



DeKalb County
GEORGIA

404.371.2155 (o)
404.371.4556 (f)
DeKalbCountyGa.gov

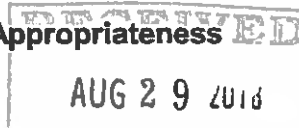
Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness



Date Received: _____ Application No.: _____

Address of Subject Property: 957 BOWEN CLIFF RD. ATLANTA GA 30306

Applicant: HAROLD WHITE E-Mail: HAROLD216@GMAIL.COM

Applicant Mailing Address: 162 SIMCOX ST. WILSONVILLE, OH 44281

Applicant Phone(s): 404-916-9164 Fax: _____

Applicant's relationship to the owner: Owner ☒ Architect ☐ Contractor/Builder ☐ Other ☐

Owner(s): HAROLD WHITE w/ ELLYNOR B. PROPERTIES E-Mail: HAROLD216@GMAIL.COM

E-Mail: _____

Owner(s) Mailing Address: 162 SIMCOX ST. WILSONVILLE, OH 44281

Owner(s) Telephone Number: 404-916-9164

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 2015 - 4 YEARS OLD.

Nature of work (check all that apply):

New construction ☒ Demolition ☒ Addition ☒ Moving a building ☐ Other building changes ☐
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐
Sign installation or replacement ☐ Other ☐

Description of Work:

THIS PROJECT WILL BE DEMOLISHING THE EXISTING STRUCTURE EXCEPT FOR THE FOUNDATION. THERE WILL BE TWO STORIES BUILT ON THE EXISTING FOUNDATION. WE WILL BE MAINTAINING ALL EXTERIOR MATERIALS THAT IS CONSIDERED AS THE EXISTING ARCHITECTURE. THE AREA BEHIND EXTERIOR @ ALL SIDES WILL BE ASPHALT SINGLE ROOF.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide nine (9) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide nine (9) collated sets on paper no larger than 11" x 17" and one (1) additional set at scale. All documents submitted in hard copy must also be submitted in digital form (pdf format). An application without both the paper and digital forms, or which lacks any of the required attachments, shall be considered incomplete and will not be accepted.

Harold White

Signature of Applicant/Date

Revised 8/26/2019



LANDSCAPE ARCHITECTURE/SITE PLANNING
2029 Barbary Drive, Buford, Georgia 30519
Phone: 404 234-1026
email: mcmastersdesign@gmail.com
website: mcmastersdesign.com

57 BRIARCLIFF ROAD
CITY OF ATLANTA
Land Lot 1 District 18
FULTON COUNTY, GA

SIGNED / SEALED

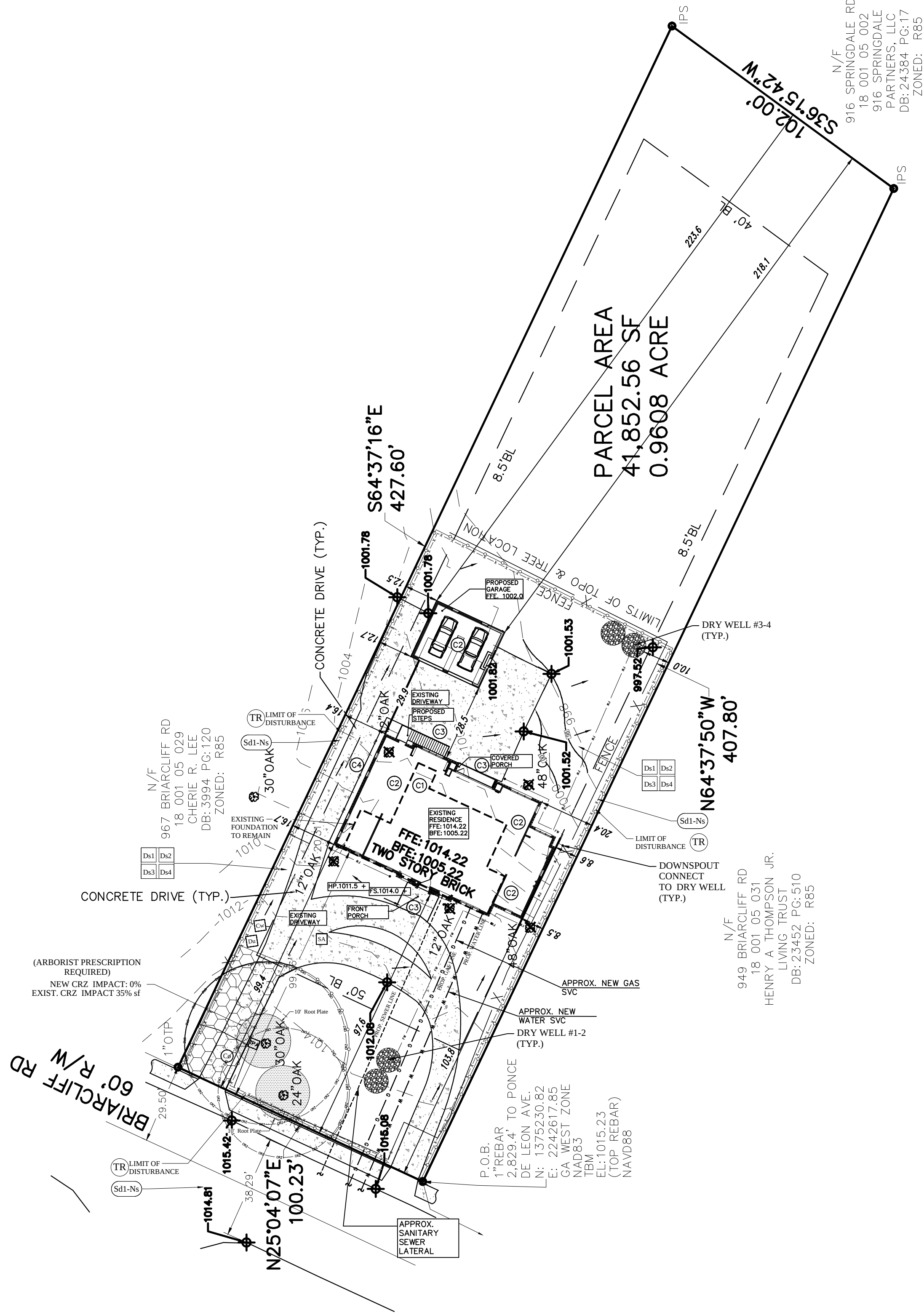
DATE		REVISION	
No.			
FOR CONSTRUCTION			
Date:	7/30/2019		
Scale:			
Job No.:	19-1046		
Drawn By:	MCM		
Reviewed By:	MCM		
Sheet:	EC-1		
OF 5			

1. ALL SILT FENCE SHALL BE TYPE C.
2. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
3. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL.
4. SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
5. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
6. ALL LOTTS WITH FIFT (5) FT. OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
7. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
8. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
9. TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO 1) AND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
10. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
11. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
12. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
13. NO GRADESLOPES SHALL EXCEED 2H:1V AND SHALL SLOPE AWAY FROM BUILDING.
14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
15. ANY LOT LEFT IDLE FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
16. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY.
17. SILT FENCE SHALL MEET REQUIREMENTS OF SECTION 171 - TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION.
18. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY: 7:00AM - 7:00PM
SATURDAY: 8:00AM - 5:00PM
19. ALL EXISTING NATURAL FILL TO BE CLEARED, STRIPPED AND FREE OF TOPSOIL, ROOTS, STUMPS, AND ALL OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL TO BE CLEAN FROM ORGANICS AND ALL OTHER DELETERIOUS MATERIAL. FILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DENSITY AND TO WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT OR BY THE PROJECT GEOTECHNICAL ENGINEER. ALL FILL SOILS TO BE PLACED UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER. DOCUMENTATION OF COMPACTION TESTING SHALL BE PROVIDED TO LAND DISTURBANCE ACTIVITY INSPECTOR FOR ALL EROSION AND SEDIMENTATION CONSTRUCTION IN RIGHT-OF-WAY (INCLUDING DECELERATION LANE) CONTACT LAND DISTURBANCE ACTIVITY INSPECTOR PRIOR TO CONSTRUCTION FOR FURTHER TESTING REQUIREMENTS.
20. FAILURE OF THE CONTRACTOR TO PERFORM THE PRESCRIBED EROSION CONTROL PRACTICES SHALL RESULT IN THE IMMEDIATE ISSUANCE OF A STOP-WORK ORDER FOR THE PROJECT SITE.
21. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE THE RESPONSIBILITY OF THE OWNER.
22. ALL DISTURBED AREAS MUST BE VEGETATED WITHIN 14 DAYS OF FINAL GRADE.
23. ALL FILL SLOPES SHALL HAVE SILT FENCE AT THE TOE OF THE SLOPE.
24. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
25. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED TO CONTROL EROSION OR TREAT THE SEDIMENT SOURCE.
26. THE CONTRACTOR SHALL REMOVE SEDIMENT ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE SILT FENCE USED FOR EROSION CONTROL.
27. MAXIMUM CUT OR FILL SLOPES ARE 2 HORIZONTAL: 1 VERTICAL.
28. ANY DISTURBED AREA LEFT EXPOSED FOR 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
29. ALL CONSTRUCTION MATERIAL SHALL BE PROPERLY STORED, PREVENT TRACKING OR FLOW OF MUD/ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND. (ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM MUST BE REMOVED IMMEDIATELY BY SWEEPING.)
30. THE OWNER WILL MAINTAIN STORM WATER RUNOFF CONTROLS AT ALL TIMES. ADDITIONAL CONTROLS WILL BE INSTALLED IF DETERMINED NECESSARY BY CITY INSPECTION.
31. EROSION CONTROL SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOF PLATE OF EXISTING TREES.
32. AT LEAST ONE PERSON ON A PROJECT OR SITE MUST HAVE COMPLETED THE LEVEL 1A EROSION EDUCATION & TRAINING COURSE AND BE CERTIFIED BY GSWCC.
33. SUBCONTRACTORS MUST COMPLETE EITHER LEVEL 1A EROSION EDUCATION & TRAINING COURSE OR ATTEND SUBCONTRACTOR AWARENESS SEMINAR.
34. IF ANY CONTRACTOR OR EACH PHASE OF DEVELOPMENT SHALL BE COMPLIANT WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF ATLANTA TREE PROTECTION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
35. IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE CITY OF ATLANTA ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
36. LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAN FOR THAT PHASE, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE. CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.

1. BOUNDARY AND TOPOGRAPHIC INFORMATION BASED ON SURVEY BY GA PREMIER LAND SERVICES, INC. DATED 12-6-2018.
2. NO PORTION OF SUBJECT PROPERTY LIES WITHIN A DESIGNATED 100 YEAR FLOOD HAZARD AREA AS DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY PER F.I.R.M. PANEL NO.13089C0063J, effective on05/16/2013 .
3. CONTRACTOR SHALL ADJUST AND/OR REPLACE ALL EXISTING CURBS OR CURB AND GUTTER ALONG PROPERTY FRONTAGE TO A HEIGHT OF 6" ABOVE THE EXISTING PAVEMENT ELEVATION. ANY MISSING CURBS AND/OR GAPS RESULTING FROM DRIVEWAY RELOCATIONS WILL REQUIRE NEW CURBS TO BE INSTALLED TO MATCH EXISTING.
4. WHERE THE EXISTING RUNOFF LEAVES SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL ALSO LEAVE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
5. THE SUBJECT PROPERTY IS WITHIN 200' OF WATERS OF THE STATE REQUIRING STATE AND CITY STREAM BUFFERS.
6. CERTIFICATE OF ELEVATION FOR FINISHED HOUSE IS REQUIRED.

Co	CONSTRUCTION EXIT
Cw	CONCRETE WASHDOWN
C1	EXISTING HOUSE
C2	PROPOSED HOUSE ADDITION
C3	PROPOSED FRONT STOOP/ENCLOSED PORCH AND STEPS
C4	EXISTING DRIVE TO BE REMOVED AND REPLACED WHERE EXISTING DRIVE IS LOCATED
CW	CONCRETE WASHOUT DESIGNATED AREA
SA	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
Du	DUST CONTROL AREA AND WASH STATION
TPA	TPA PATH. NO MACHINERY ALLOWED IN THIS AREA. 8-10" OF MULCH AND 3/4" PLYWOOD. NO CONSTRUCTION ACTIVITY WITHIN THE S.R.P. (STRUCTURAL ROOT PLATE)

DS1	DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUFFICIENT GROWING PERIOD TO PREVENT SOIL EROSION AND RAINFALL IMPACT.
DS2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
DS3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
DS4	DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN $\pm 5\%$ AND PLANTED WITHIN 24 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.



1. Do not remove pavement until it is to be replaced.
2. Use hand machinery to remove pavement i.e. jack hammer.
3. No cut or fill of earth allowed within the critical root zone.
4. Level using 5/7 stone –do not compact soil.
5. Lay 6 mil plastic sheet before pouring concrete.

EXISTING
HOUSE - 1,692 SF
DRIVEWAY: 6,569 SF
STAIRS: 58 SF
REAR PORCH: 300 SF
TOTAL: 8,907 SF
IMPERVIOUS SURFACE: 21.2%

PROPOSED
HOUSE/GARAGE- 3,942 SF
DRIVEWAY: 8,811 SF
FRONT PORCH: 124 SF
REAR STEPS: 50 SF
REAR STEPS: 86 SF
TOTAL: 13,013 SF

NEW IMPERVIOUS AREA: 4,106 SF
IMPERVIOUS SURFACE: .31%

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED

CITY OF ATLANTA OFFICE OF BUILDINGS: (404) 330-6150
CITY OF ATLANTA INSPECTIONS: (404) 865-8400
CITY OF ATLANTA ARBORIST: (404) 330-6874
CITY OF ATLANTA ZONING: (404) 330-6175
FULTON COUNTY WATER AND SEWER: (404) 730-6830

PRIOR TO LAND DISTURBING ACTIVITIES,
THE CONTRACTOR SHALL
SCHEDULE A PRECONSTRUCTION MEETING WITH
THE AREA EROSION CONTROL INSPECTOR.

 **GSWCC** GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

MATTHEW C. MASTERS
Level II Certified Design Professional

CERTIFICATION NUMBER 0000079959

ISSUED: 03/14/2017 EXPIRES: 03/14/2020

WILLIE TARVER
INTENT DESIGNS
1040 WEST MARIETTA STREET, NW
ATLANTA, GEORGIA 30318
678-206-7170

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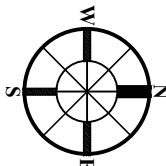
M.C.MASTERS DESIGN
2029 BARBERRY DRIVE
BUFORD, GA 30519
MATTHEW CHRISTIAN MASTERS PLA
770 831 8591
MCMASTERSDESIGN@GMAIL.com

GRANT SHEPHERD & ASSOCIATES
735 LONGLEAF BLVD, SUITE A
LAWRENCEVILLE, GA. 30046
770 418-923
gsasurveying.com

NO GRADED SLOPE
SHALL EXCEED 2H:1V



24 HOUR CONTACT
TARVER 770 490-2836



MAGNETIC
NORTH
SCALE: 1"=30'

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft

M.C. MASTERS DESIGN

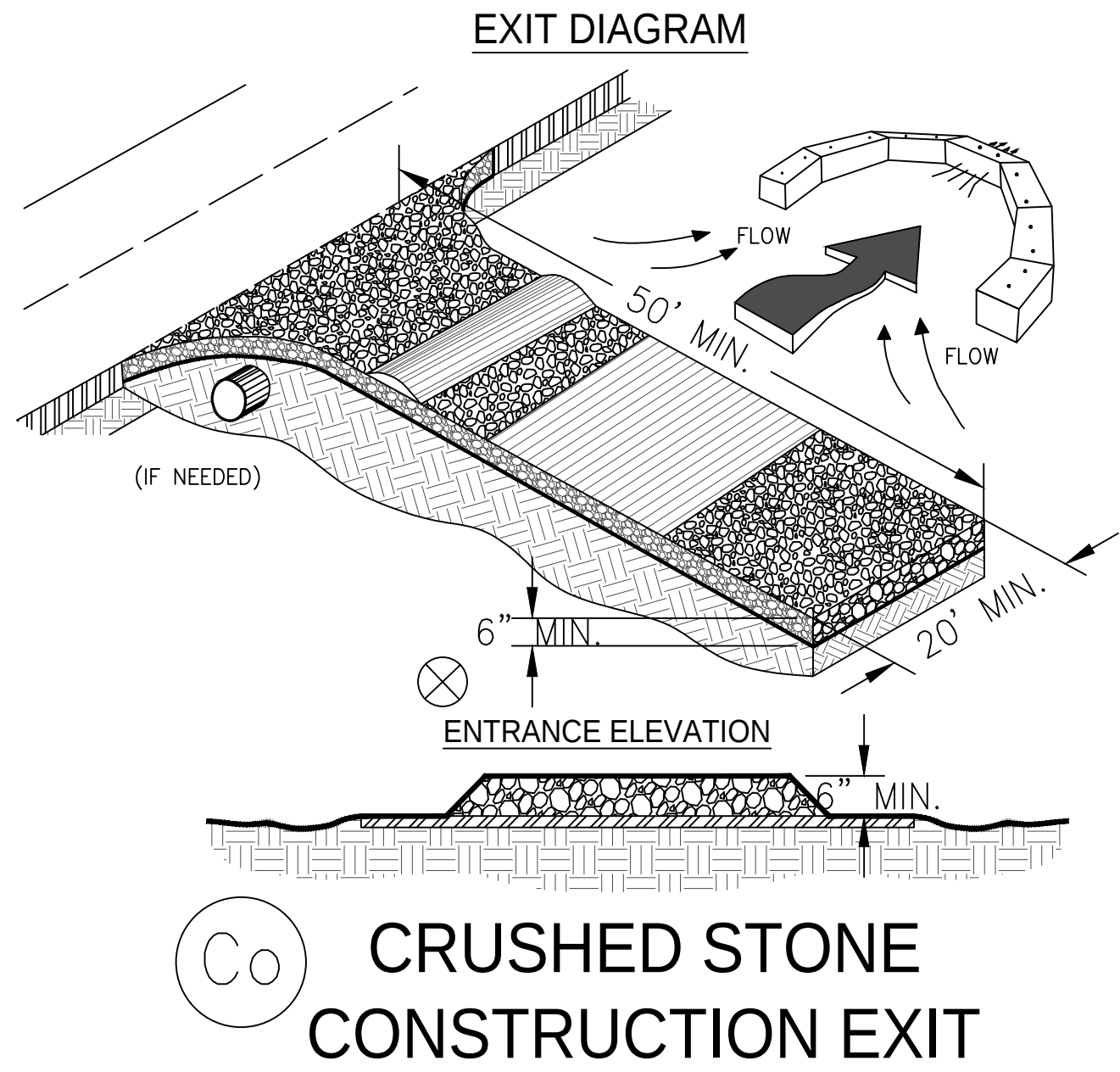
LANDSCAPE ARCHITECTURE/SITE PLANNING

2029 Barberry Drive, Buford, Georgia 30519
Phone: 404.234-1026
email: mcmastersdesign@gmail.com
website: mcmastersdesign.com

