

SEAL

PRELIMINARY

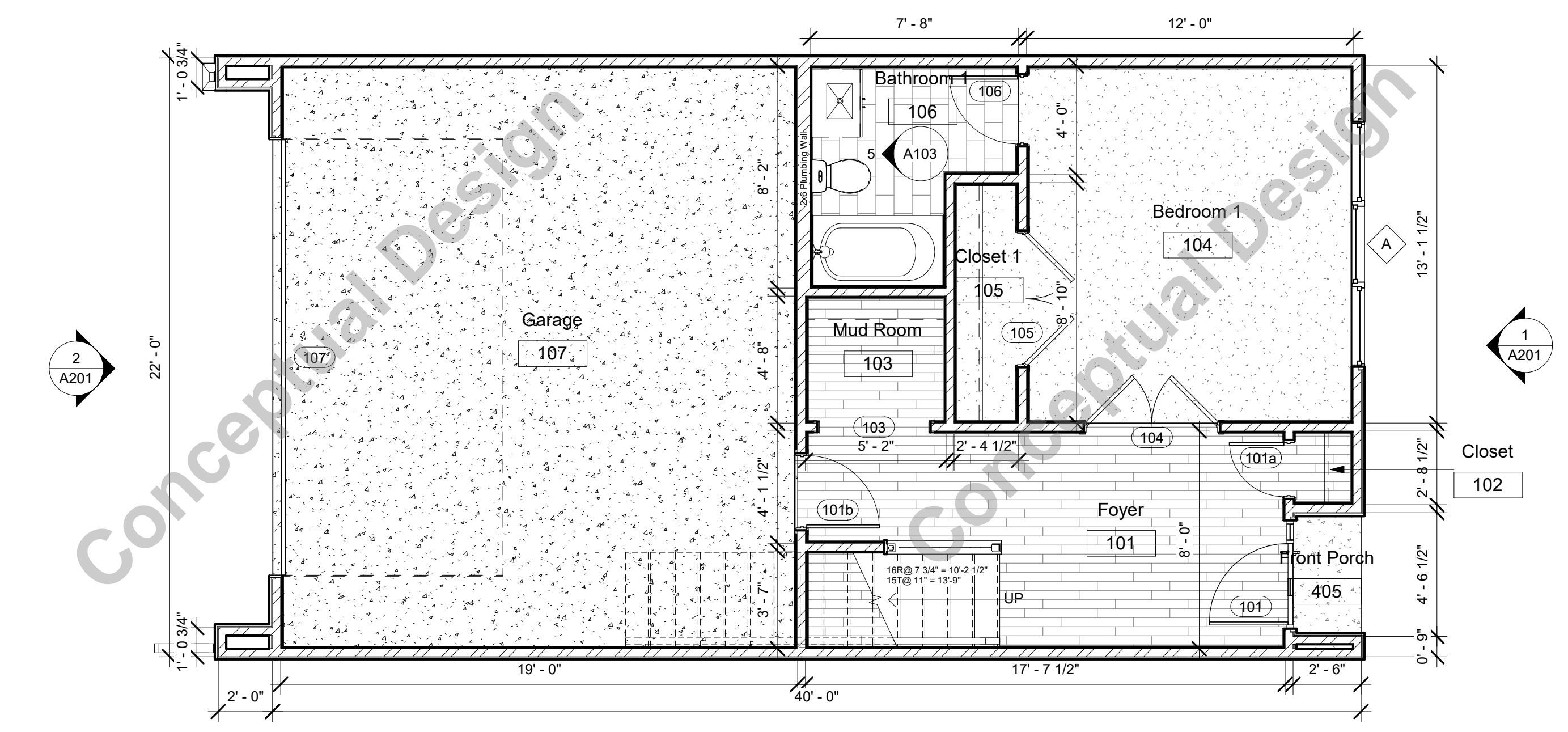
Not for construction
Not for permitting
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REVISION

