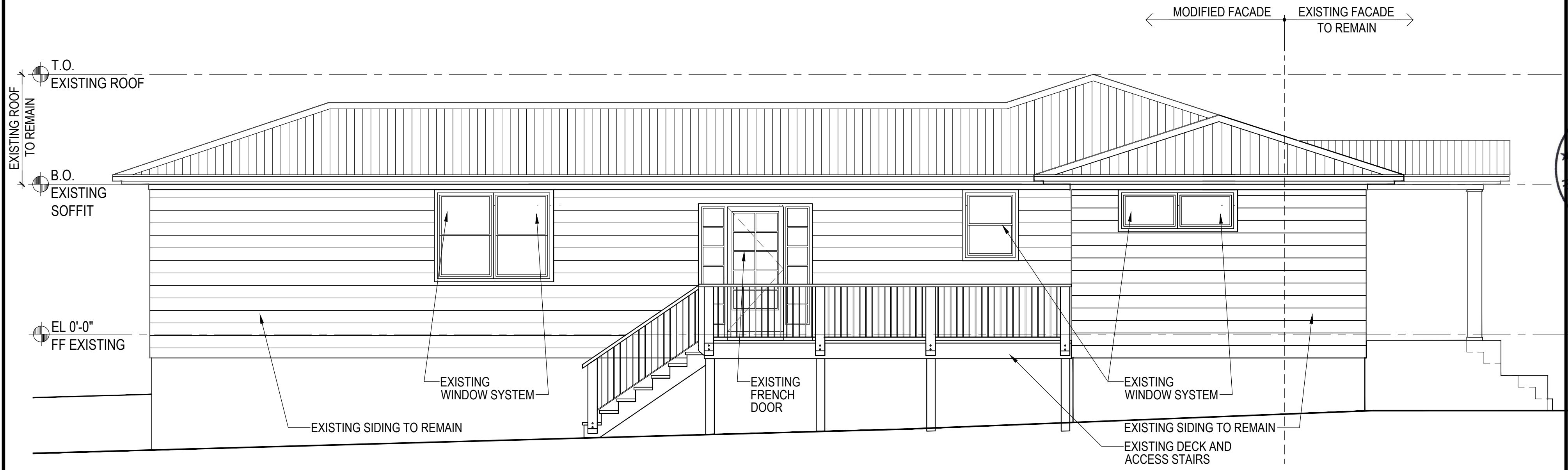
- FLOOR PLAN NOTES**
- ALL NEW WINDOWS AND INTERIOR AND EXTERIOR TRIMS SHALL MATCH EXISTING. WINDOWS SHALL ALSO MATCH EXISTING WINDOWS SILL AND HEADER HEIGHTS IN KITCHEN AND LIVING AREAS.
  - WINDOWS IN NEW LAUNDRY AREA AND CORRIDOR ARE TO MATCH HEADER AND SILL OF EXISTING WINDOWS THEY REPLACE.
  - WINDOWS IN NEW MASTER BEDROOM ARE CLERESTORY WINDOWS (SEE X/A20X)
  - NEW DOORS, FRAMES, AND INTERIOR AND EXTERIOR TRIMS ARE TO MATCH EXISTING UNLESS OWNER INDICATES OTHERWISE.
  - FLOORING THAT HAS BEEN IMPACTED BY PARTITION REMOVAL SHALL BE PATCHED TO MATCH ADJACENT EXISTING TO REMAIN.
  - WHERE NEW FLOORING IS TO BE INSTALLED IT SHALL ALIGN WITH T.O. EXISTING FLOORING TO REMAIN. NEW FLOORING SHALL MATCH EXISTING TO REMAIN UNLESS OWNER INDICATES OTHERWISE.
  - NEW SINKS IN DOCUMENTS ARE UNDERMOUNTED IN SOLID SURFACE COUNTERTOPS WITH MILLWORK STORAGE BELOW. COUNTERTOP SHALL BE SUPPORTED ON UNDERCOUNTER MILLWORK. FINAL FIXTURE, SOLID SURFACE, AND MILLWORK SELECTION WILL BE BY OWNER.
  - PLUMBING FIXTURES AND ACCESSORIES ARE TO BE SELECTED BY OWNER.
  - ALL INTERIOR AND EXTERIOR INFILL AREAS SHALL BE FLUSH WITH ADJACENT FINISHES AND MATCH SMOOTHLY AND BE NOT VISIBLE.
  - CAP ALL POWER AND CONTROL INFRASTRUCTURE LOCATED IN PARTITIONS TO BE COMPLETELY OR PARTIALLY REMOVED, OR RELOCATE TO WORK WITH NEW LAYOUT.