SITE PLAN
57 BRIARCLIFF ROAD
CITY OF ATLANTA
Land Lot 1 District 18
FULTON COUNTY, GA

SIGNED / SEALED

[illegible]



MULCHING ONLY Ds1

TEMPORARY PROTECTION OF CRITICAL AREAS WITHOUT SEEDING BY APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, NOT PRODUCED ON THE SITE, TO THE SOIL SURFACE. NITROGEN IN ADDITION TO THE NORMAL AMOUNT NEEDED FOR PLANT GROWTH TO OFFSET THE TIE OF NITROGEN USED BY THE DECOMPOSITION OF THE MULCH.

TEMPORARY GRASSING Ds2

TEMPORARY GRASSING SHALL CONSIST OF SOWING A QUICK GRASS SUCH AS RYE GRASS, BROWN TOP MILLET, OR A GRASS SUITABLE TO THE AREA AND SEASON. LIME AND FERTILIZER WILL BE OMITTED. MULCH IS NOT REQUIRED BUT SHOULD BE USED AS DICTATED BY EXISTING SITE CONDITIONS.

SPECIES	RATE	PLANTING DATE
RYE	40-50#/AC.	AUGUST THRU MARCH
BROWNTOP	30-40#/AC.	APRIL THRU JULY

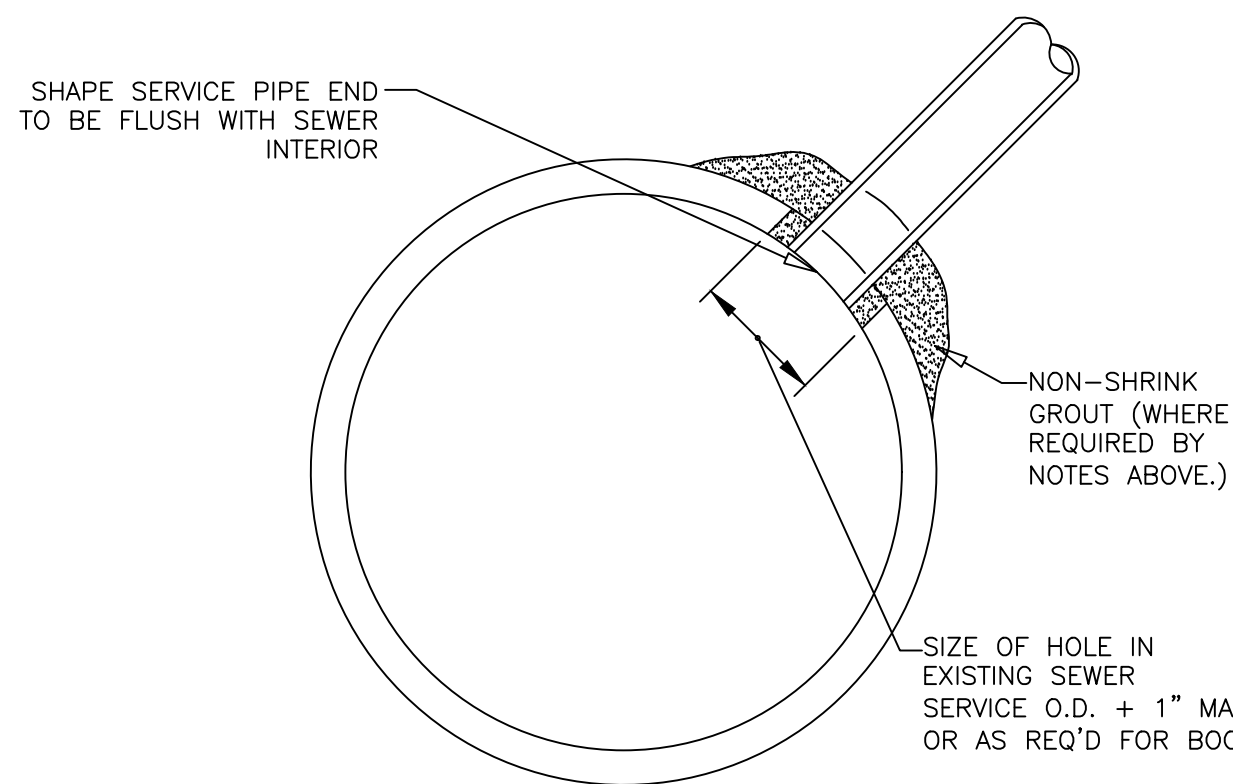
PERMANENT GRASSING: Ds3

PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, SEEDING, AND MULCHING. THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND - FERTILIZER AT A RATE OF 1500#/AC. AND LIME AT 1000#/AC. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM BEING FREE OF ROCKS, CLOUDS, ROOTS, ETC. FERTILIZER MIXED GRADE SHALL BE EITHER 4-12-12; 6-12-12 OR 5-10-15. SEEDING SHALL BE DONE WITHIN 24 HOURS OF THE FERTILIZER APPLICATION, WEATHER PERMITTING. SEED SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN BELOW. MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING APPROXIMATELY 25% OF THE GROUND SURFACE EXPOSED. THE RATE OF APPLICATION SHALL BE DOUBLED ON SIDE SLOPES 4:1 AND STEEPER.

SODDING ONLY Ds4

DISTURBED AREA STABILIZATION (WITH SODDING) SOD SELECTED SHOULD BE CERTIFIED. SOD GROWN IN THE GENERAL AREA OF THE PROJECT IS DESIRABLE.

- NOTE: 1.) HOLE IN EXISTING SEWER SHALL BE CORED.
2.) CONNECT SERVICE TO SEWER WITH:
- BOOT ON RCP SEWERS
- TAPPING SADDLE ON DIP SEWERS EQUAL TO AMERICAN OUTLET / TAPPING SADDLE WITH MECHANICAL JOINT OUTLET AND MINIMUM 3 STRAPS FOR SECURING
- TIGHTLY PACKED NON-SHRINK GROUT ON BRICK SEWERS
- BOOT OR TIGHTLY PACKED NON-SHRINK GROUT ON VCP SEWERS
- MANUFACTURED SADDLE ON PVC PIPE SEWERS



THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

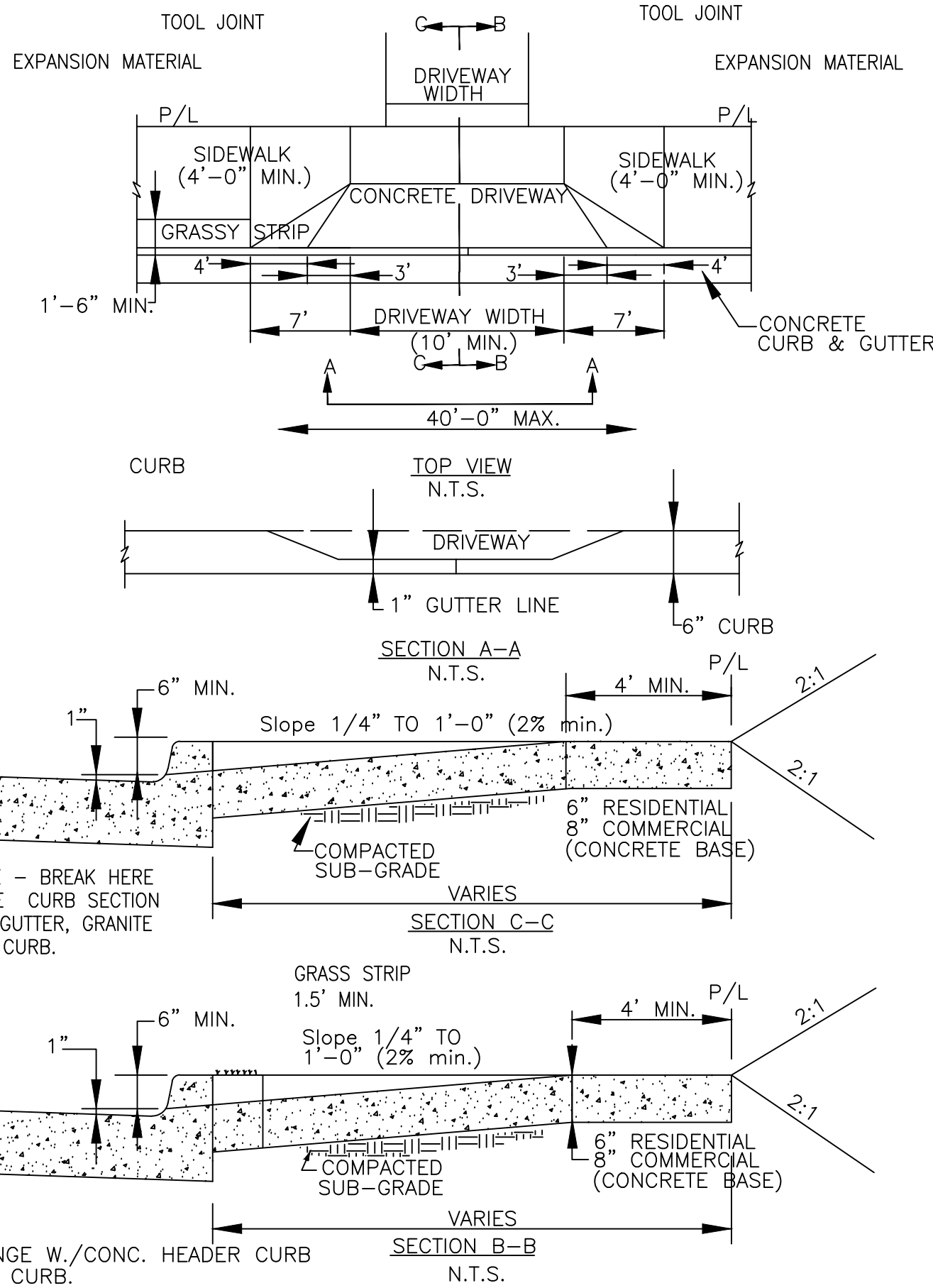


STANDARD DETAILS

REV. DATE: OCT. 2011
ORIG. DATE: NOV 2004
SCALE: N.T.S.

SERVICE CONNECTION

DETAIL NO. SS-G_SC003



NOTE: CAN EXCHANGE W./CONC. HEADER CURB OR GRANITE CURB.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.



STANDARD DETAILS

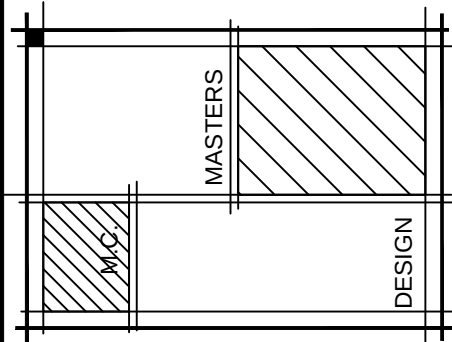
REV. DATE: SEPT 2011
ORIG. DATE: NOV 2004
SCALE: N.T.S.

STANDARD DRIVEWAY DETAIL

DETAIL NO. TR-B_DR005

M.C. MASTERS DESIGN

LANDSCAPE ARCHITECTURE / SITE PLANNING
2029 Barbary Drive, Buford, Georgia 30519
Phone: 404 234-1026
email: mcmastersdesign@gmail.com
website: mcmastersdesign.com



DETAIL SHEET
957 BRIARCLIFF ROAD
CITY OF ATLANTA
Land Lot 1 District 18
FULTON COUNTY, GA

SIGNED / SEALED



GSWCC CERTIFICATION NO. 0000079959

DATE:

REVISION

No.

FOR CONSTRUCTION

Date: 7/30/2019

Scale: NTS

Job No.: 19-1046

Drawn By: MCM

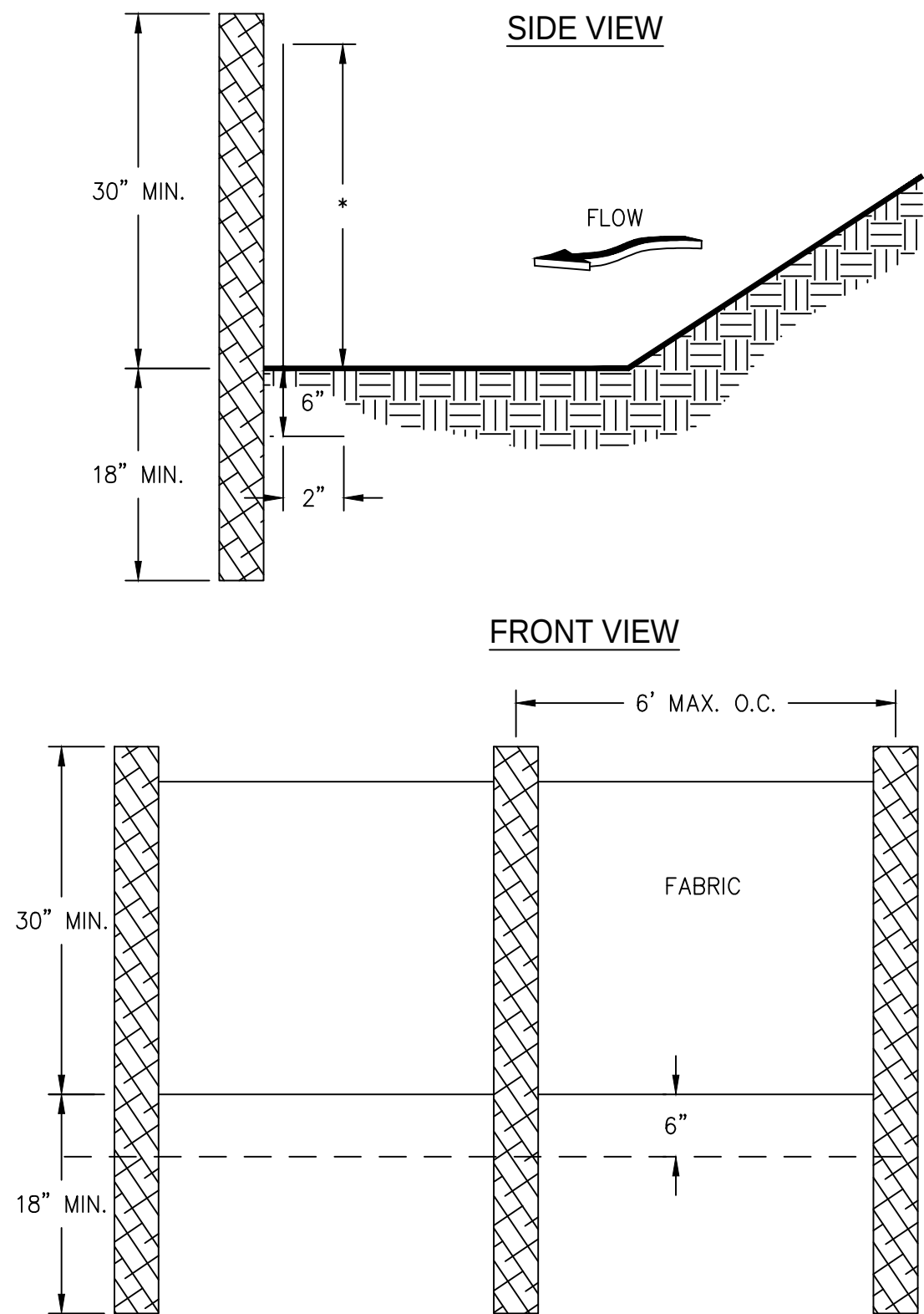
Reviewed By: MCM

Sheet:

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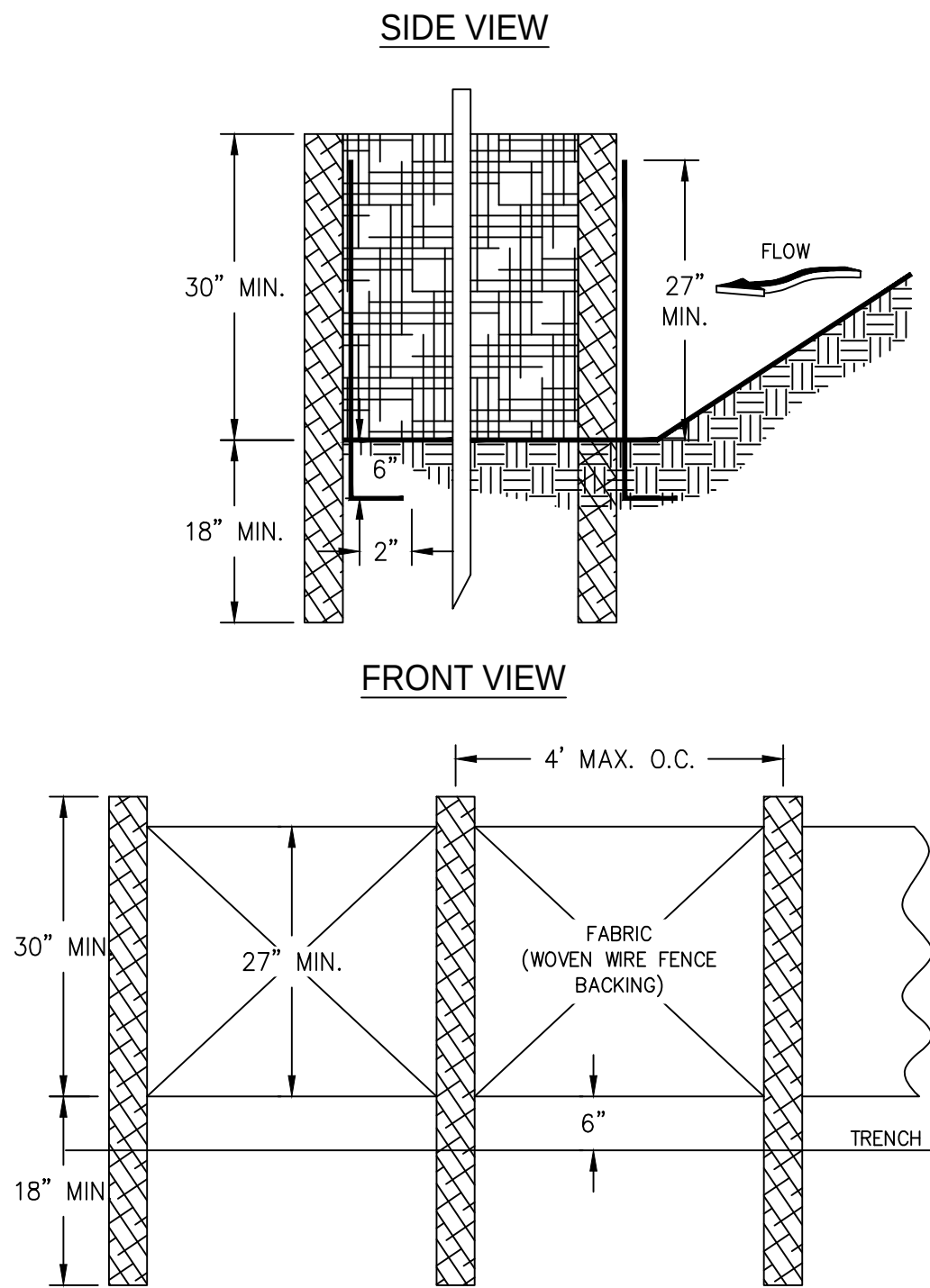
SILT FENCE - TYPE NON-SENSITIVE



- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SILT FENCE W/ HAY BALE- TYPE SENSITIVE

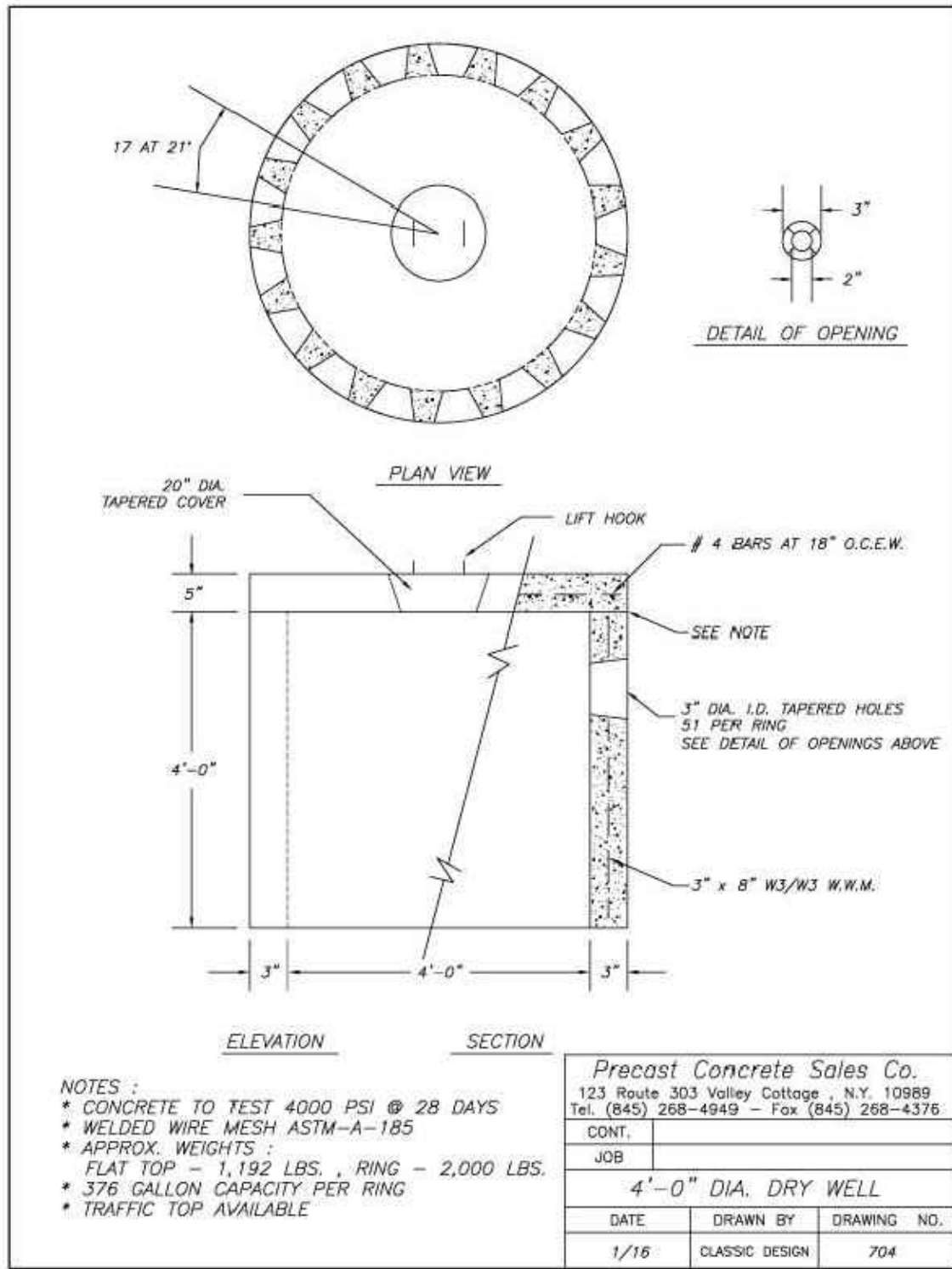
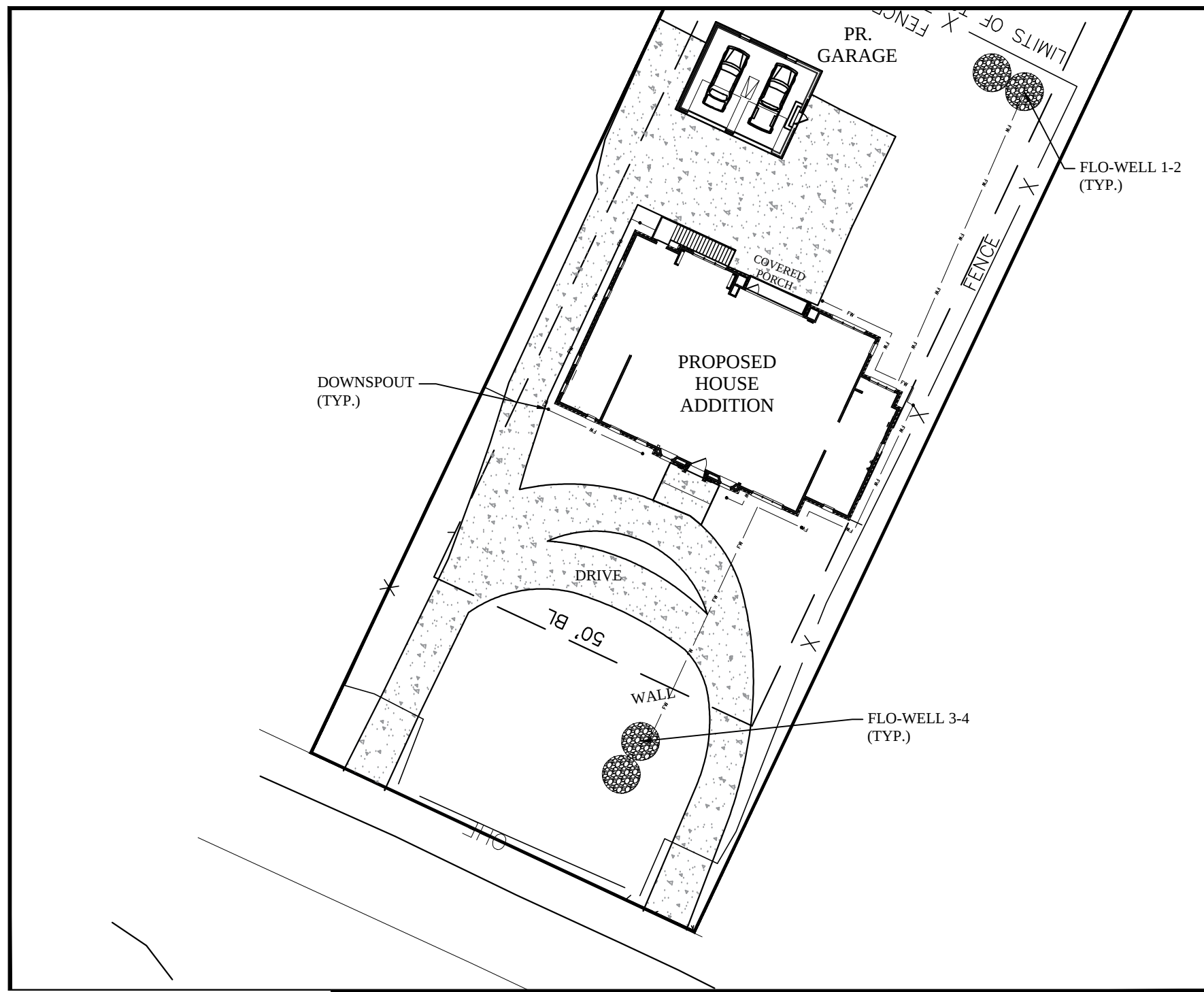
Sd1-H



- NOTES:
1. USE STEEL POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (27") IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 3. BALES SHOULD BE BOUND WITH WIRE OR NYLON STRING AND SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 4. REMOVE #4 REBAR AFTER STRAW BALES ARE NO LONGER IN PLACE.

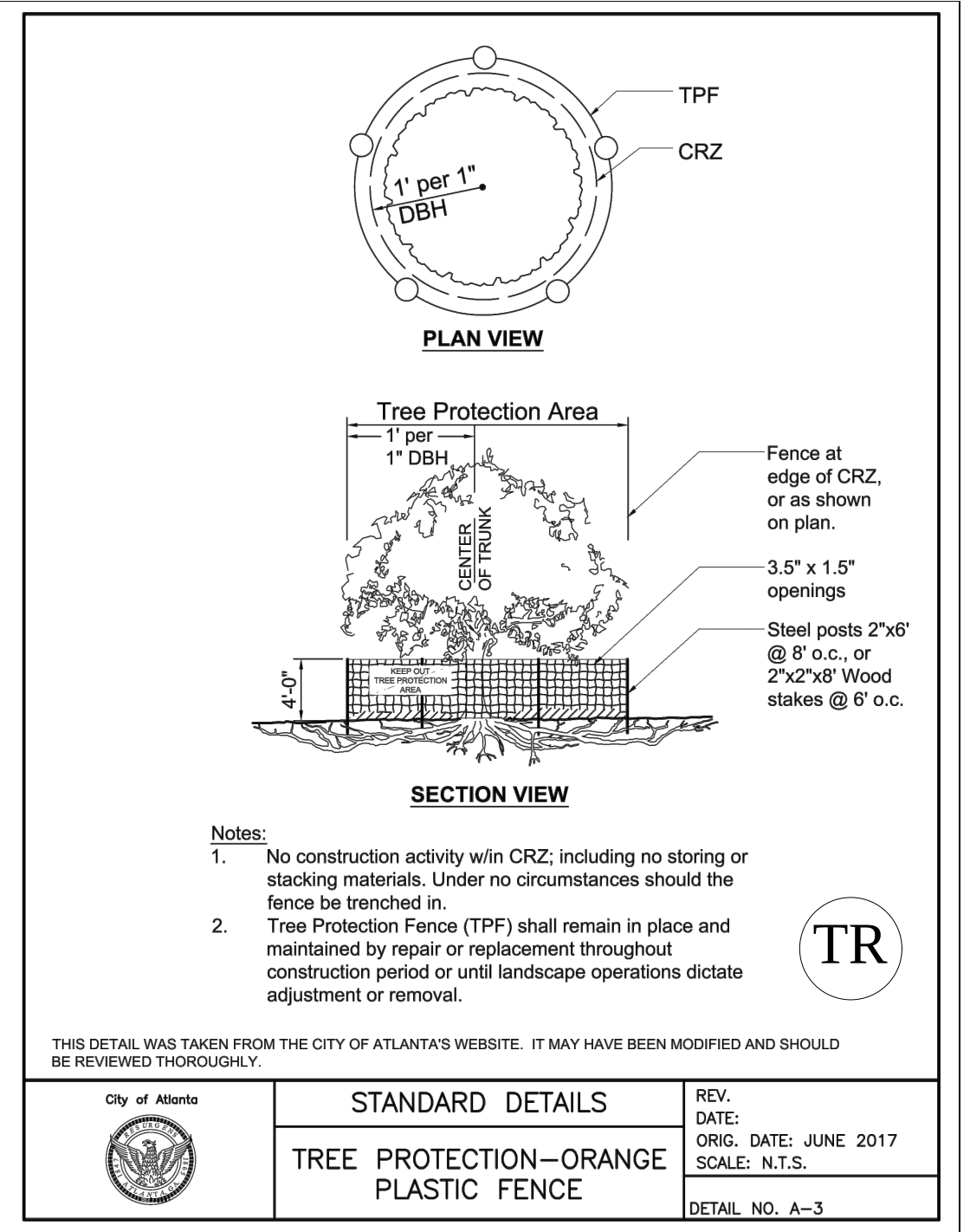
NOTES

1. WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
2. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
3. OVERFLOW FROM WATER QUALITY BMP(S) SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
4. MAINTENANCE: OPEN TOP AND CLEAN UP DEBRIS EVERY 6 MONTHS OR AFTER A MAJOR STORM EVENT.