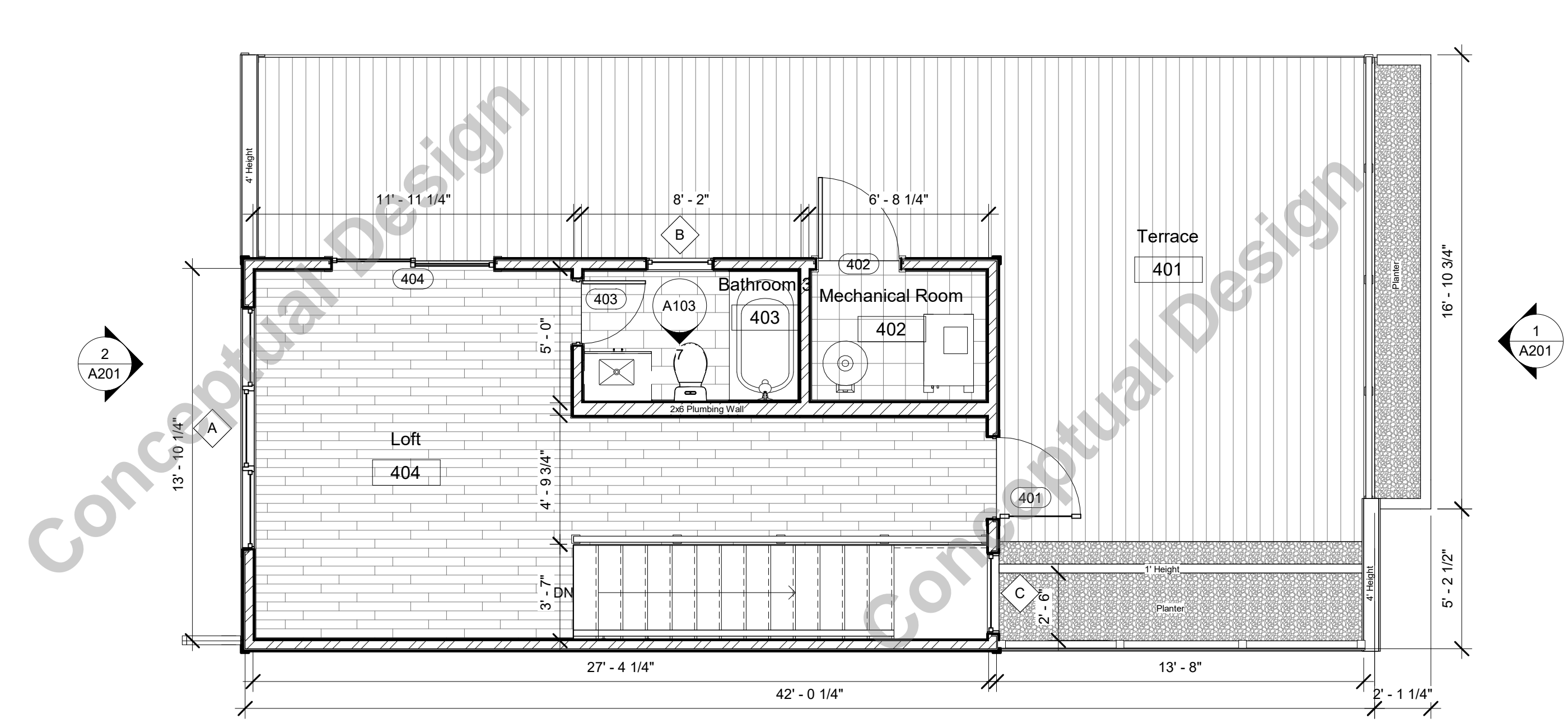
No.	Description	Date

PROJECT NUMBER 2020-03

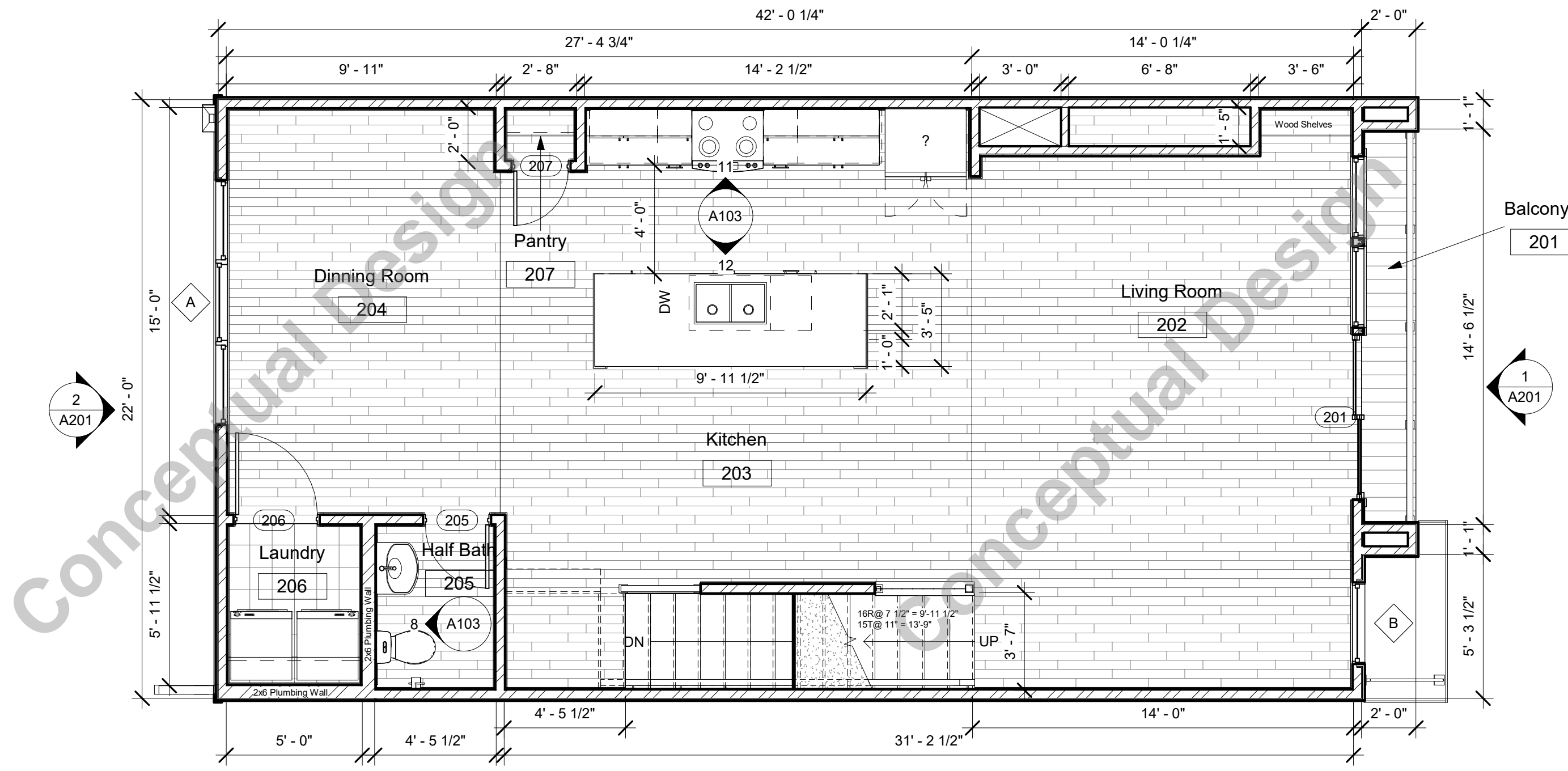
Unit Floor Plans



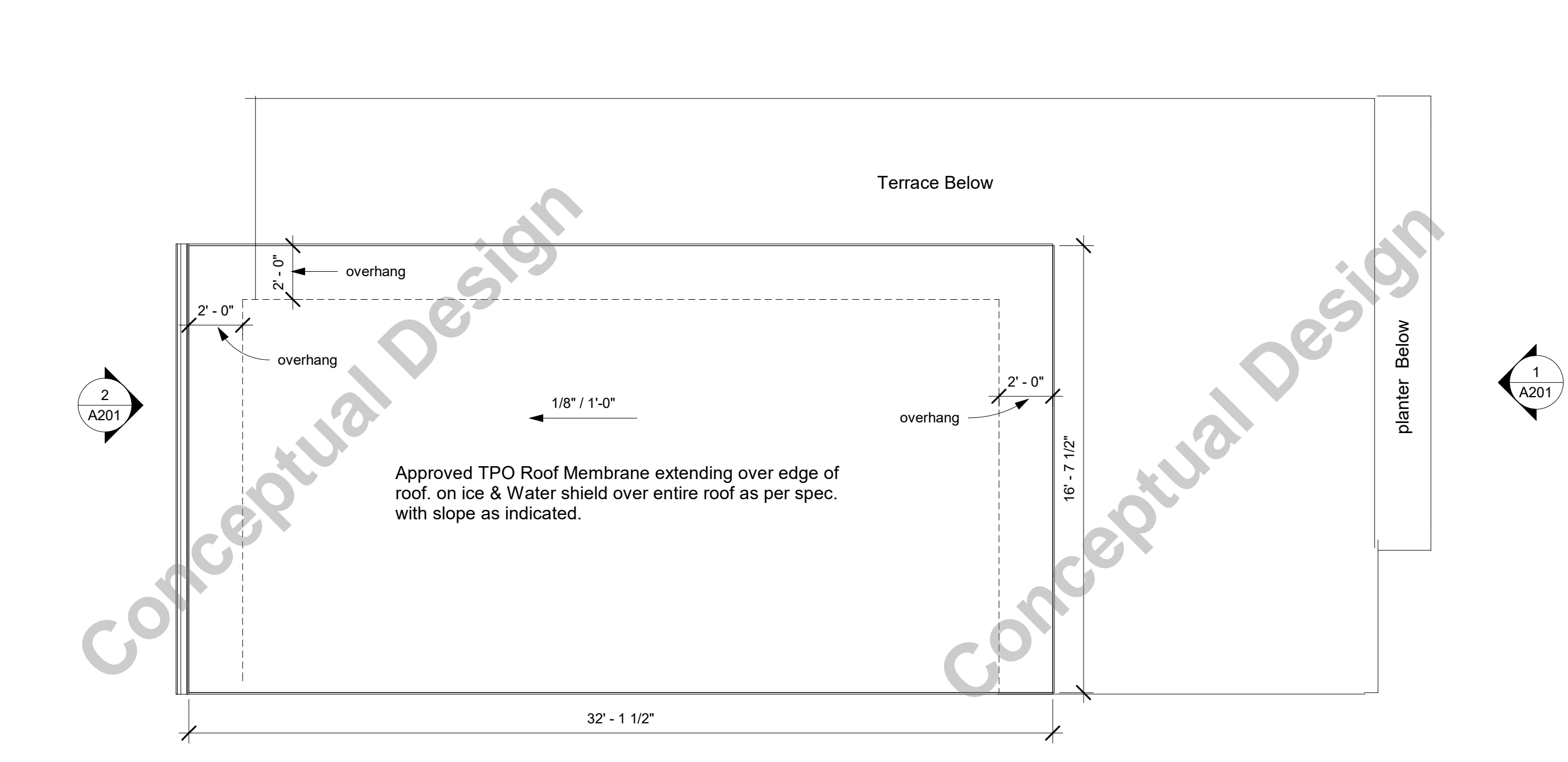