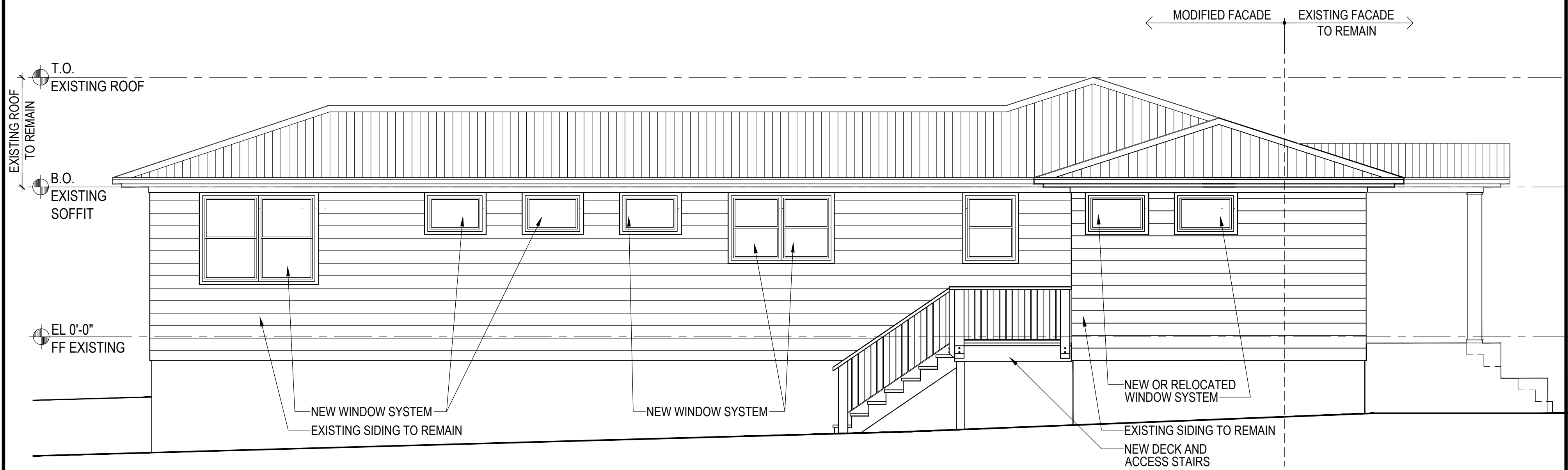
AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.



**1** SIDE ELEVATION - EXISTING  
 A202 SCALE: 1/4"=1'-0"



**2** SIDE ELEVATION - NEW  
 A202 SCALE: 1/4"=1'-0"

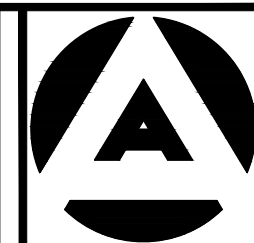
KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

DRAWN: CAdeO  
 CHECKED: CAdeO  
 DATE: February 27, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

Title:  
 EXTERIOR ELEVATIONS  
 Scale:  
 AS NOTED

Sheet:  
**A202**  
 of:



AZCUNES ARCHITECTS  
 3124 Parkridge Crescent  
 Chamblee, Georgia 30341  
 Phone: (770) 300-9711  
 E-mail:  
 aacontact@azcunesarchitects.com



Revisions:	
No.	Date
1	CONSTRUCTION DOCS.