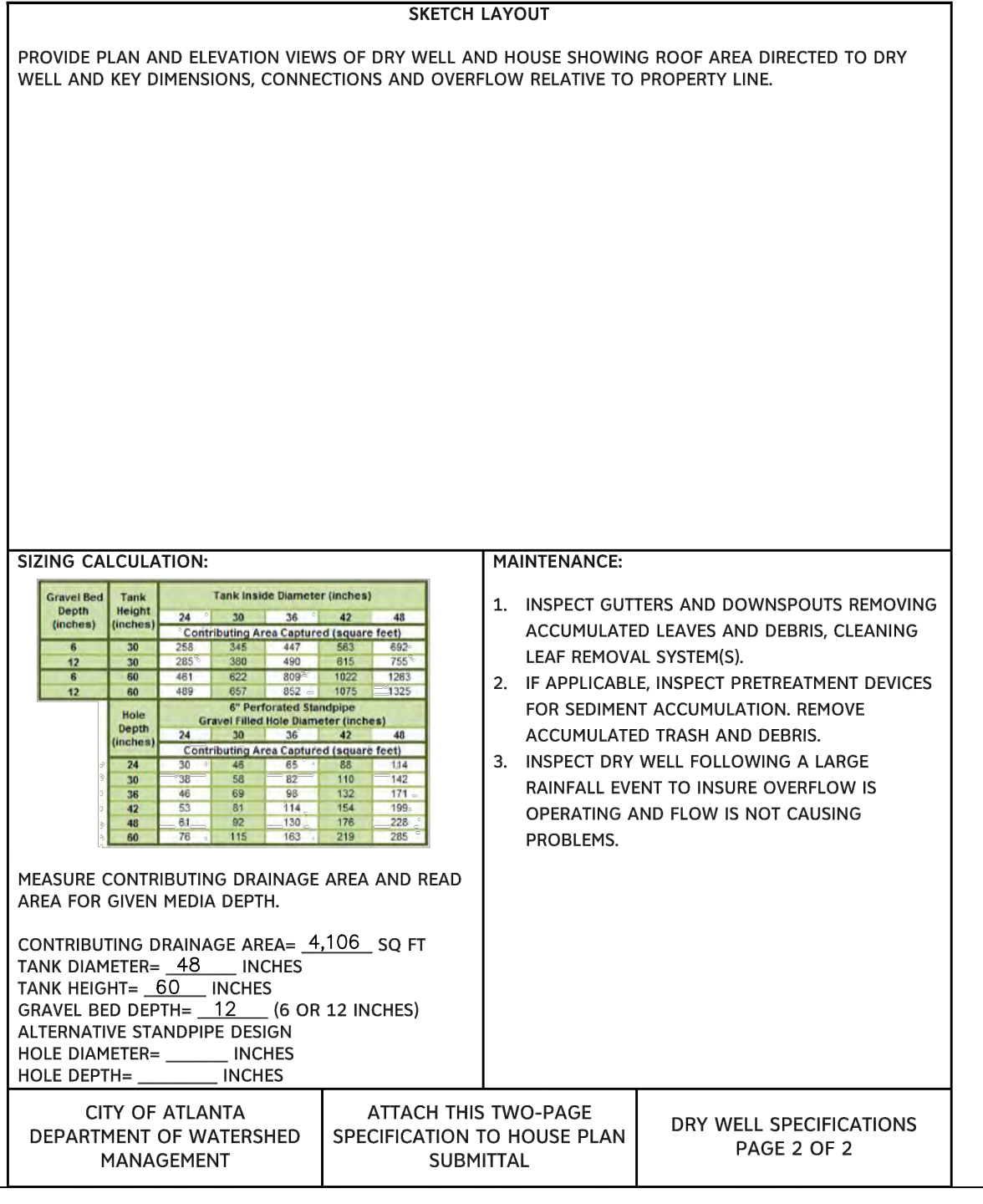
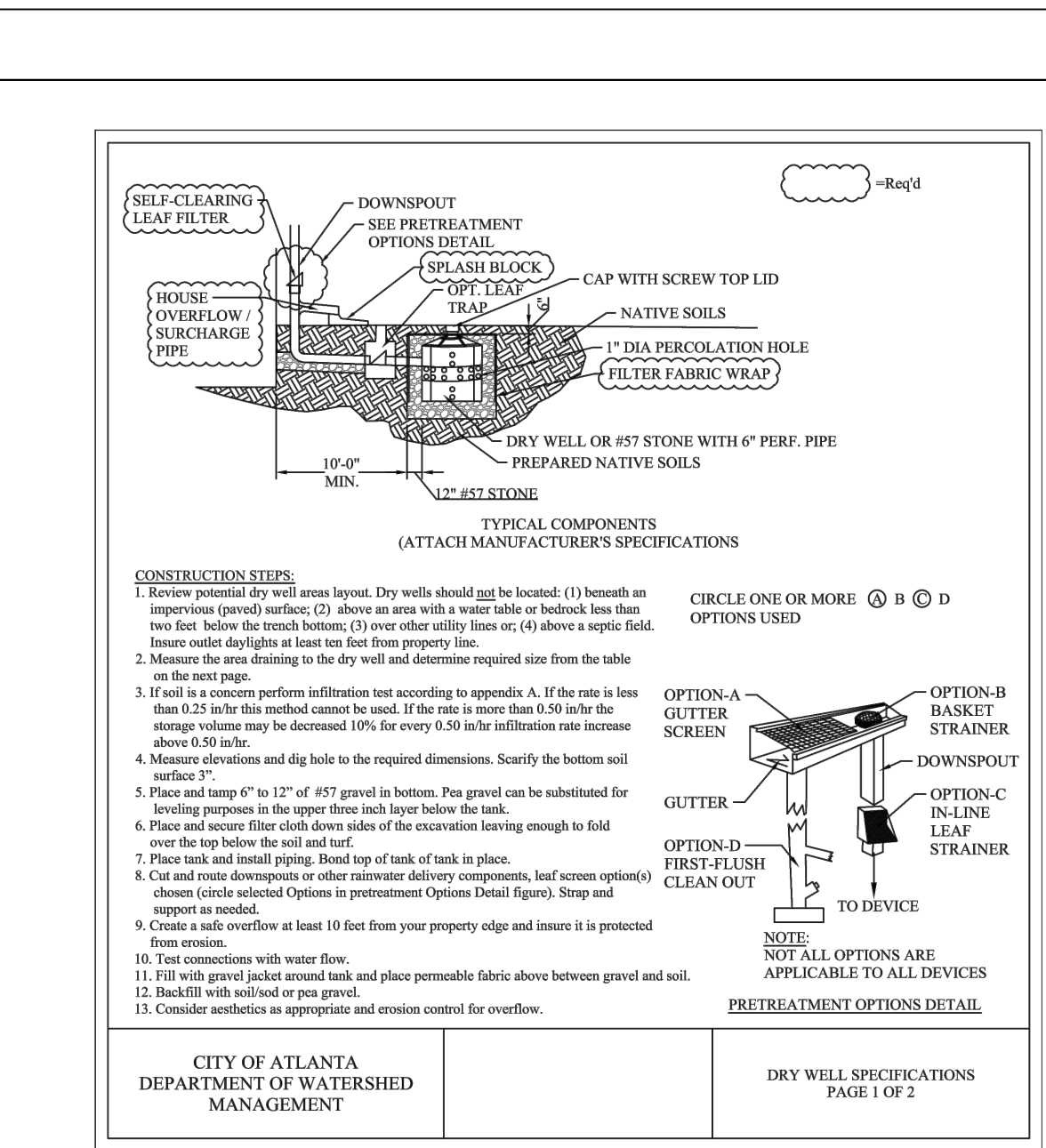
- NOTES :
- * CONCRETE TO TEST 4000 PSI @ 28 DAYS
 - * WELDED WIRE MESH ASTM-A-185
 - * APPROX. WEIGHTS :
 - * FLAT TOP - 1,192 LBS. / RING - 2,000 LBS.
 - * 376 GALLON CAPACITY PER RING
 - * TRAFFIC TOP AVAILABLE

Precast Concrete Sales Co.			
123 Route 303 Valley Cottage, N.Y. 10989			
Tel: (845) 268-4949 - Fax: (845) 268-4376			
CONT.			
JOB			
4'-0" DIA. DRY WELL			
DATE	DRAWN BY	DRAWING NO.	
1/18	CLASSIC DESIGN	704	



- Notes:
1. No construction activity w/in CRZ; including no storing or stacking materials. Under no circumstances should the fence be trenched in.
 2. Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

City of Atlanta		STANDARD DETAILS		REV. DATE:	
TREE PROTECTION-ORANGE PLASTIC FENCE				ORIG. DATE: JUNE 2017	
				SCALE: N.T.S.	
				DETAIL NO. A-3	



M.C. MASTERS DESIGN

LANDSCAPE ARCHITECTURE / SITE PLANNING
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website: mcmastersdesign.com