1 Construction Plan - Main level floor
 1/4" = 1'-0"



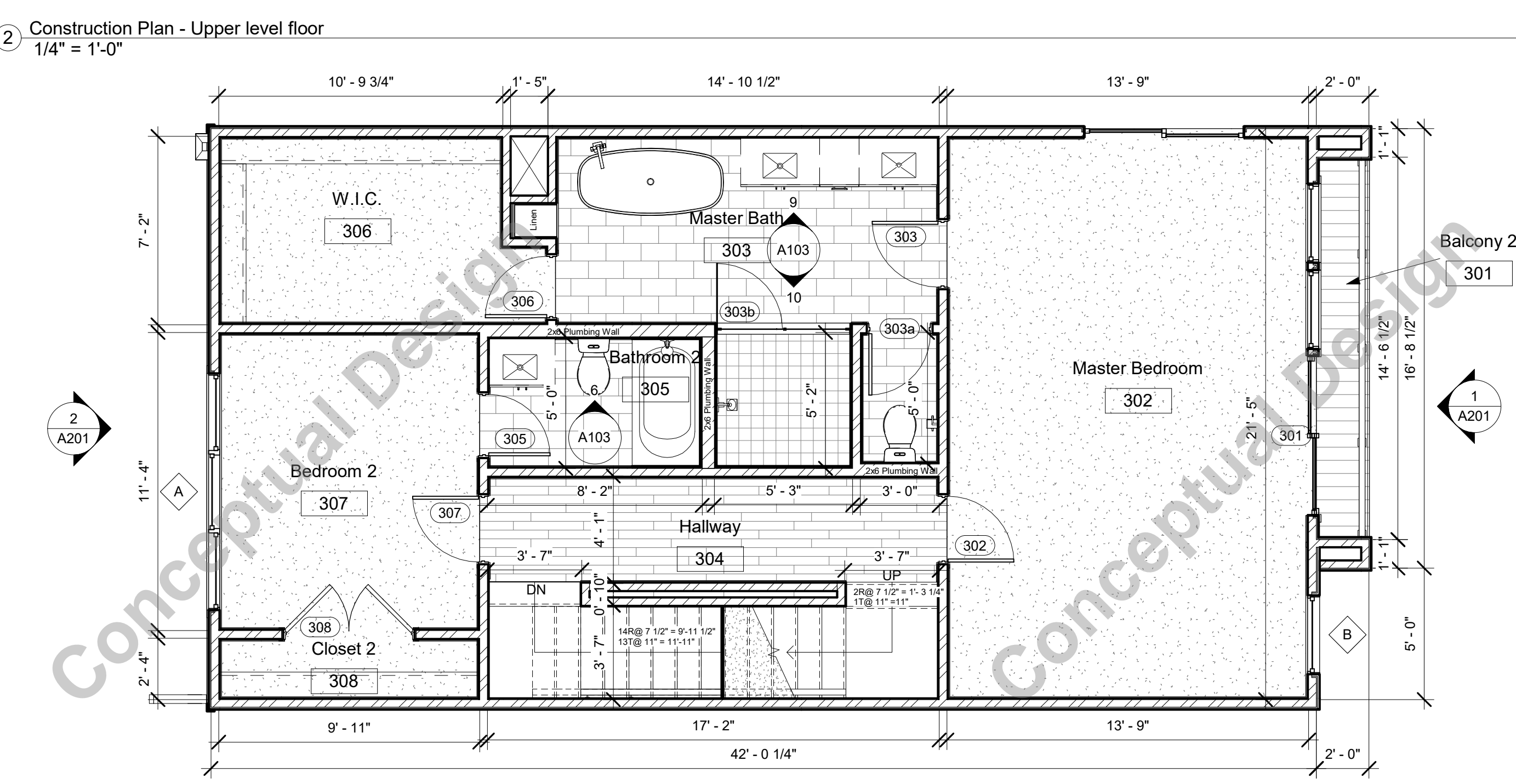
4 Construction Plan - Fourth Level Floor
 1/4" = 1'-0"