KYLE AND STACEY LUSK  
 HOME REMODELING  
 525 Ridgcrest Road NE, Atlanta - Georgia 30307

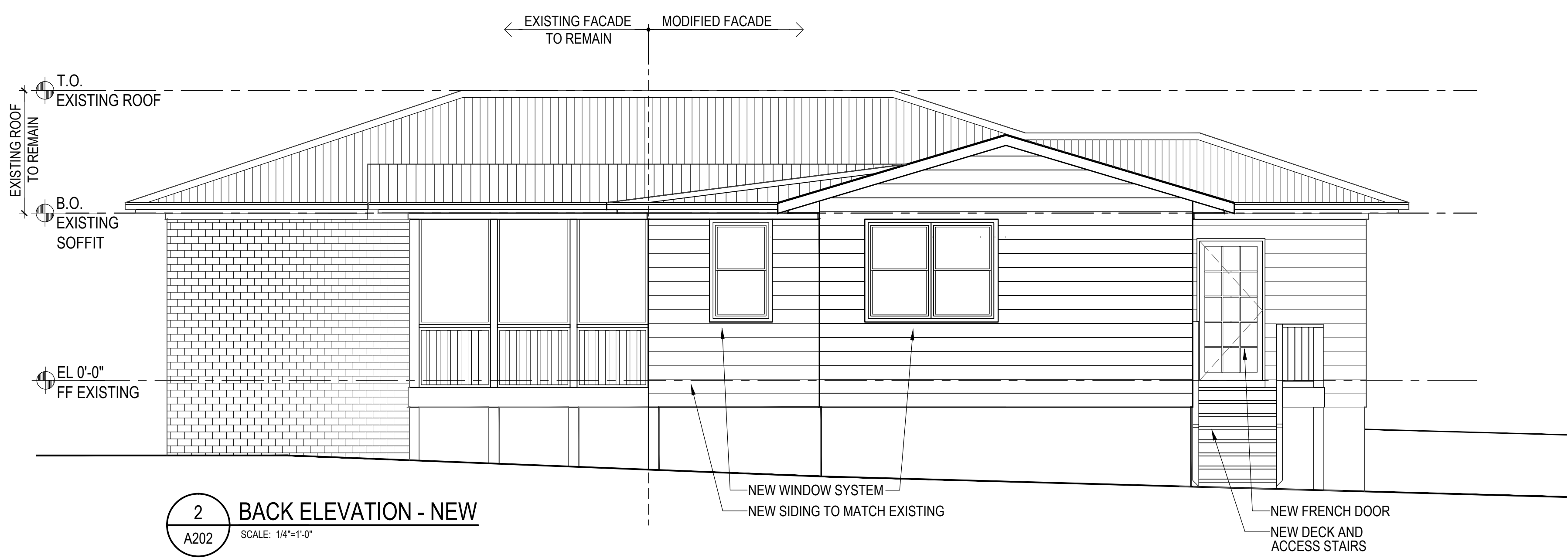
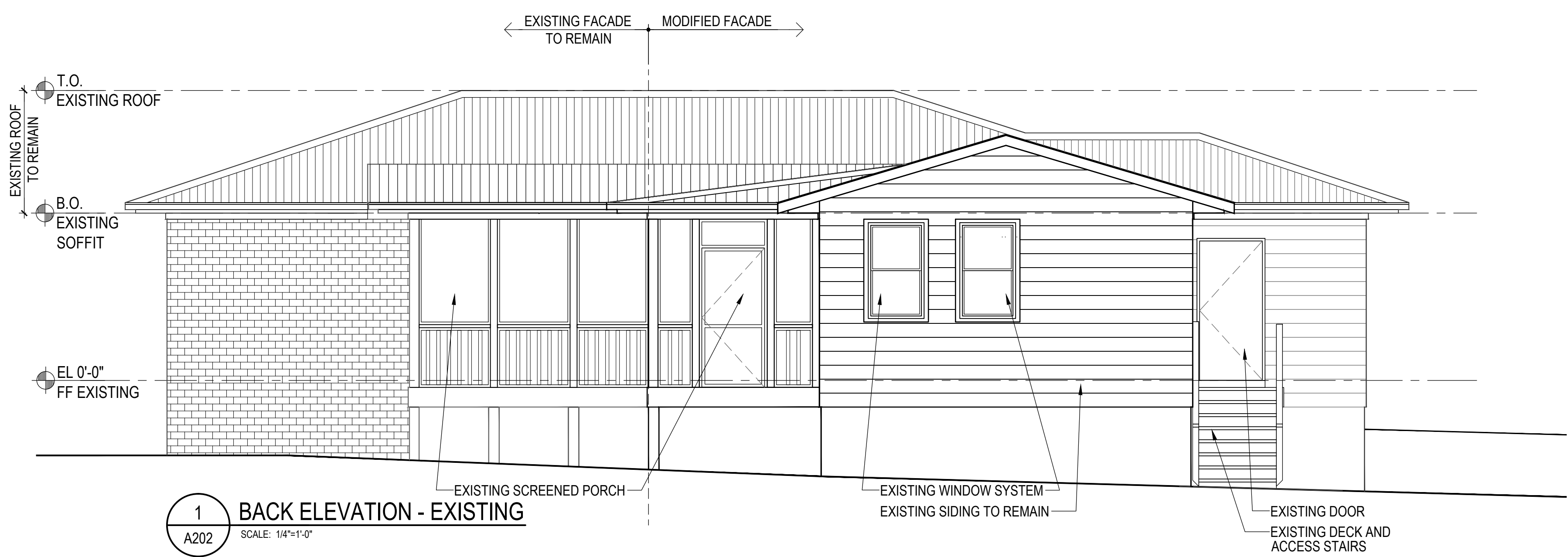
DRAWN: CAdeO  
 CHECKED: CAdeO  
 DATE: February 27, 2019  
 JOB No.: 18.017  
 ISSUE: FOR CONSTRUCTION