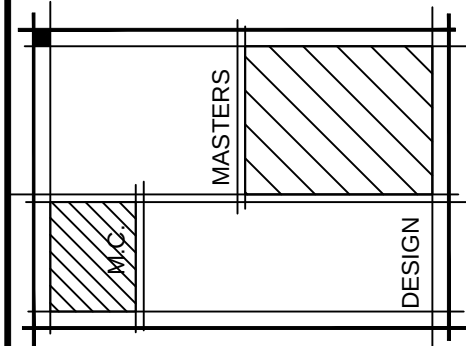
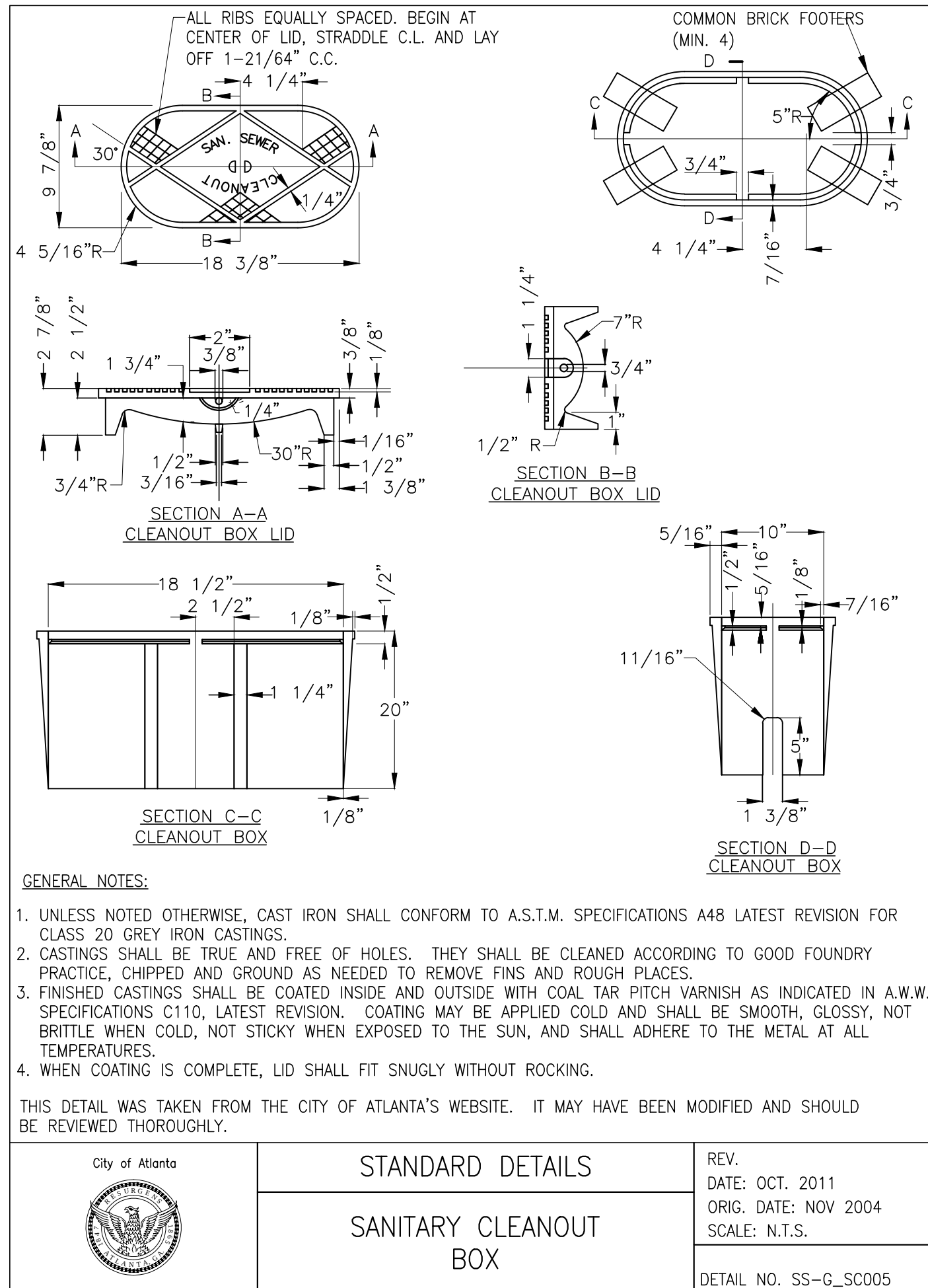
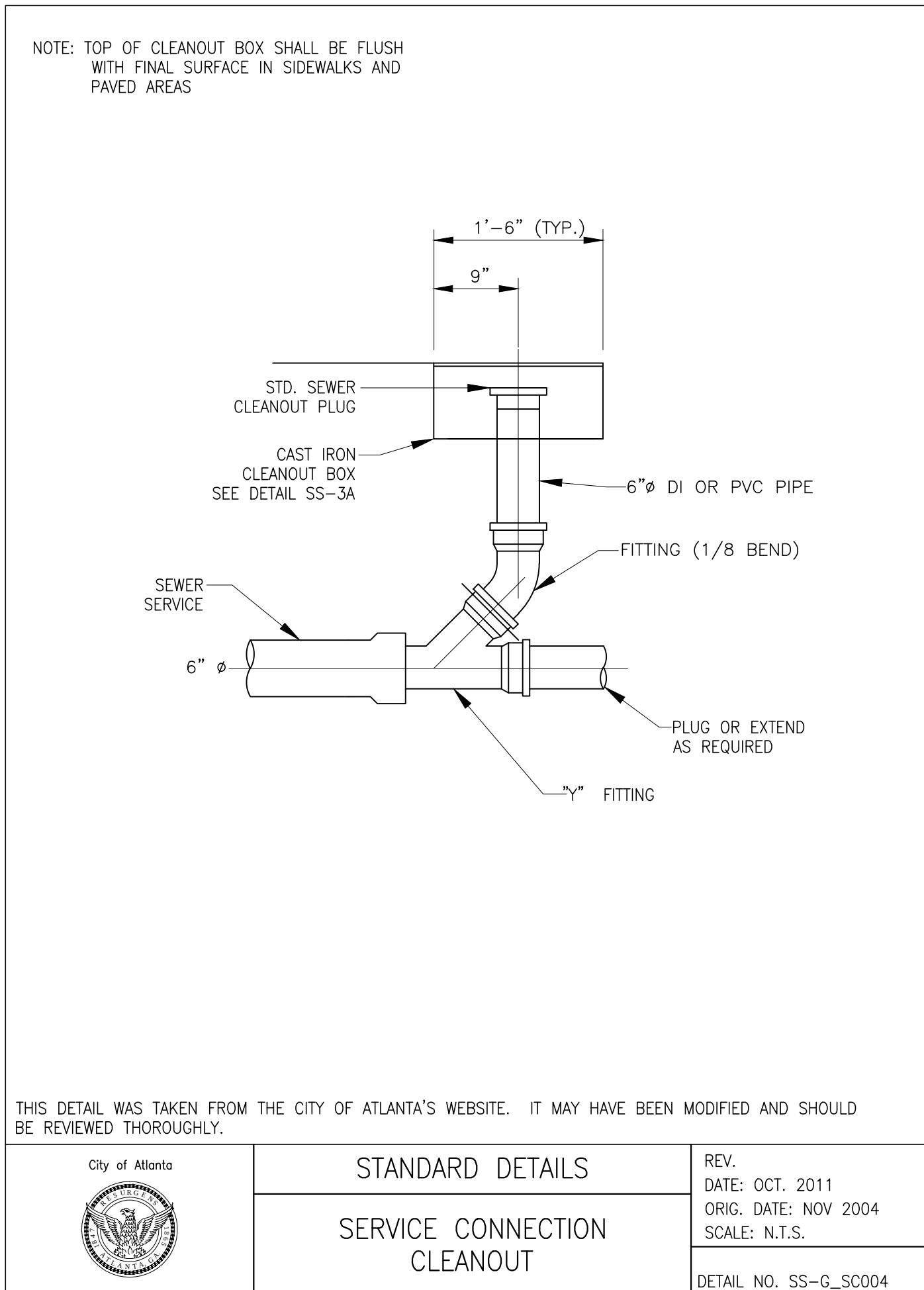
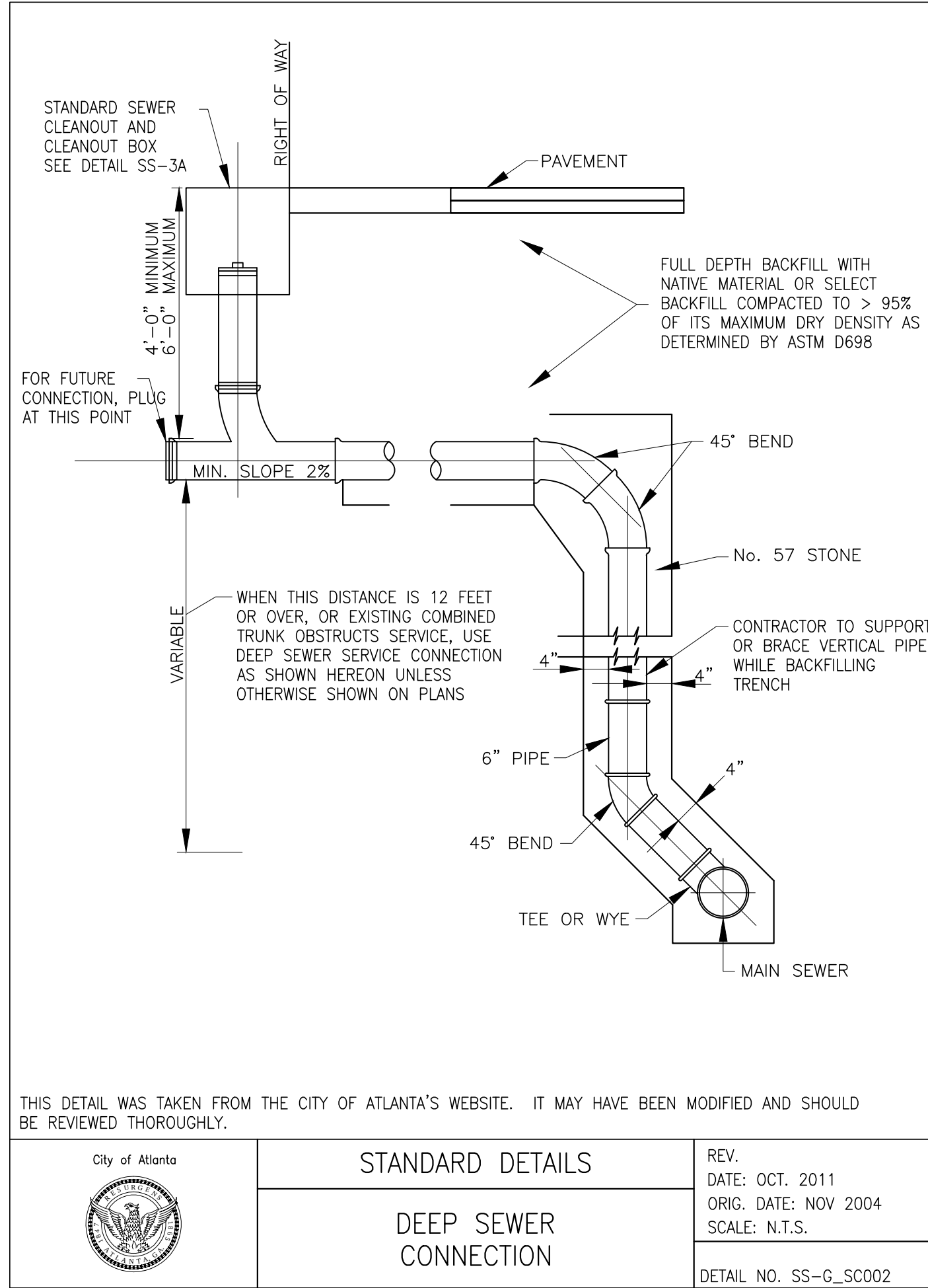
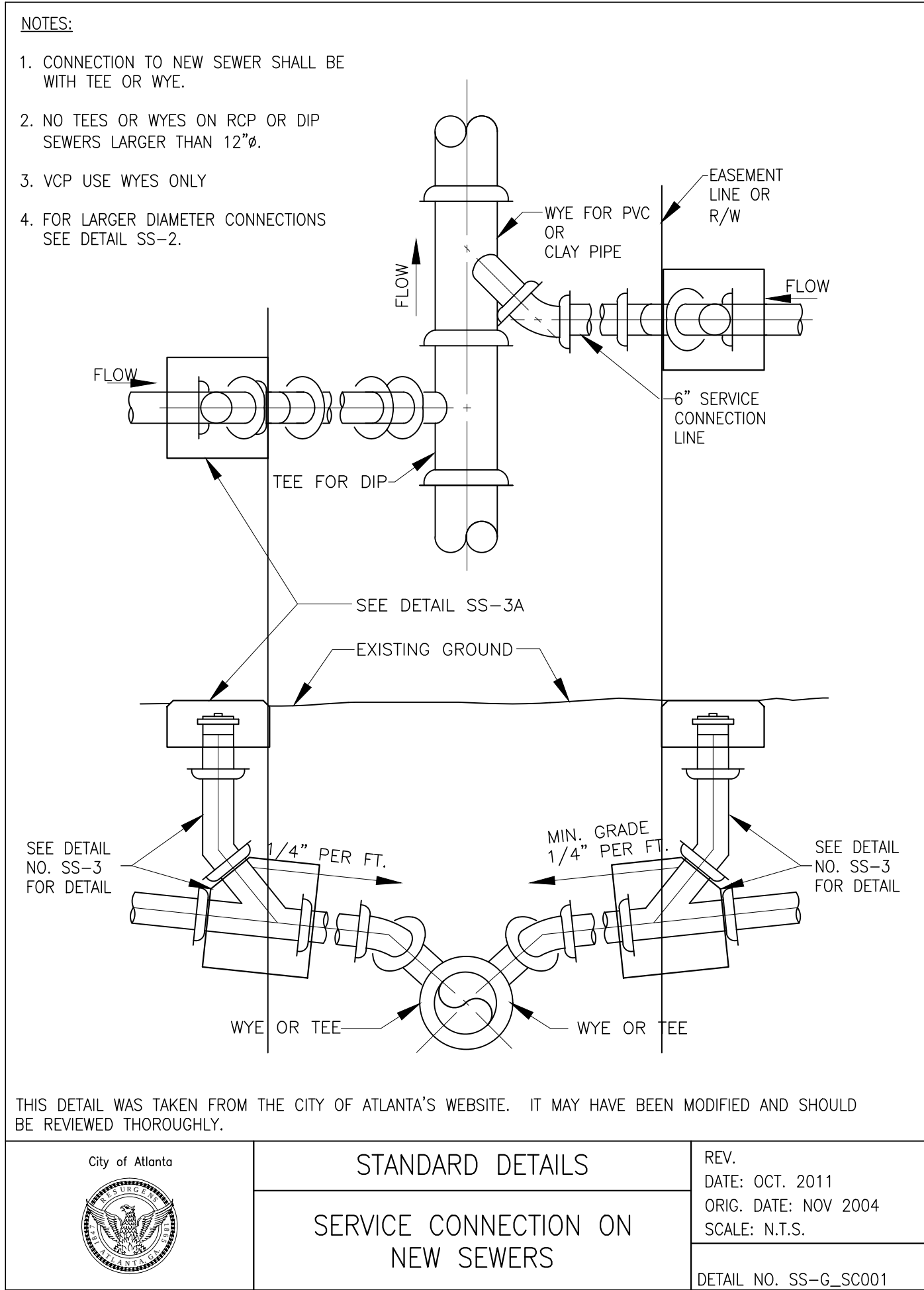
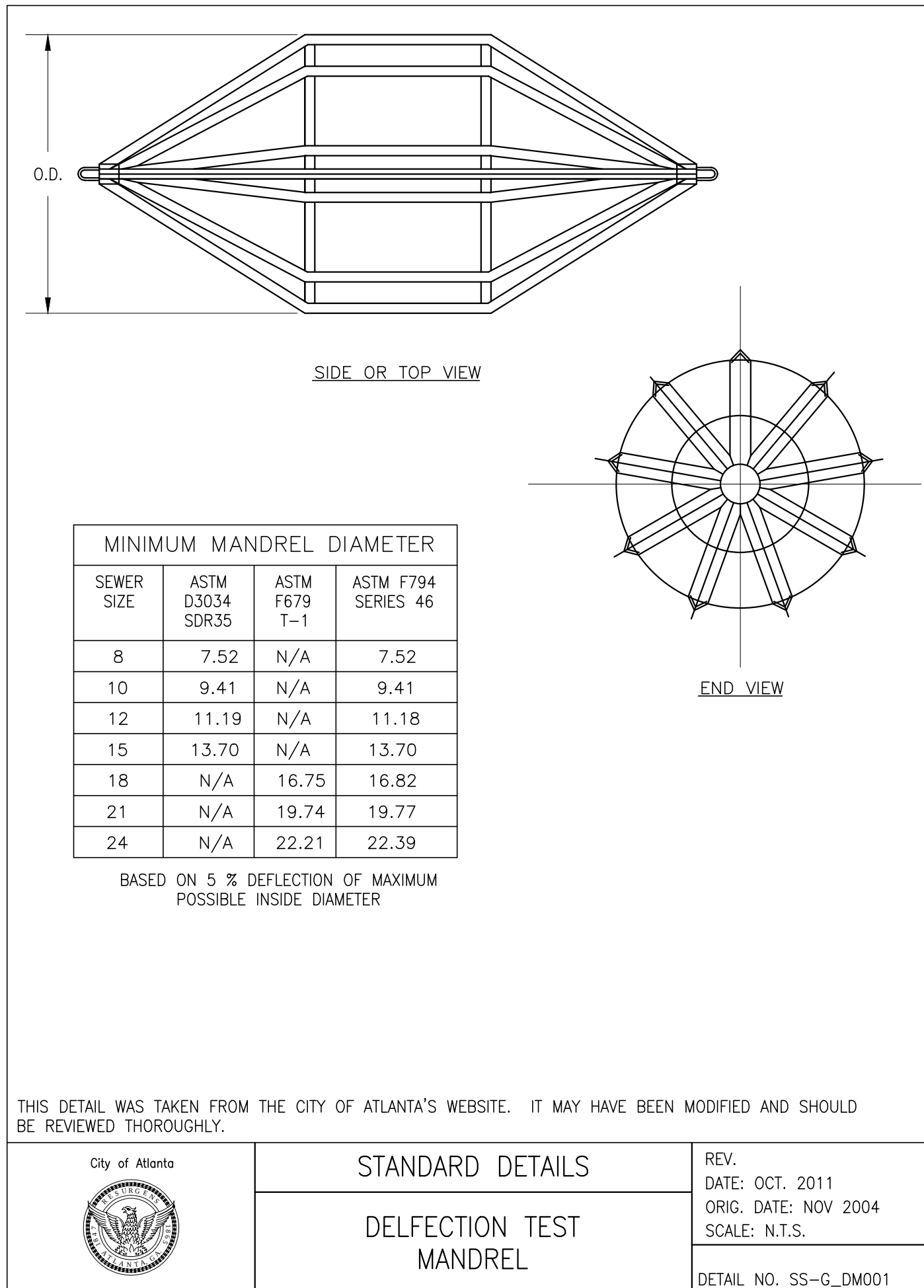
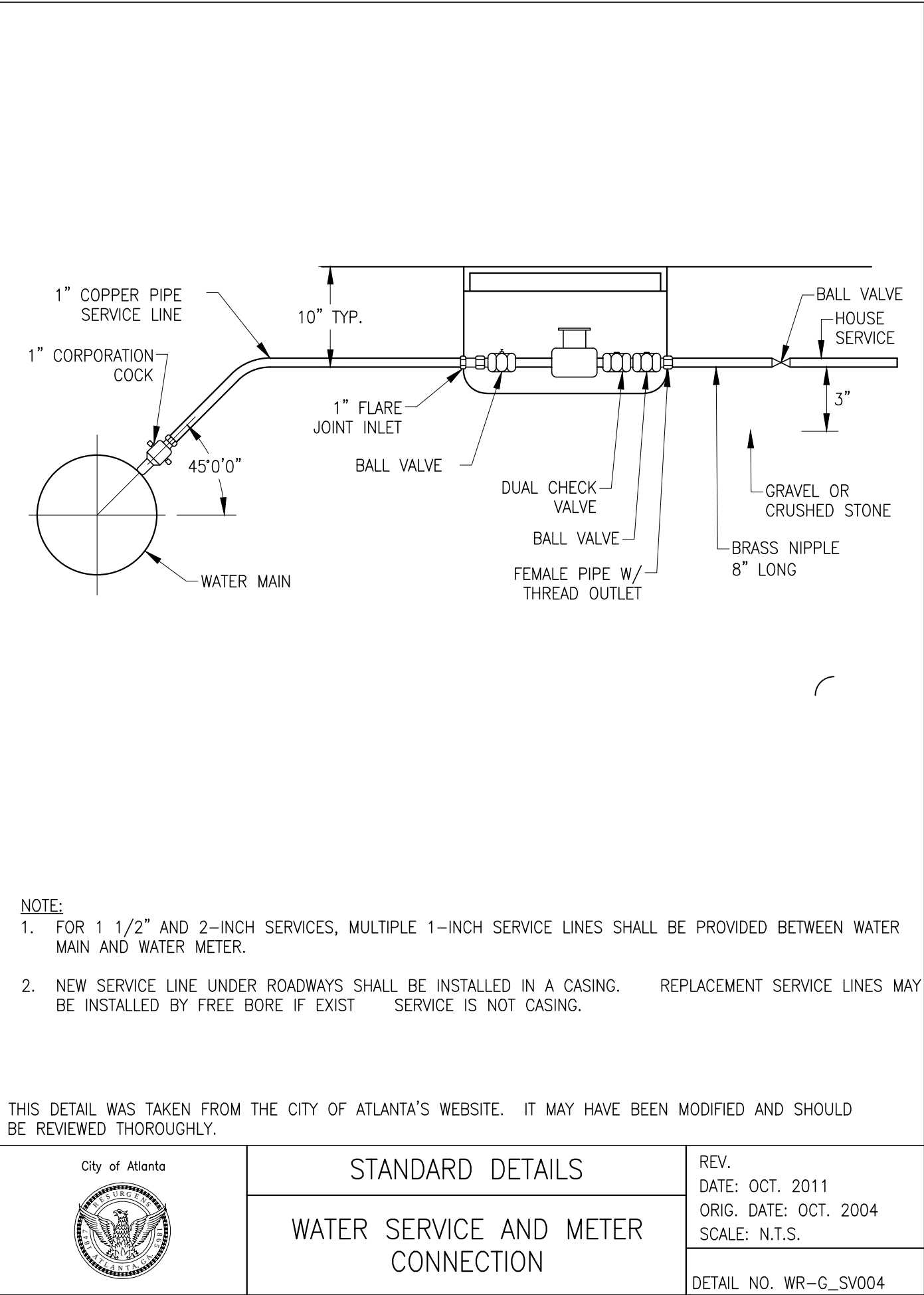
DETAIL SHEET
957 BRIARCLIFF ROAD
CITY OF ATLANTA
Land Lot 1 District 18
FULTON COUNTY, GA

SIGNED / SEALED



GSWCC CERTIFICATION
NO. 0000079959

DATE:							
REVISION							
No.							
FOR CONSTRUCTION							
Date:		7/30/2019					
Scale:		NTS					
Job No.:		19-1046					
Drawn By:		MCM					
Reviewed By:		MCM					
Sheet:		DT-2					
OF 5							



DATE	REVISION	No.	FOR CONSTRUCTION
			Date: 7/30/2019
			Scale: NTS
			Job No.: 19-1046
			Drawn By: MCM
			Reviewed By: MCM
			Sheet: DT-3
			OF 5

957 BRIARCLIFF ROAD NE.

957 BRIARCLIFF ROAD NE.
ATLANTA, GA 30306

DESIGN INFORMATION:

ARCHITECTURAL DESIGN TEAM

INTENT DESIGN
1040 WEST MARIETTA ST. NW
ATLANTA, GEORGIA 30318
CONTACT: WILLIE TARVER III @404.992.9590

DRAWING INDEX:

TITLE PAGE	T.1.0
ARCHITECTURAL FLOOR PLANS	
PROPOSED TERRACE REFERENCE PLAN	A.1.0
PROPOSED TERRACE DIMENSION PLAN	A.1.0A
PROPOSED FIRST FLOOR REFERENCE PLAN	A.1.1
PROPOSED FIRST FLOOR DIMENSION PLAN	A.1.1A
PROPOSED SECOND FLOOR REFERENCE PLAN	A.1.2
PROPOSED SECOND FLOOR DIMENSION PLAN	A.1.2A
PROPOSED ROOF PLAN	A.1.3
PROPOSED FRONT & RIGHT SIDE ELEVATION	A.2.1
PROPOSED REAR & LEFT SIDE ELEVATION	A.2.2
PROPOSED RESIDENTIAL SECTIONS	A.2.3
WALL SECTIONS	A.3.1
WALL SECTIONS AND DETAILS	A.3.2
FRONT PATIO DETAILS, STAIR SECTION, WIND. DETAILS	A.3.2
FIRST FLOOR WINDOW SCHEDULE	A.4.1
SECOND FLOOR WINDOW SCHEDULE	A.4.2
FIRST FLOOR DOOR SCHEDULE	A.4.3
STRUCTURAL FRAMING PLANS	
FIRST FLOOR "FLOOR FRAMING PLAN"	S.1.0
SECOND FLOOR "FLOOR FRAMING PLAN"	S.1.1
SECOND FLOOR "CEILING FRAMING PLAN"	S.1.2
ROOF RAFTER FRAMING PLAN	S.1.3

PROJECT SUMMARY

THIS PROJECT IS A TWO STORY RENOVATION WHILE MAINTAINING THE EXISTING FOUNDATION STRUCTURE. THE HOUSE WILL BE OVER 5,000 S.F. ABOVE GRADE. THE VENEER WILL BE BRICK ON ALL ELEVATIONS WITH AN ASPHALT SHINGLE ROOF. THERE IS AN ATTACHED TWO CAR GARAGE TO THE RESIDENCE. THERE WILL BE A TOTAL OF SIX BEDROOMS IN THIS RESIDENCE. EACH BEDROOM HAS ITS OWN ON SUITE BATHROOM.