2 Construction Plan - Upper level floor
 1/4" = 1'-0"



5 Construction Plan - Roof
 1/4" = 1'-0"



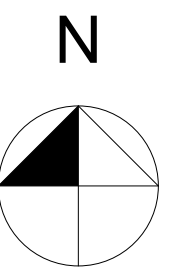
3 Construction Plan - Third level floor
 1/4" = 1'-0"

GENERAL NOTES

- All work shall be performed in accordance with all applicable national, state, and local codes, regulations, and FHA/VA MPS.
- Contractor shall verify all conditions and dimensions at site before beginning construction.
- All dimensions should be read or calculated and never scaled.
- All footing to be below frost line (see local code) and must rest on undisturbed soil capable of handling the building.
- Contractor shall insure compatibility of the building with all site requirements.
- If backfill exceeds 4' against any foundation wall, reinforce as per code.
- The contractor is for adjusting and verify all structural details and conditions to meet all local codes and to insure a quality and safe structure.
- All wood, concrete, and steel structural members shall be of a good grade and quality and meet all national, state, and local building codes where applicable.
- All columns or solid framing should be designed to carry loads and should extend thru the levels below and terminate at the basement floor or at other bearing point designed to carry the load.
- Contractor shall insure compatibility of the building with all site requirements.
- Contractor will be held responsible for any dimensions not verified, or changes due to dimensions shown on these plans to be incorrect.
- All dimensions, unless otherwise noted, are from outside edge to outside edge of studs.

HEAT SQ. FT.		
Name	Area	Perimeter
Main Level Floor	416 SF	82' - 8 3/4"
Upper Level Floor	837 SF	132' - 4"
Third Level Floor	802 SF	137' - 3"
Fourth Level Floor	286 SF	81' - 8 1/4"
TOTAL	2341 SF	

GROSS SQ. FT.		
Name	Area	Perimeter
Main Level Floor	444 SF	87' - 4 3/4"
Front Porch	13 SF	12' - 8"
Garage	436 SF	80' - 5 1/2"
Upper Level Floor	882 SF	132' - 4"
Balcony 1	37 SF	35' - 4 3/4"
Third Level Floor	850 SF	134' - 3"
Balcony 2	37 SF	35' - 4 3/4"
Terrace	531 SF	125' - 10 1/2"
Mechanical Room	38 SF	23' - 0 1/4"
Fourth Level Floor	302 SF	82' - 0 3/4"
TOTAL	3571 SF	



VEST

ENGINEERING INC.

227 SUMAC TRL,
WOODSTOCK, GA 30188
404-218-9579
www.vestengineering.com



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ISSUES & REVISIONS

NO.	DATE	DESCRIPTION

PROJECT:
Gran Terraza at Memorial Dr
3265 Memorial Dr, Decatur GA 30032

CONTENTS:

PROPOSED
SITE PLAN

DATE:
6-30-20

SHEET No:

C-1.1

OF: SHEETS:

SITE DATA:

EXISTING ZONING:
E3 CHARITABLE PROPERTY, C3 COMERCIAL LOT &
R3 RESIDENTIAL LOT

PROPOSED ZONING:
MR-2 RESIDENTIAL MEDIUM

PROPERTY AREA = 2.868 ACRES
TOTAL DISTURBED AREA = 1.60 ACRES

PROJECT BUILDING DATA:

PROPOSED RESIDENTIAL UNITS: 44 UNITS
TOTAL No. OF BUILDINGS: 7
BUILDINGS HEIGHT: 41'-10"
TOTAL BEDS: 176
PARKING RATIO: 1 PER DWELLING= 44

HEATED AREA PER UNIT= 2,341 sq ft
TOTAL HEATED AREA 44 UNITS= 103,004 sq ft

UNHEATED AREA PER UNIT= 1,230 sq ft
TOTAL UNHEATED AREA 44 UNITS= 54,120 sq ft

TOTAL AREA PER UNIT= 3,571 sq ft
TOTAL AREA 44 UNITS= 157,124 sq ft

FOOTAGE PER UNIT= 893 sq ft

FOOTAGE PER BUILDING:
BUILDING 1 (8 UNITS)= 7,144 sq ft
BUILDING 2 (8 UNITS)= 7,144 sq ft
BUILDING 3 (5 UNITS)= 4,465 sq ft
BUILDING 4 (6 UNITS)= 5,358 sq ft
BUILDING 5 (8 UNITS)= 7,144 sq ft
BUILDING 6 (4 UNITS)= 3,572 sq ft
BUILDING 7 (5 UNITS)= 4,465 sq ft
FOOTAGE TOTAL= 39,292 sq ft

WALKWAY DATA:

WALKWAYS= 9,893 sq ft
SIDEWALK= 5'-0" WIDTH
PATH GARAGE= 5,576 sq ft

INTERIOR STREETS DATA:

INTERIOR STREETS AREA= 18,775 sq ft
INTERIOR STREETS= 24'-0" WIDTH

SETBACKS:

FROM THOROUGHFARES ARTERIALS: Min. 10'-0"
FRONT ALL OTHER STREETS: 0
FRONT / SIDE: 0
REAR WITH ALLEY: 10'-0"

LOT COVERAGE:

MR-2 MAXIMUM LOT COVERAGE 75%:

IMPERVIOUS SURFACES PROPOSED RESIDENTIAL UNITS= 44

MAIN LEVEL FLOOR: 444 sq ft X 44= 19,536 sq ft
FRONT PORCH: 13 sq ft X 44= 572 sq ft
GARAGE: 436 sq ft X 44= 19,184 sq ft
SIDEWALK EXTERIOR= 3,935 sq ft
SIDEWALK GREE AREA= 5,959 sq ft
DRIVEWALK= 18,775 sq ft
PATH GARAGE= 5,576 sq ft
TOTAL PROPOSED IMPERVIOUS= 73,536 sq ft