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, FOR ANY PURPOSES, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

Title:  
 EXTERIOR ELEVATIONS

Scale:  
 AS NOTED

Sheet:  
**A203**  
 of:





Clara Azcunes de Ojeda, AIA, LEED AP

---

## **AZCUNES ARCHITECTS**

3124 PARKRIDGE CRESCENT - CHAMBLEE, GEORGIA 30341

Ph: 770.300.9711

Cell: 678.478.7841

e-mail: [ClaraA@azcunesarchitects.com](mailto:ClaraA@azcunesarchitects.com)

ARCHITECTURE ♦ ADAPTIVE REUSE ♦ INTERIORS ♦ LEED  
PROGRAM MANAGEMENT ♦ CONSTRUCTION MANAGEMENT



Clara Azcunes de Ojeda, AIA, LEED AP

---

## **AZCUNES ARCHITECTS**

3124 PARKRIDGE CRESCENT - CHAMBLEE, GEORGIA 30341

Ph: 770.300.9711

Cell: 678.478.7841

e-mail: [ClaraA@azcunesarchitects.com](mailto:ClaraA@azcunesarchitects.com)

ARCHITECTURE ♦ ADAPTIVE REUSE ♦ INTERIORS ♦ LEED  
PROGRAM MANAGEMENT ♦ CONSTRUCTION MANAGEMENT



Clara Azcunes de Ojeda, AIA, LEED AP

---

## **AZCUNES ARCHITECTS**

3124 PARKRIDGE CRESCENT - CHAMBLEE, GEORGIA 30341

Ph: 770.300.9711

Cell: 678.478.7841

e-mail: [ClaraA@azcunesarchitects.com](mailto:ClaraA@azcunesarchitects.com)

ARCHITECTURE ♦ ADAPTIVE REUSE ♦ INTERIORS ♦ LEED  
PROGRAM MANAGEMENT ♦ CONSTRUCTION MANAGEMENT