GENERAL NOTES AND INFORMATION:

- 1) ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL
- 2) DO NOT SCALE DRAWINGS
- 3) THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM INTENT DESIGN.
- 4) IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- 5) DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF FOUNDATION OR FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- 6) IT IS THE RESPONSIBILITY OF THE OWNER AND/ OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- 7) ANY DISCREPANCIES CONTAINED WITHIN THE FOLLOWING DRAWINGS/DOCUMENTS ARE TO BE IMMEDIATELY REPORTED TO INTENT DESIGN LLC @ 678.206.7170 BEFORE PROCEEDING WITH WORK IN QUESTION.
- 8) ANY DEVIATIONS FROM THE FOLLOWING DOCUMENTS SHOULD BE REPORTED IMMEDIATELY TO INTENT DESIGN @ 404.992.9590 BEFORE PROCEEDING WITH WORK. FAILURE TO DO SO IS AT THE BUILDER'S RISK.
- 9) ALL STRUCTURAL MEMBERS TO BE VERIFIED, DESIGNED, AND SIGNED AND SEALED BY STRUCTURAL ENGINEER LICENSED IN THE STATE WHICH THE PROJECT IS BEING CONSTRUCTED.
- 10) ALL WOOD IN CONTACT WITH CONCRETE AND/OR EXPOSED TO THE EXTERIOR ELEMENTS TO BE PRESSURE TREATED.
- 11) ALL SHEATHING AND DECKING USED ON EXTERIOR ENVELOPE TO BE OF "EXTERIOR GRADE"
- 12) CERTIFIED UL FIRE SEPARATION/RATED ASSEMBLIES TO BE USED WHERE REQUIRED BY CODE.
- 13) G.C. TO VERIFY & ADHERE TO FIREPLACE MANUFACTURER AND CODE REQUIREMENTS FOR MIN. CLEARANCES OF COMBUSTIBLE MATERIALS AROUND FIREPLACE, INCLUDING, BUT NOT LIMITED TO, FRAMING, SURROUNDING MATERIAL, HEARTH, & FLUE.
- 14) EXTERIOR PORCHES SHOULD BE SLOPED 1/8" PER FOOT MINIMUM TO ALLOW FOR DRAINAGE OF WATER & TO PREVENT PONDING OF WATER.
- 15) G.C. TO VERIFY GRADE AGAINST HOUSE/STRUCTURE SLOPES AWAY TO DRAIN WATER AWAY FROM STRUCTURE.
- 16) G.C. TO VERIFY SOIL CONDITIONS BEFORE POURING FOUNDATION.
- 17) TYPICAL SLAB ON GRADE TO BE 4" P.L.P. CONCRETE SLAB W/ 6 x 6 x ¹⁹/₁₆ W.W.F. OVER 10 MIL. POLY VAPOR BARRIER OVER 4" GRAVEL BED OVER COMPACTED SOIL. G.C. TO VERIFY W/ STRUCTURAL BEFORE POURING SLAB UNLESS NOTED OTHERWISE.
- 18) G.C. TO VERIFY ALL STRUCTURAL MEMBERS NOTED IN ARCHITECTURAL DRAWINGS, INCLUDING, BUT NOT LIMITED TO STUDS, JOISTS, AND RAFTER SIZES AND SPACING, WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES CONTACT ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK IN QUESTION.
- 19) ALL EXTERIOR MATERIALS, COLORS, STAINS, ETC. TO BE SUBMITTED TO ARCHITECT & OWNER FOR REVIEW & APPROVAL, PRIOR TO FINAL ORDER & INSTALLATION. MATERIAL MOCK-UPS MIGHT BE NECESSARY FOR REVIEW & APPROVAL.
- 20) TREATMENT LEVELS FOR WOOD:
-ABOVE GRADE: 15 TO 25 LBS/CU.FT.
-GROUND CONTACT: 40 LBS/CU.FT.
-BELOW GRADE: 60 LBS/CU. FT.

CONTRACTOR NOTE:

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL WORK IS BEING PERFORMED OFF OF THE MOST CURRENT DRAWINGS ISSUED.

CITY OF ATLANTA CODE NOTES:

APPLICABLE CODES:

- INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014)(2015)(2017)
- INTERNATIONAL FIRE CODE, 2012 EDITION WITH GEORGIA AMENDMENTS (2014)
- INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014)(2015)
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2015)
- INTERNATIONAL FUEL GAS CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014)(2015)
- INTERNATIONAL ELECTRICAL CODE, 2017 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CODE, 2009 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2011)(2012)

PROJECT OWNER INFORMATION

OWNER: ENHANCED HD PROPERTIES
ADDRESS:957 BRIARCLIFF ROAD
CONTACT NAME: HAROLD WHITE
CONTACT NUMBER: 404.916.9164
CONTACT EMAIL: HFLO216@GMAIL.COM



TITLE SHEET
T.1.0 / SCALE: NOT TO SCALE

INTENT DESIGN

1040 WEST MARIETTA STREET NW.
ATLANTA, GA 30318
EMAIL: INFO@INTENTID.COM
TEL.: 404.992.9590



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957 BRIARCLIFF RD.

957 BRIARCLIFF Rd. NE
ATLANTA, GEORGIA 30306

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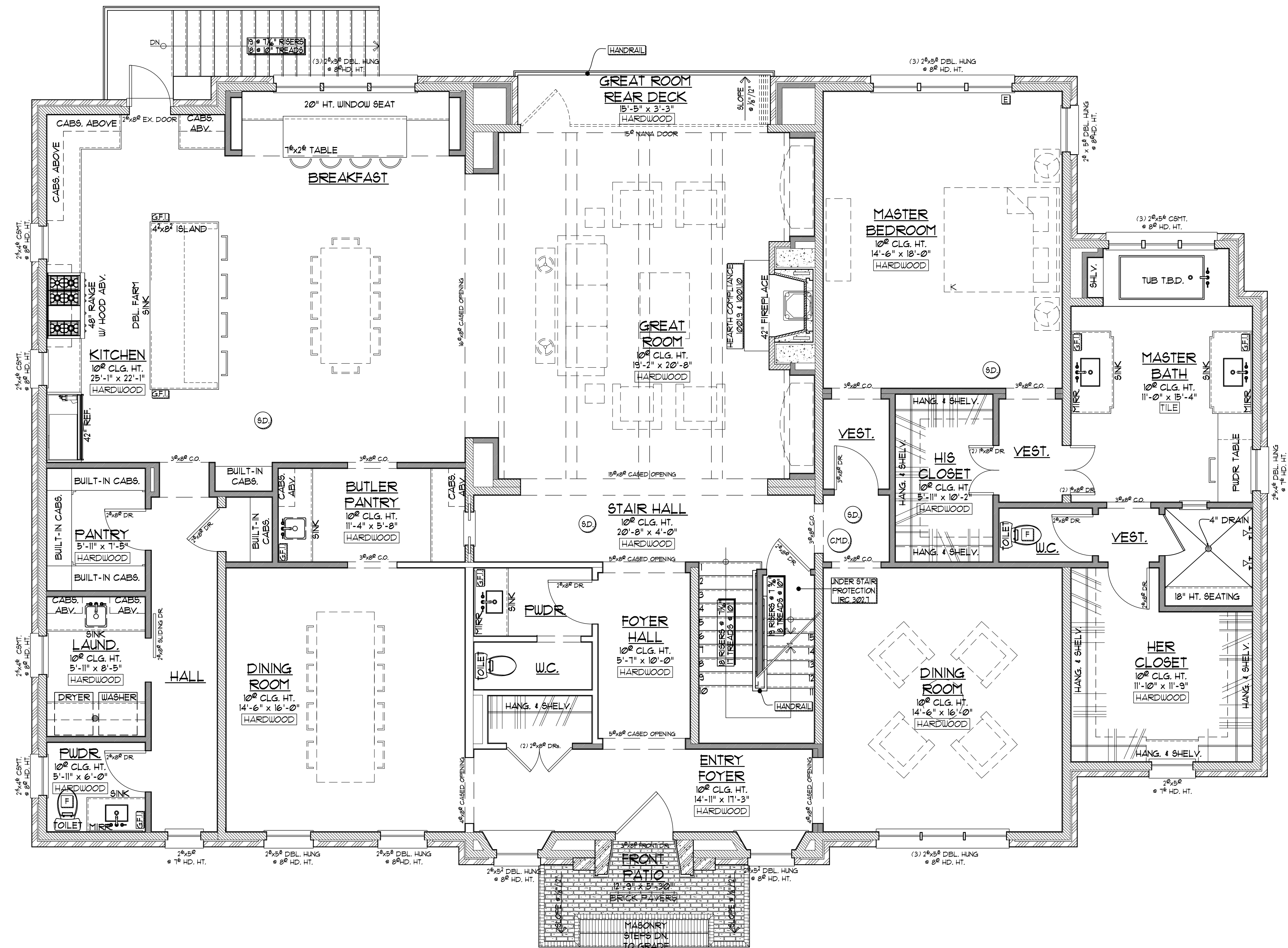
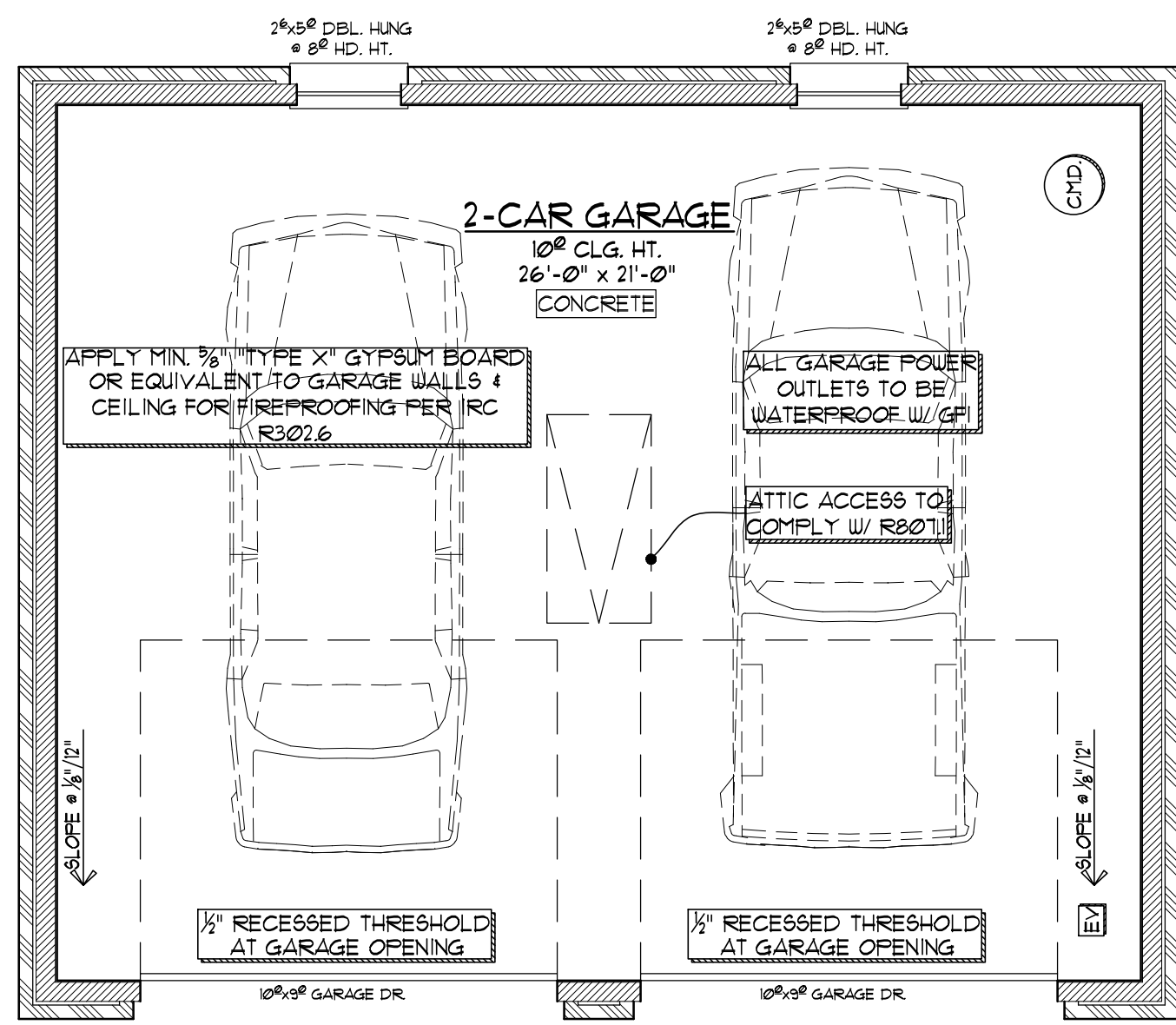
CHECKED: WT111

DATE: AUGUST 26, 2019
CONSTRUCTION DOCUMENTS

PROJECT NO: 1912

SHEET NO:

T.1.0



SQUARE FOOTAGE CALCULATIONS	
TERRACE FLOOR FINISHED SPACE:	1890 SF.
TERRACE FLOOR UNFINISHED SPACE:	1063 SF.
FIRST FLOOR FINISHED SPACE:	3281 SF.
FIRST FLOOR UNFINISHED SPACE:	520 SF.
SECOND FLOOR FINISHED SPACE:	2283 SF.
SECOND FLOOR UNFINISHED SPACE:	800 SF.
TOTAL SQUARE FOOTAGE ABOVE GRADE:	5570 SF.
TOTAL FINISHED SQUARE FOOTAGE:	1460 SF.
TOTAL SQUARE FOOTAGE:	9119 SF.

LIFE SAFETY LEGEND	
F	EXHAUST FAN PER IRC 1507.2 HARDWIRED
E	CLEAR OPENING, MIN. AREA 5.7 SF, MIN. HEIGHT 24", MIN. WIDTH 20", MIN. SILL HEIGHT = 44" AFF. PER IRC 3102.1 & 3102.2
G.F.I.	G.C. TO PROVIDE G.F.I. WITHIN 18" OF WATER = 42" AFF. PER IRC 3202
HANDRAIL	36" HT. RAIL W/ PICKETS @ 4" O.C. MAX. HANDRAIL SHALL HAVE HT. OF 34" TO 38" FROM TREAD NOSING PER IRC 311.8.1
SD	SMOKE DETECTOR PER IRC 314.3 HARDWIRED
CMD	CARBON MONOXIDE DETECTOR PER IRC 315.3 HARDWIRED
EV	18'-0"-1143 ORDINANCE FOR ELECTRICAL VEHICLE INFRASTRUCTURE STATIONED INSTALLED

- GENERAL NOTES**
- REFER TO FIRST FLOOR FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
 - THESE DRAWINGS, ALONG WITH THE SPECIFICATIONS AND ADDENDA REPRESENT A PORTION OF THE AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT.
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ROOM LEGEND	
ROOM NAME	
ROOM CEILING HEIGHT	
CEILING TREATMENT	
ROOM DIMENSIONS (A'-A" X Z'-Z")	
ROOM FLOORING FINISH	

WALL LEGEND	
	NEW 2x4 STUD WALL
	NEW 2x6 STUD WALL
	NEW 2x6 STUD WALL W/ STONE VENEER
	NEW 2x6 STUD WALL W/ BRICK VENEER
	8" CONC. WALL

- SPECIAL NOTES**
- ALL DIMENSIONS TO OUTSIDE FACE OF FRAMING WALLS UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS AT FIRST FLOOR ARE 2 X 6 STUD WALLS UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2 X 4 & 2 X 6 STUD WALLS UNLESS OTHERWISE NOTED.