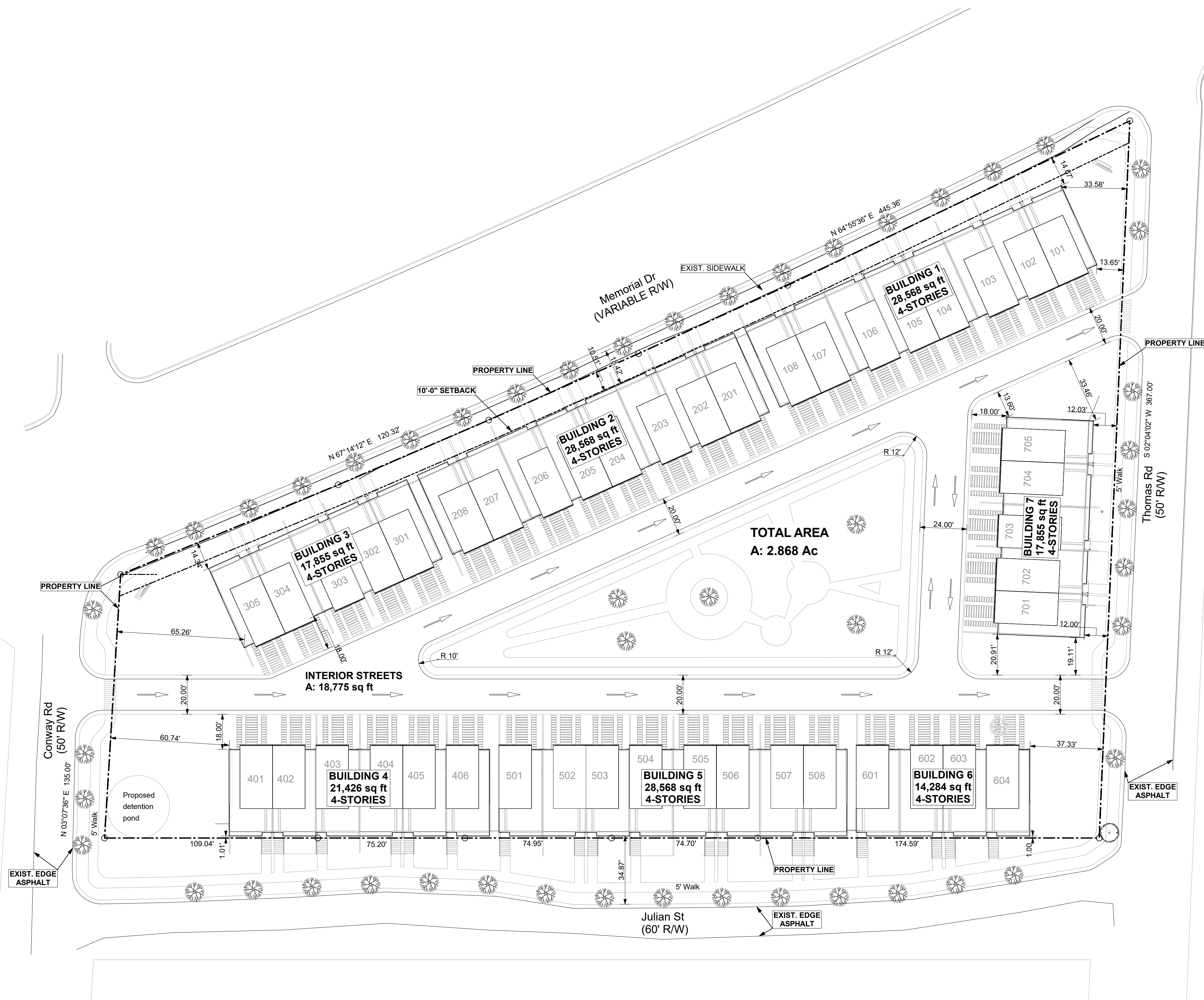
CALCULATE LOT COVERAGE= 73,536 sq ft / 124,916 sq ft = 58% < 75%

OPEN SPACE CALCULATION:

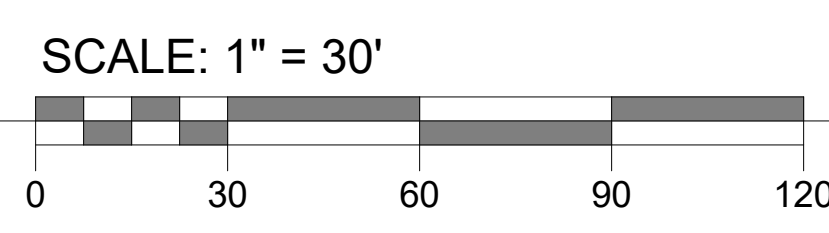
OPEN SPACE REQUIRED=15%
PROPERTY AREA=124,916 sq ft = 2.868 ACRES
TOTAL FOOTAGE AREA= 39,292 sq ft
OPEN SPACE RATIO= 39,292 X 0.15= 5,894 sq ft REQUIRED
124,916 sq ft - 39,292 sq ft = 85,624 sq ft PROVIDED OPEN SPACE

DENSITY CALCULATION:

PROPERTY AREA=124,916 sq ft = 2.868 ACRES
TOTAL RESIDENCES= 44 UNITS
CALCULATION= 44/2.868 = 15.3 UNITS/AC



1 PROPOSED SITE PLAN
C-1.1 1" = 30'





1 Building 100 - Front Elevations
1/8" = 1'-0"



2 Building 100 - Back Elevations
1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. Exterior color and/or material changes shall occur at interior corner transitions unless noted otherwise.
2. At all light fixtures installed at exterior walls - seal at perimeter of light fixture coverplate/flange to prevent water filtration.
3. Select site and landscape information is shown for illustrative purposes only. Refer to landscape and civil drawings for site information.

GRAN TERRAZA At Memorial Drive.
3265 Memorial Dr
Owner: Value Tower Inc.

SEAL

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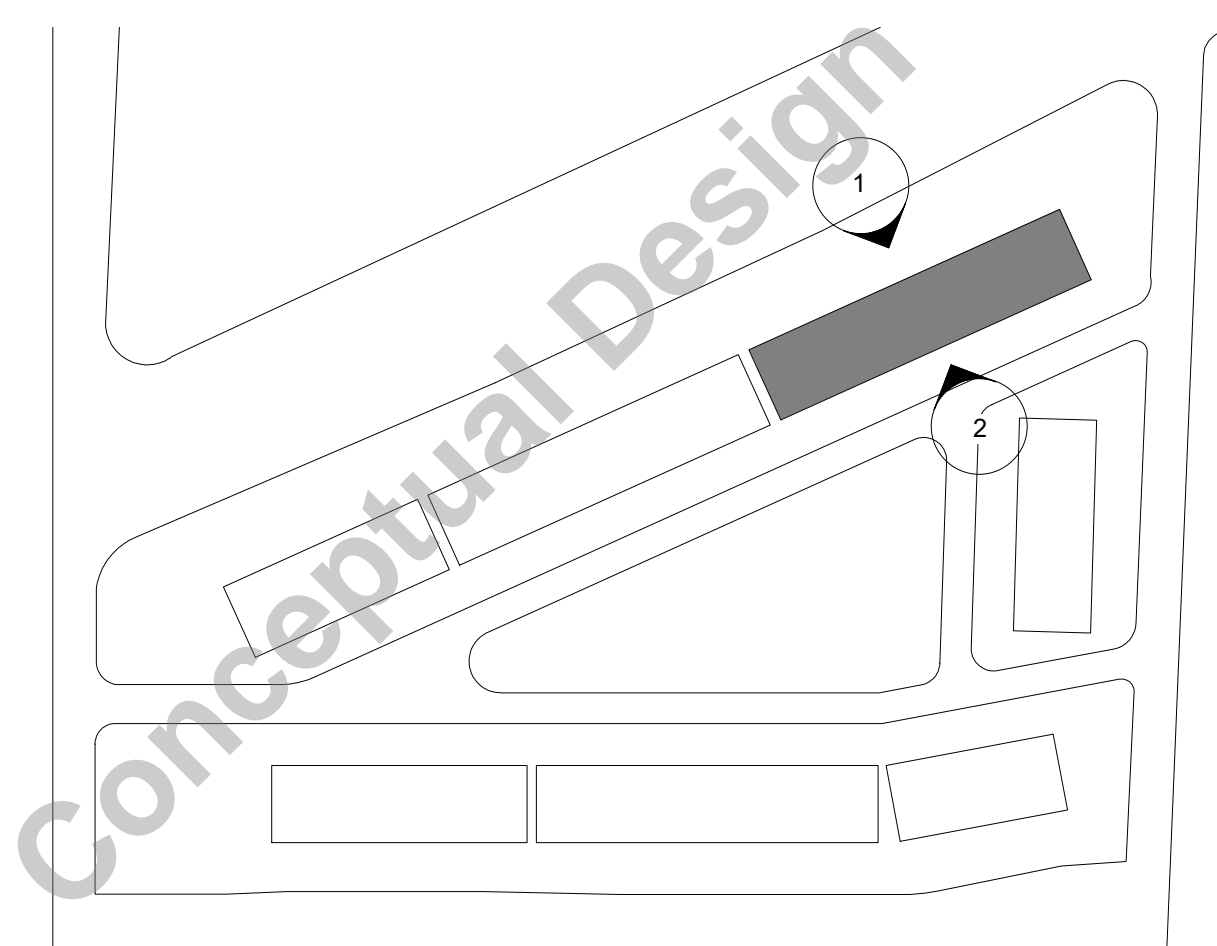
REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

Exterior
Elevation -
Building 100

KEY PLAN





① Building 200 - Front Elevations
1/8" = 1'-0"



② Building 200 - Back Elevations
1/8" = 1'-0"

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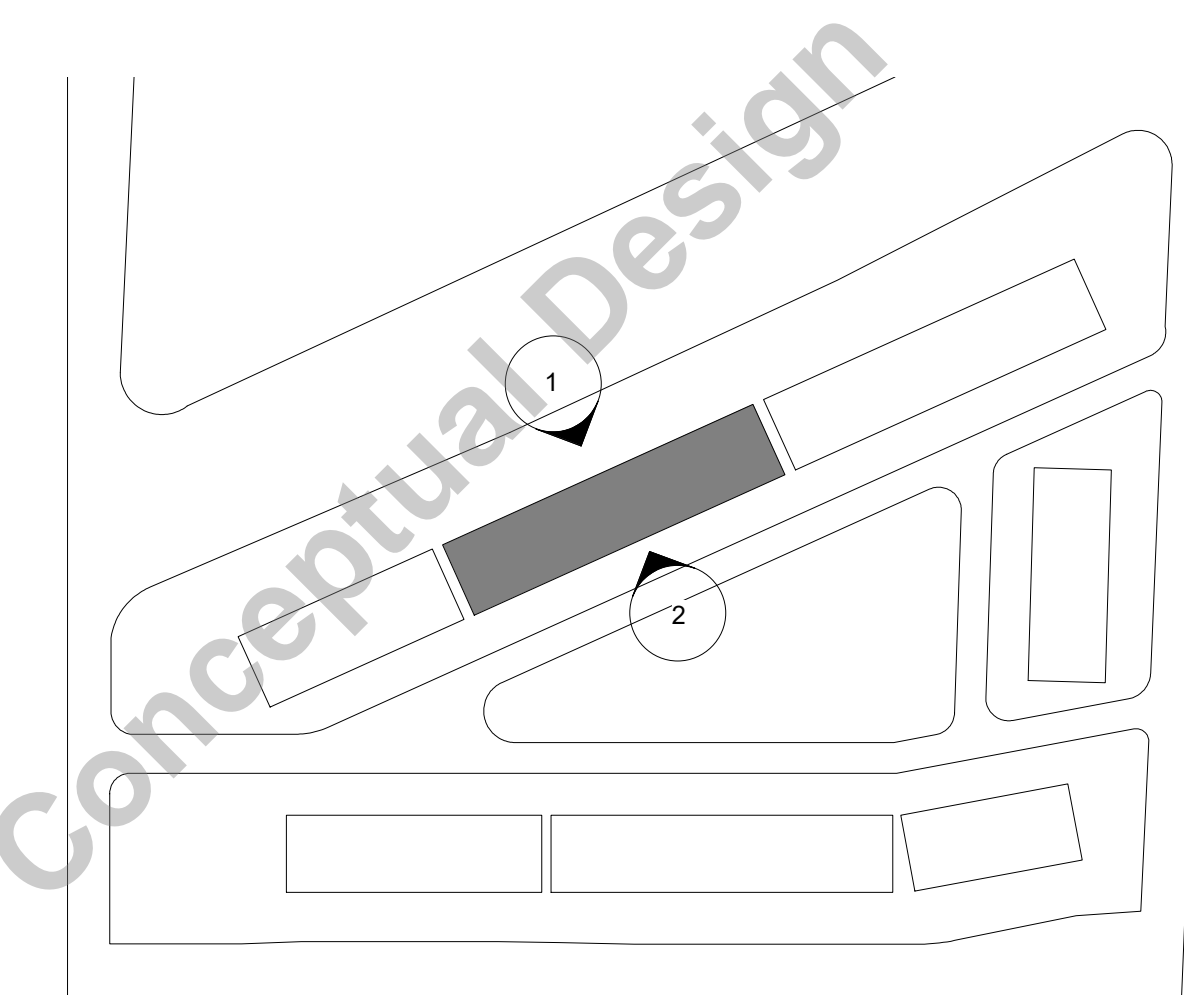
REVISION