INTENT DESIGN
1040 WEST MARIETTA STREET NW.
ATLANTA, GA 30318
EMAIL: INFO@INTENTID.COM
TEL.: 404.997.9590



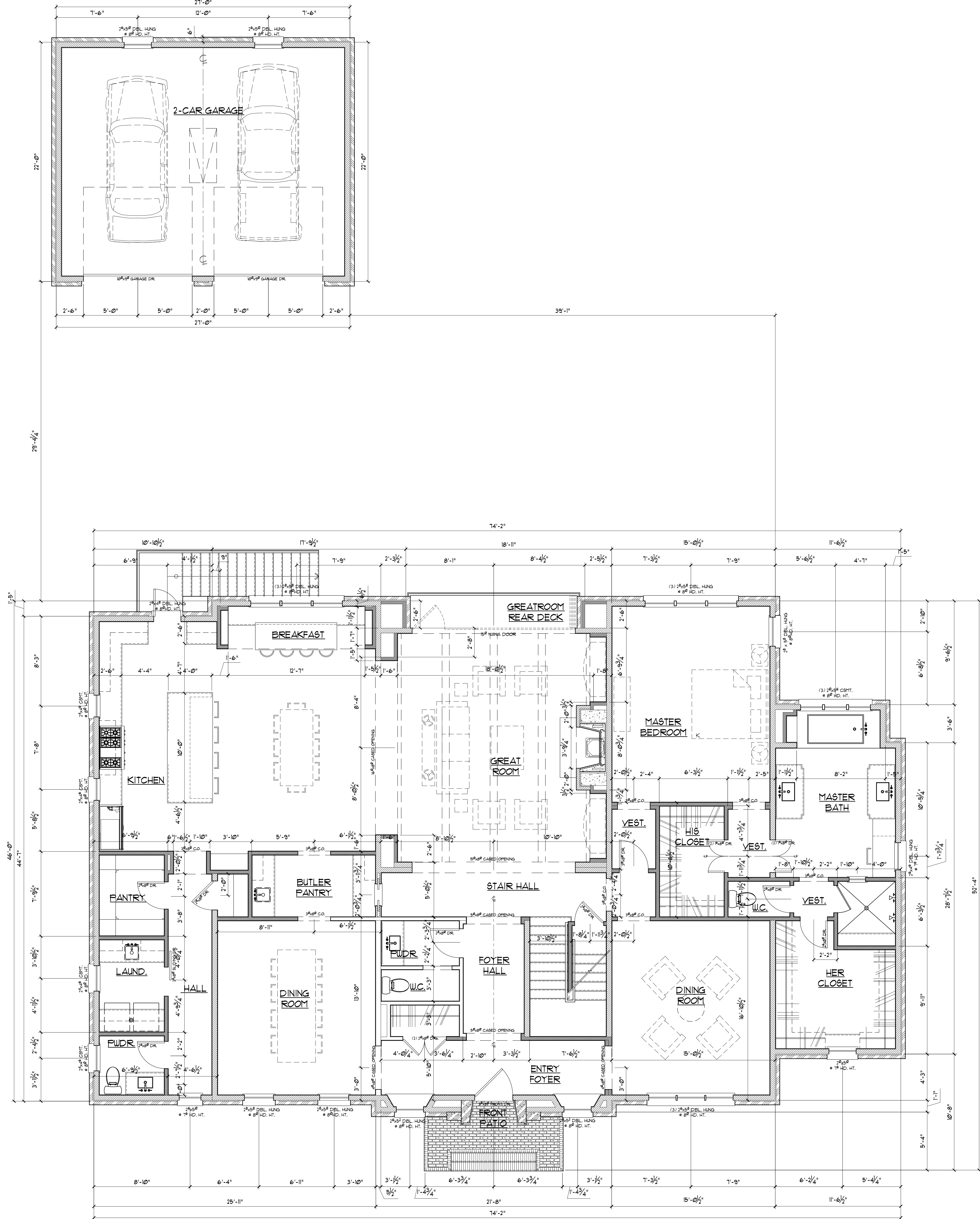
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957 BRIARCLIFF RD.
957 BRIARCLIFF Rd. NE
ATLANTA, GEORGIA 30306

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

DRAWN BY:	WTIII
CHECKED:	WTIII
DATE:	AUGUST 26, 2019
CONSTRUCTION DOCUMENTS	
PROJECT NO:	1912
SHEET NO:	

A.1.1



SQUARE FOOTAGE CALCULATIONS	
TERRACE FLOOR FINISHED SPACE:	1890 SF.
TERRACE FLOOR UNFINISHED SPACE:	1063 SF.
FIRST FLOOR FINISHED SPACE:	3281 SF.
FIRST FLOOR UNFINISHED SPACE:	590 SF.
SECOND FLOOR FINISHED SPACE:	2283 SF.
SECOND FLOOR UNFINISHED SPACE:	000 SF.
TOTAL SQUARE FOOTAGE ABOVE GRADE:	5570 SF.
TOTAL FINISHED SQUARE FOOTAGE:	1460 SF.
TOTAL SQUARE FOOTAGE:	9119 SF.

LIFE SAFETY LEGEND	
F	EXHAUST FAN PER IRC 1507.2 HARDWIRED
E	CLEAR OPENING, MIN. AREA 5.7 SF, MIN. HEIGHT 24", MIN. WIDTH 20", MIN. SILL HEIGHT = 44" AFF. PER IRC 3102.1 & 3102.2
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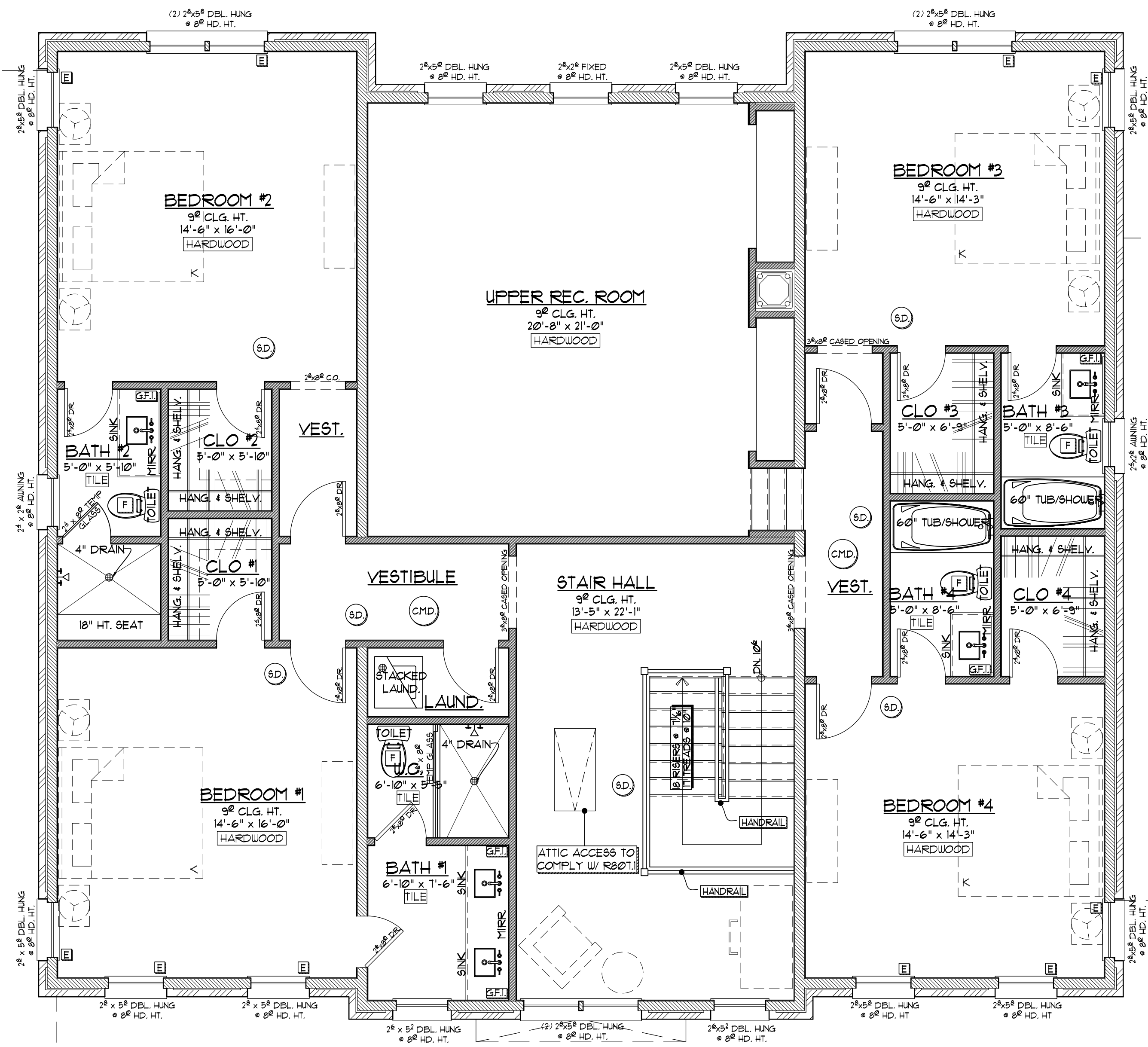
ROOM LEGEND	
ROOM NAME	
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CEILING TREATMENT	
ROOM DIMENSIONS (A'-A" X Z'-Z")	
ROOM FLOORING FINISH	

WALL LEGEND	
	NEW 2x4 STUD WALL
	NEW 2x6 STUD WALL
	NEW 2x6 STUD WALL W/ STONE VENEER
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SQUARE FOOTAGE CALCULATIONS

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ROOM LEGEND

ROOM NAME
ROOM CEILING HEIGHT
CEILING TREATMENT
ROOM DIMENSIONS (A'-A" X Z'-Z")
ROOM FLOORING FINISH

WALL LEGEND

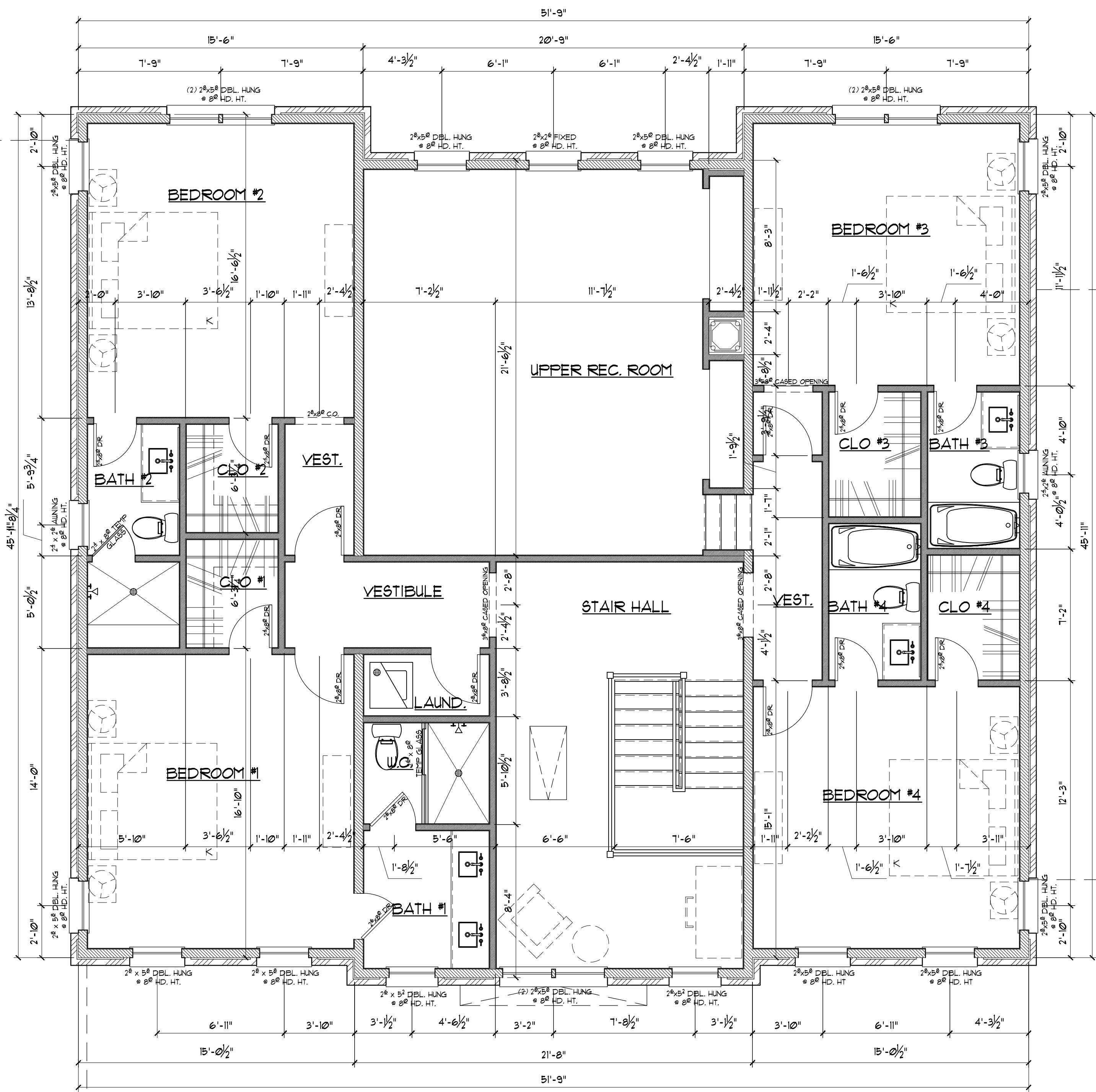
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 6. ALL EXTERIOR WALL SHEATHING MUST BE NAILED WITH 8d NAILS ALL EDGES AND CORNERS MUST BE NAILED AT 6" O.C. AND FIELD MUST BE NAILED AT 12" O.C.
 7. GYPSUM BOARD BRACED WALLS MUST BE BLOCKED AT CENTER HGT. OF BOARD BREAK AND MUST BE NAILED AT 1" O.C. ON EDGE WITH 5/8" GYPSUM BOARD NAILS FOR 1/2" BOARD AND 1/8" NAILS FOR 5/8" BOARD.

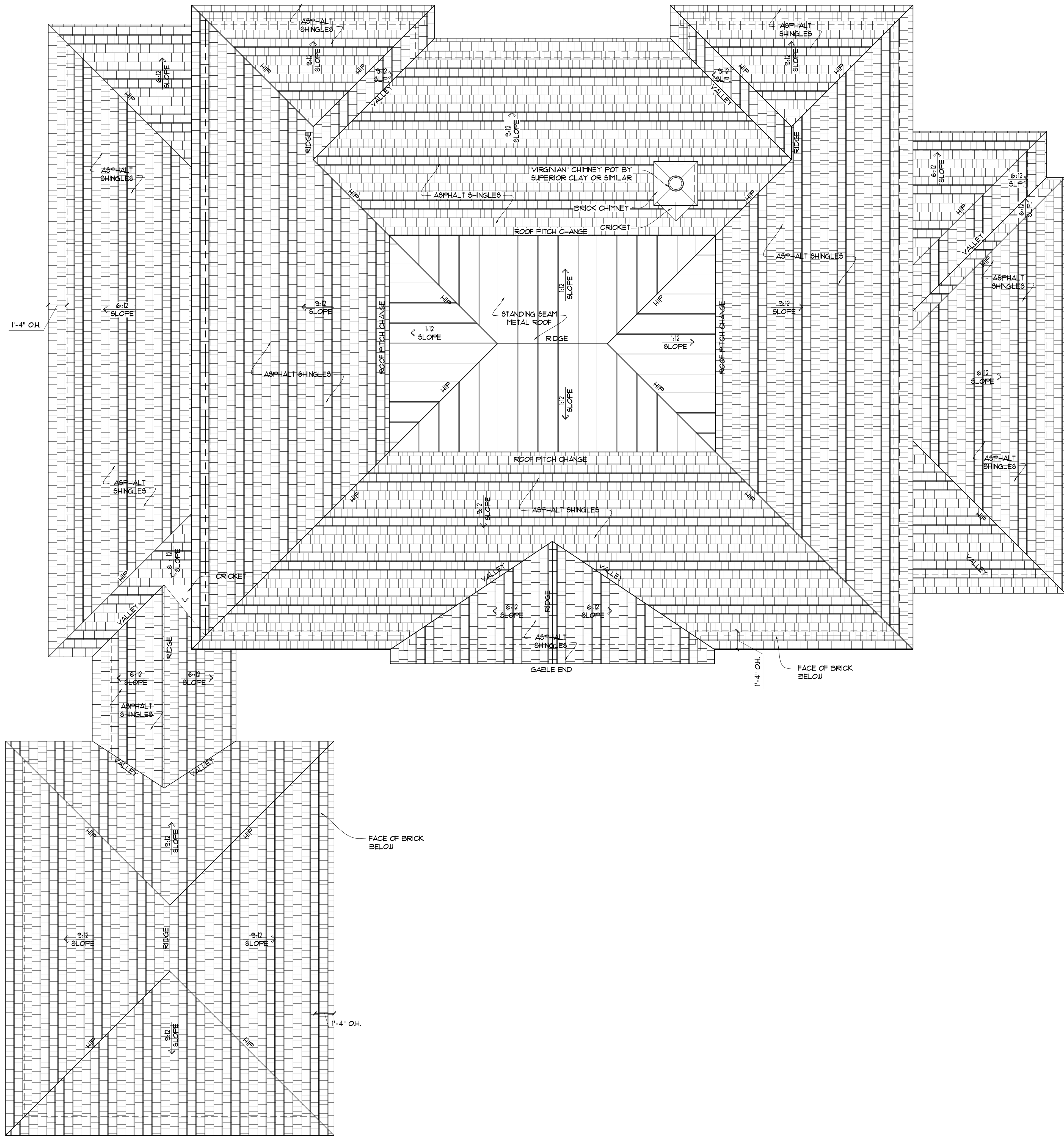
ROOM LEGEND	
ROOM NAME	
ROOM CEILING HEIGHT	
CEILING TREATMENT	
ROOM DIMENSIONS (A'-A" X Z'-Z")	
ROOM FLOORING FINISH	

WALL LEGEND	
	NEW 2x4 STUD WALL
	NEW 2x6 STUD WALL
	NEW 2x6 STUD WALL W/ STONE VENEER
	NEW 2x6 STUD WALL W/ BRICK VENEER
	8" CONC. WALL

- SPECIAL NOTES**
1. ALL DIMENSIONS TO OUTSIDE FACE OF FRAMING WALLS UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS AT FIRST FLOOR ARE 2 x 6 STUD WALLS UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2 x 4 & 2 x 6 STUD WALLS UNLESS OTHERWISE NOTED.



RELEASED FOR CONSTRUCTION



ROOF PLAN (PROPOSED)
A.1.3 SCALE: 1/4" = 1'-0"

DRAWN BY: WTIII	
CHECKED: WTIII	
DATE: AUGUST 26, 2019	
CONSTRUCTION DOCUMENTS	
PROJECT NO: 1912	
SHEET NO:	

A.1.3

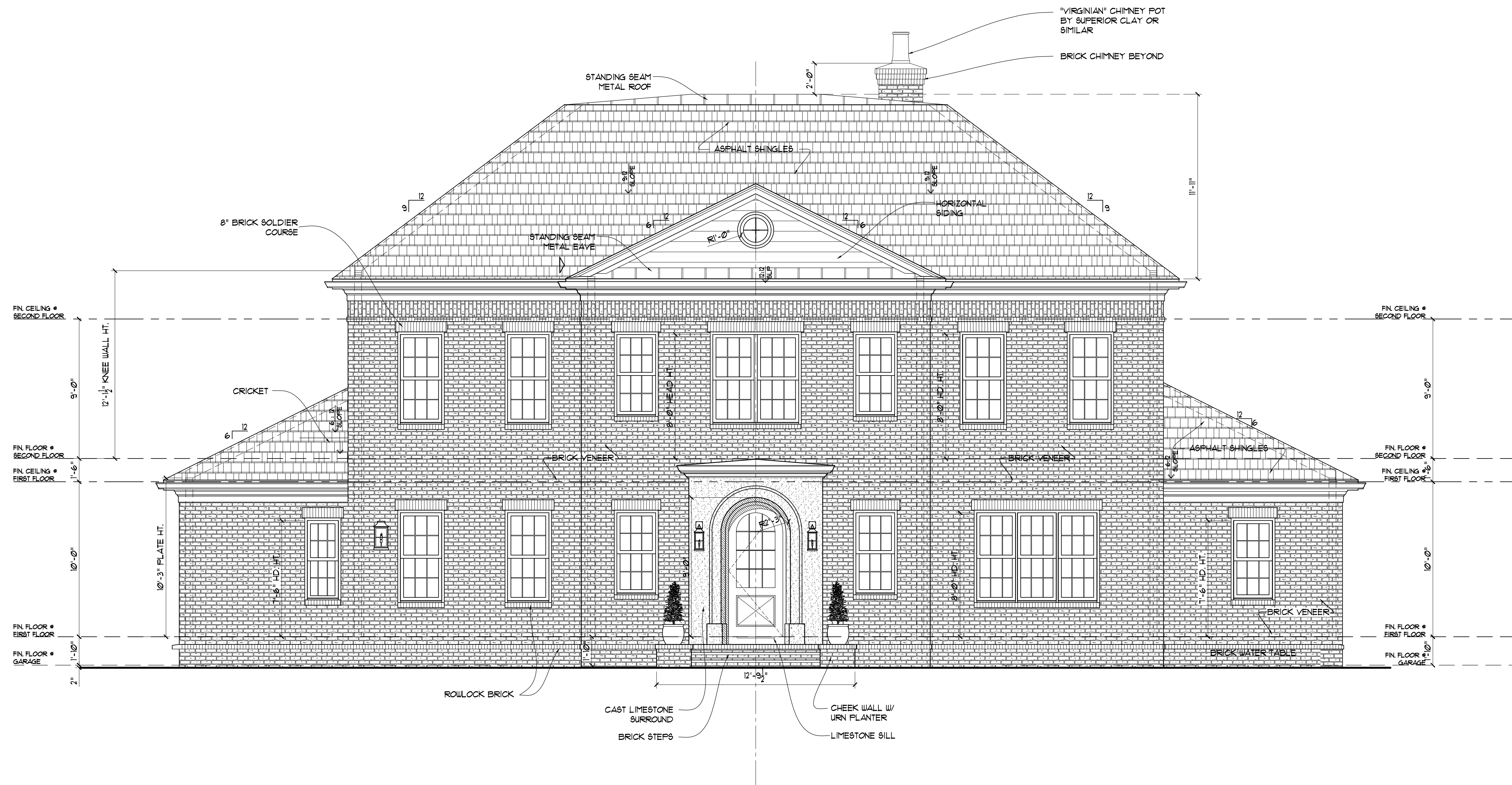
957 BRIARCLIFF RD.
957 BRIARCLIFF Rd. NE
ATLANTA, GEORGIA 30306



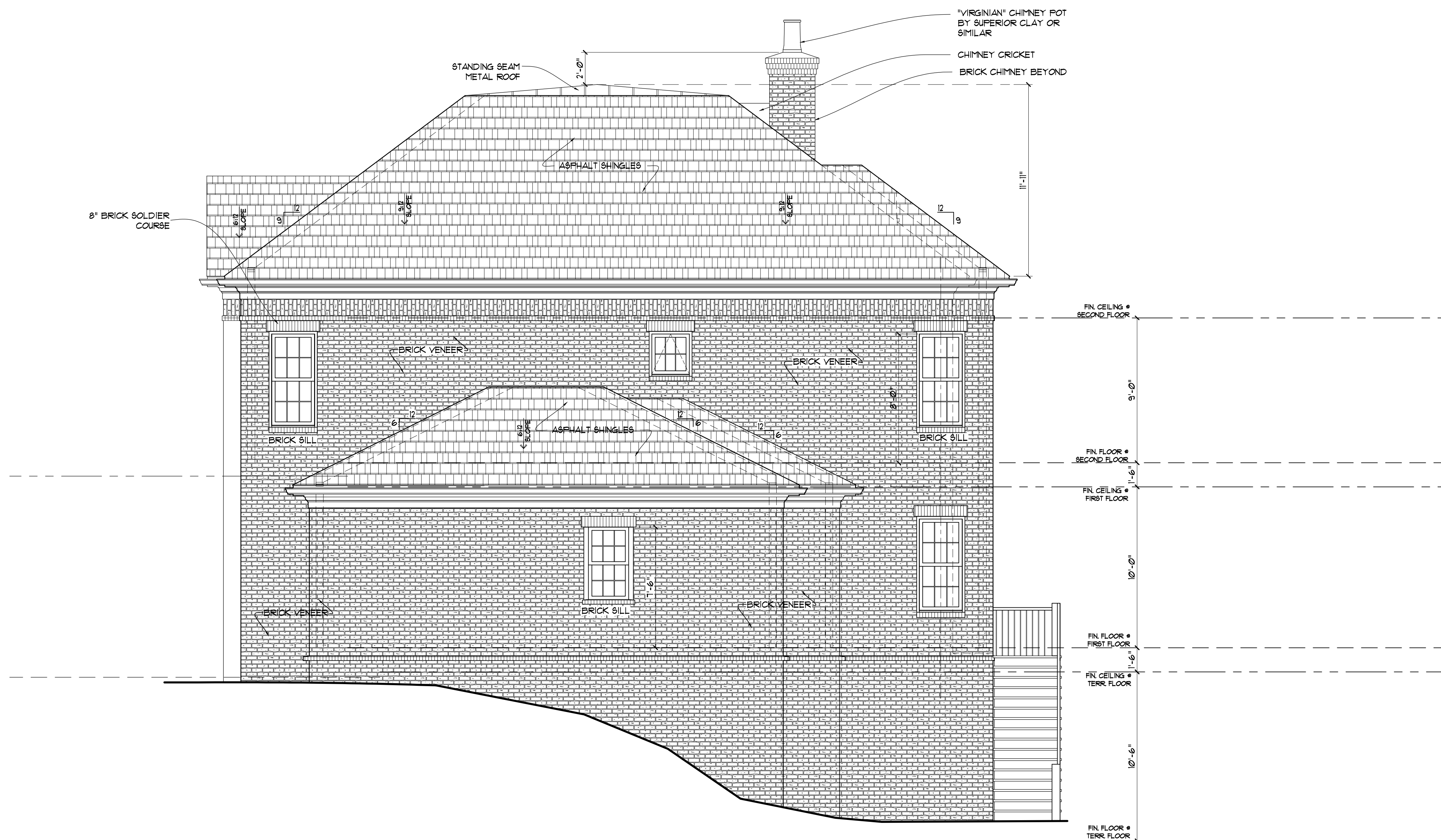
RELEASED FOR CONSTRUCTION

INTENT DESIGN
1040 WEST MARIETTA STREET NW.
ATLANTA, GA 30318
EMAIL: INFO@INTENTID.COM
TEL.: 404.992.9590

WHAT'S YOUR HOUSE ID?



1 FRONT ELEVATION (PROPOSED)
A.2.1 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION (PROPOSED)
A.2.1 SCALE: 1/4" = 1'-0"

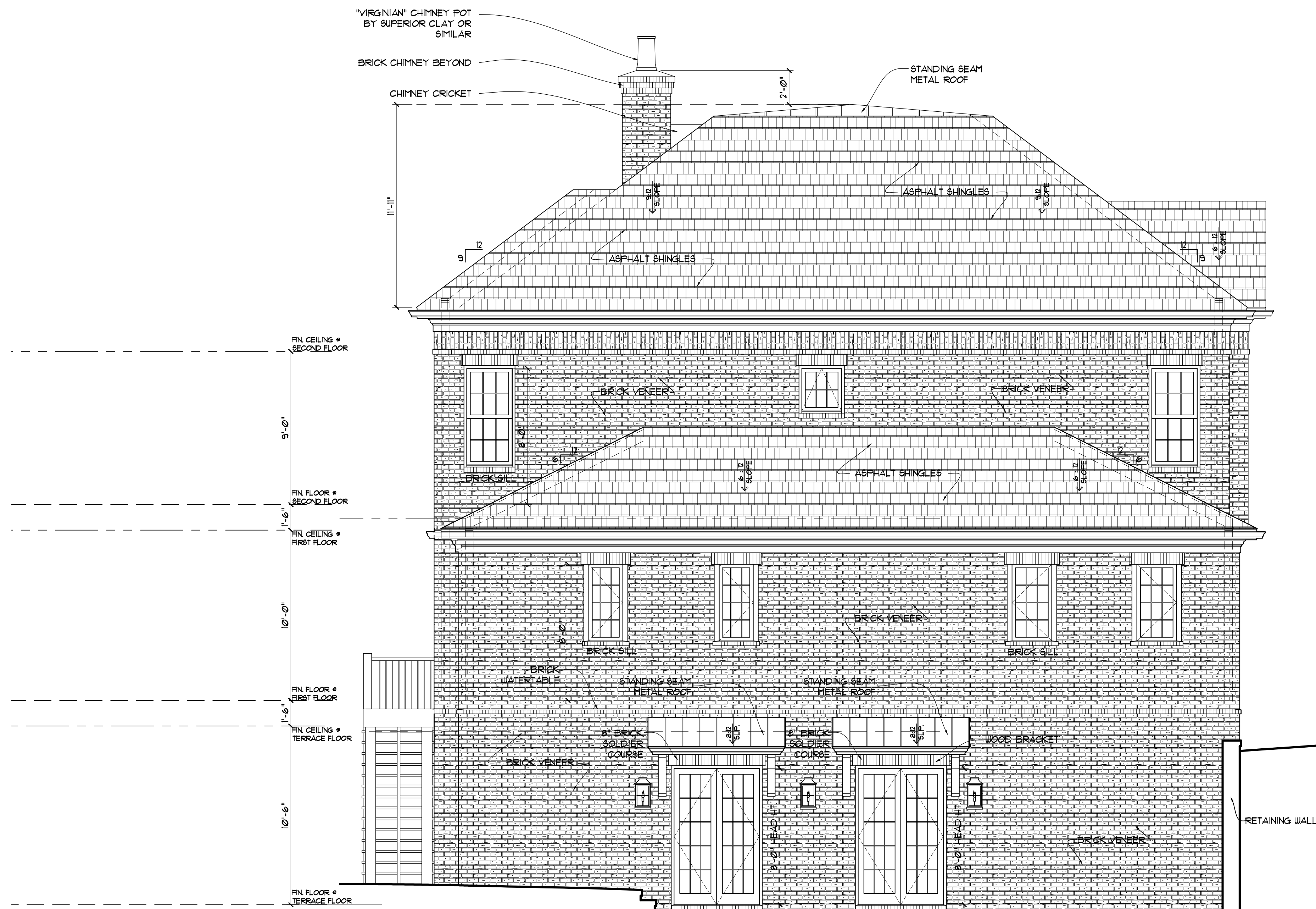


RELEASED FOR CONSTRUCTION

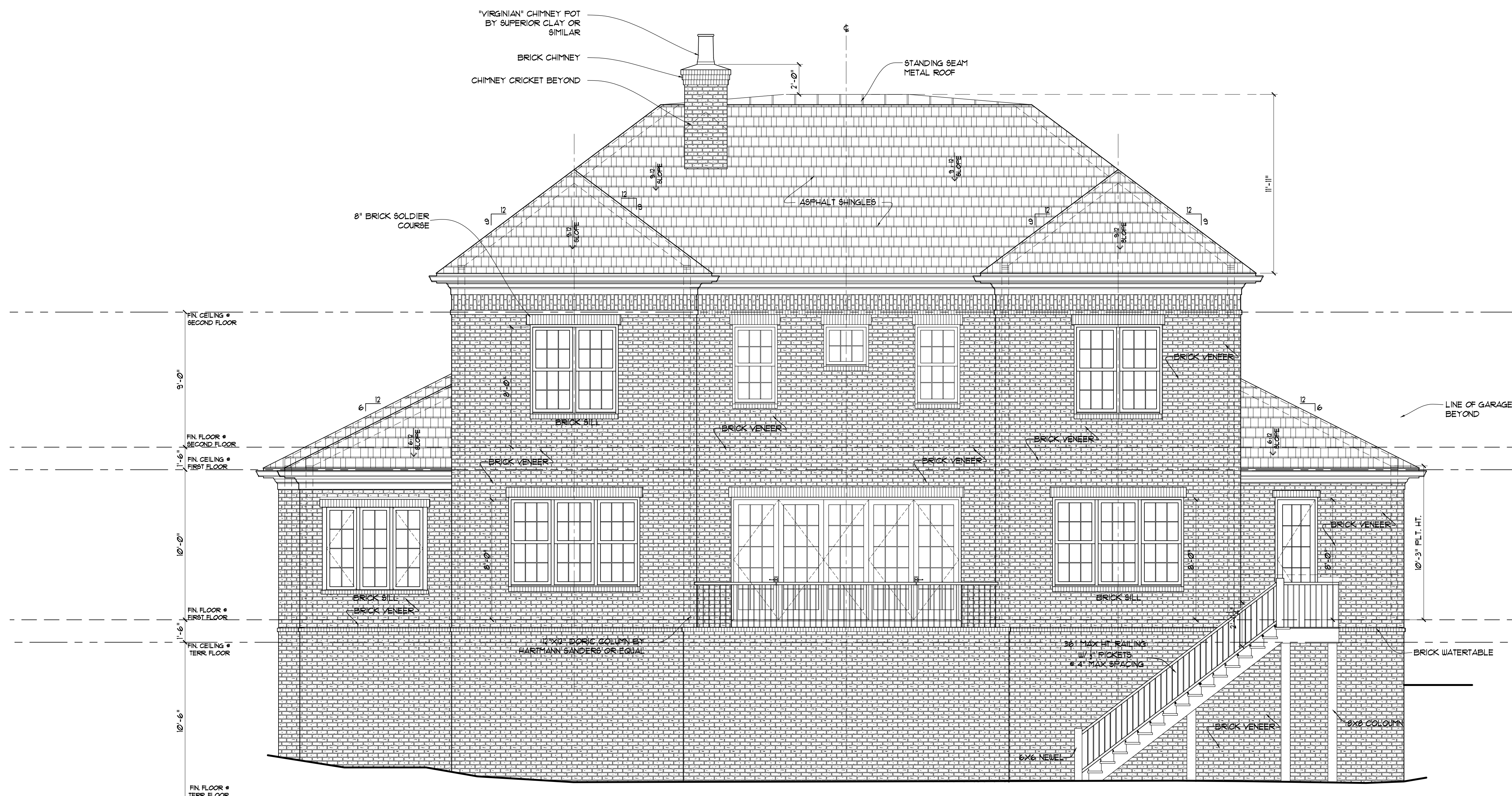
957 BRIARCLIFF RD.
957 BRIARCLIFF RD. NE
ATLANTA, GEORGIA 30306

DRAWN BY: WTIII
CHECKED: WTIII
DATE: AUGUST 26, 2019
CONSTRUCTION DOCUMENTS

PROJECT NO: 1912
SHEET NO:



1 LEFT SIDE ELEVATION (PROPOSED)
A.2.2 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION (PROPOSED)
A.2.2 SCALE: 1/4" = 1'-0"



RELEASED FOR CONSTRUCTION

957 BRIARCLIFF RD.
957 BRIARCLIFF Rd. NE
ATLANTA, GEORGIA 30306

OWNER: 957 BRIARCLIFF RD. NE, ATLANTA, GA 30306
DESIGNER: INTENT DESIGN, 1040 WEST MARIETTA STREET NW, ATLANTA, GA 30318
DATE: AUGUST 26, 2019
PROJECT NO: 1912
SHEET NO: 1

DRAWN BY: WTIII
CHECKED: WTIII
DATE: AUGUST 26, 2019
CONSTRUCTION DOCUMENTS



957 BRIARCLIFF RD.
957 BRIARCLIFF RD. NE
ATLANTA, GEORGIA 30306

WHAT'S YOUR HOUSE ID?

DRAWN BY:	WT111
CHECKED:	WT111
DATE: AUGUST 26, 2019	
CONSTRUCTION DOCUMENTS	
PROJECT NO:	1912
SHEET NO:	

A.2.3