No.	Description	Date

PROJECT NUMBER 2020-03

Exterior
Elevation -
Building 200

KEY PLAN





1 Building 300 - Front Elevations
1/8" = 1'-0"



2 Building 300 - Back Elevations
1/8" = 1'-0"

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3265 Memorial Dr
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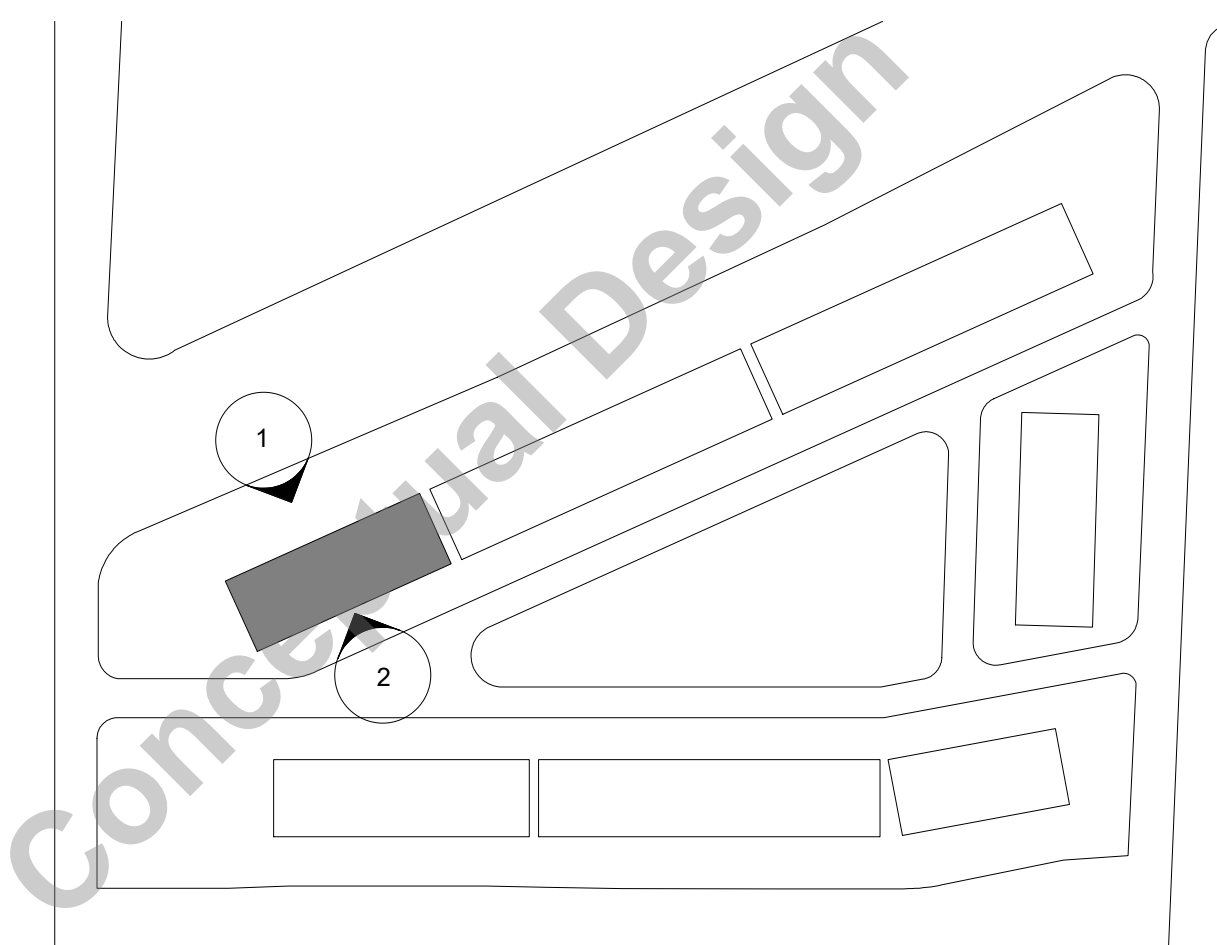
No.	Description	Date

PROJECT NUMBER 2020-03

Exterior
Elevation -
Building 300

A204

KEY PLAN





CONTRACTORS, INC.
EXPERIENCE · QUALITY · DEDICATION

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3265 Memorial Dr
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No.	Description	Date

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Exterior
Elevation -
Building 400

A205

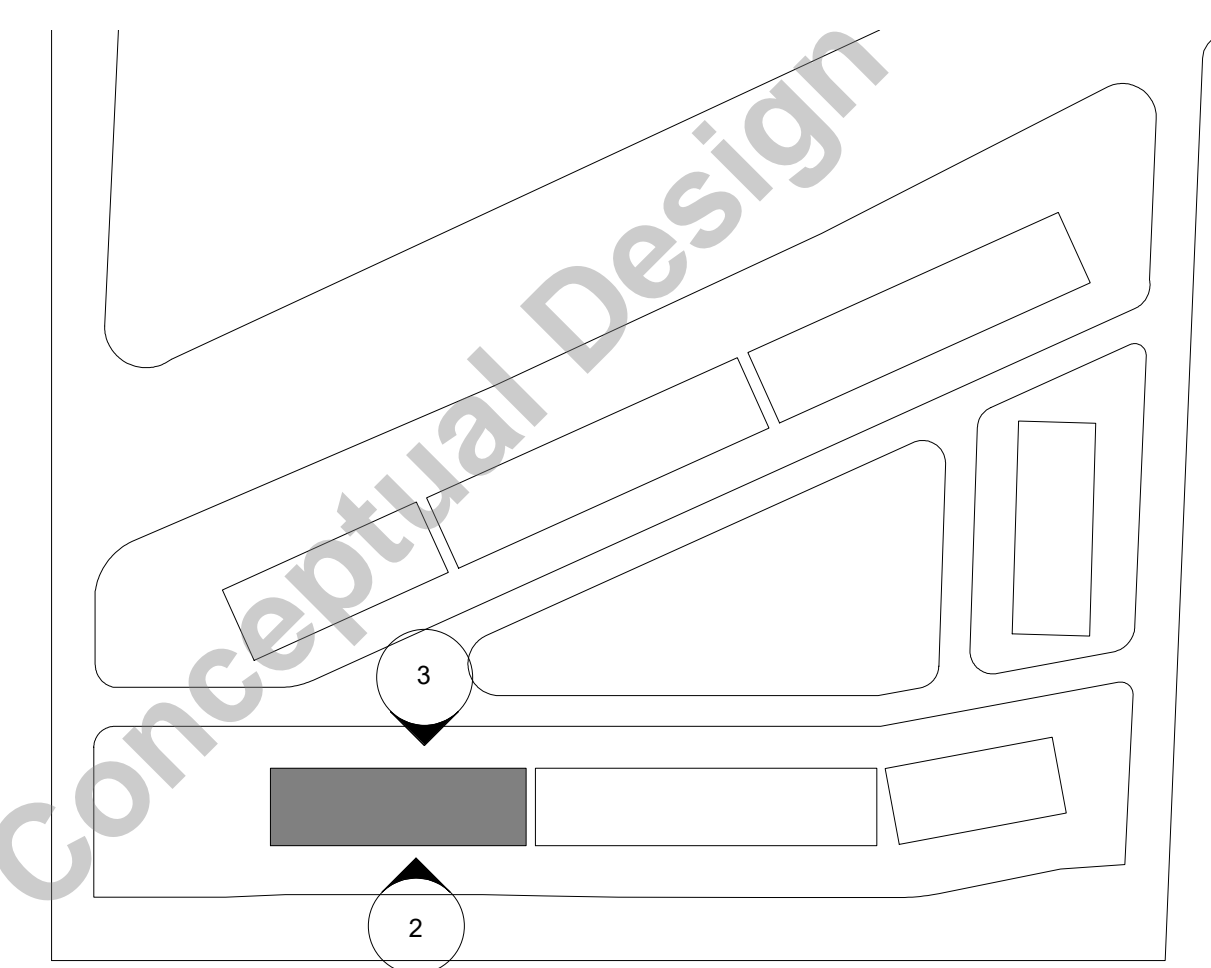


② Building 400 - Front Elevation
1/8" = 1'-0"



③ Building 400 - Back Elevation
1/8" = 1'-0"

KEY PLAN



Plans to be printed on sheet Archi D 36" x 24"

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GRAN TERRAZA At Memorial Drive.
 3265 Memorial Dr
 Owner: Value Tower Inc.

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Exterior Elevation - Building 500

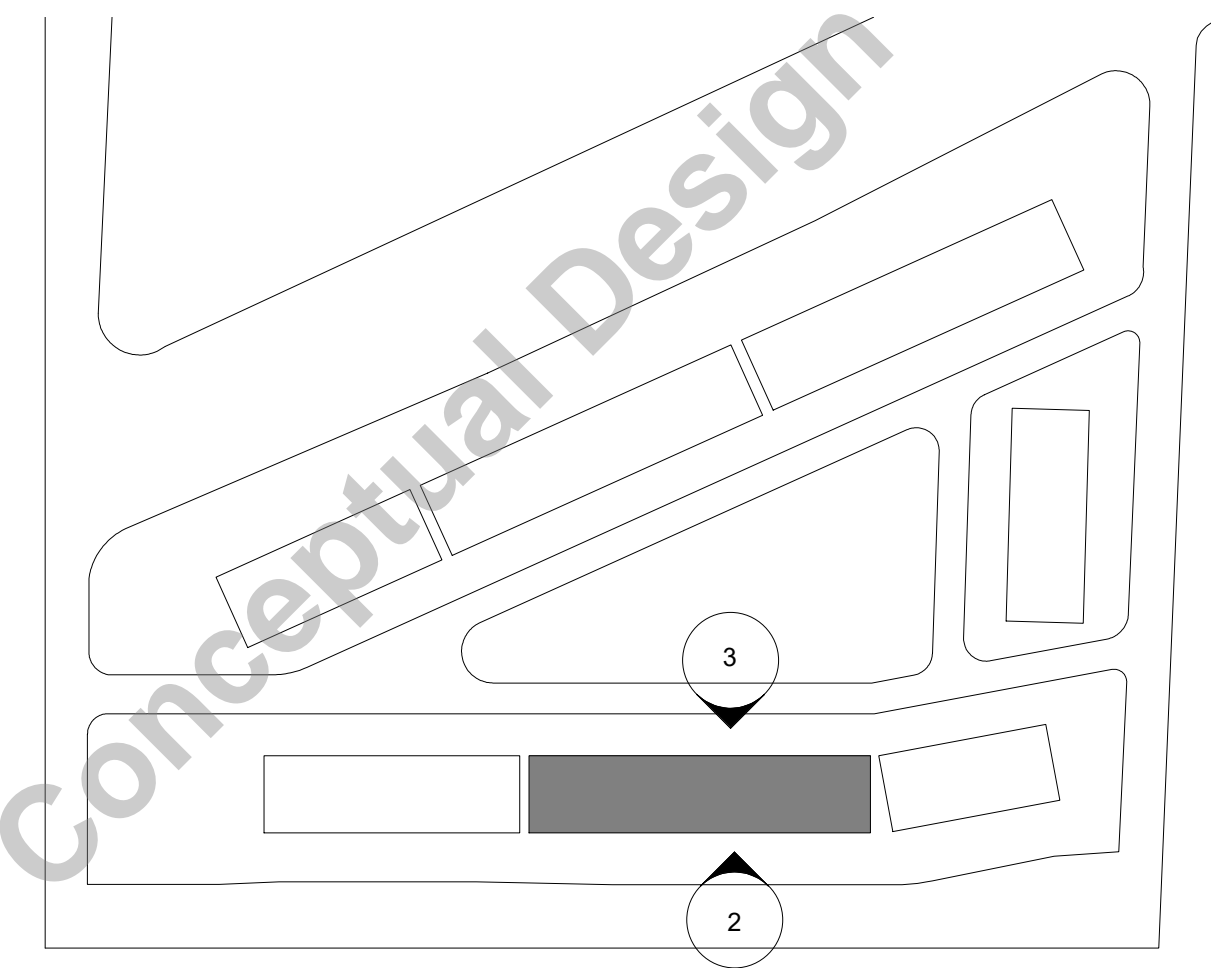


② Building 500 - Front Elevation
 1/8" = 1'-0"



③ Building 500 - Back Elevation
 1/8" = 1'-0"

KEY PLAN



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GRAN TERRAZA At Memorial Drive.
 3265 Memorial Dr
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Exterior Elevation - Building 600

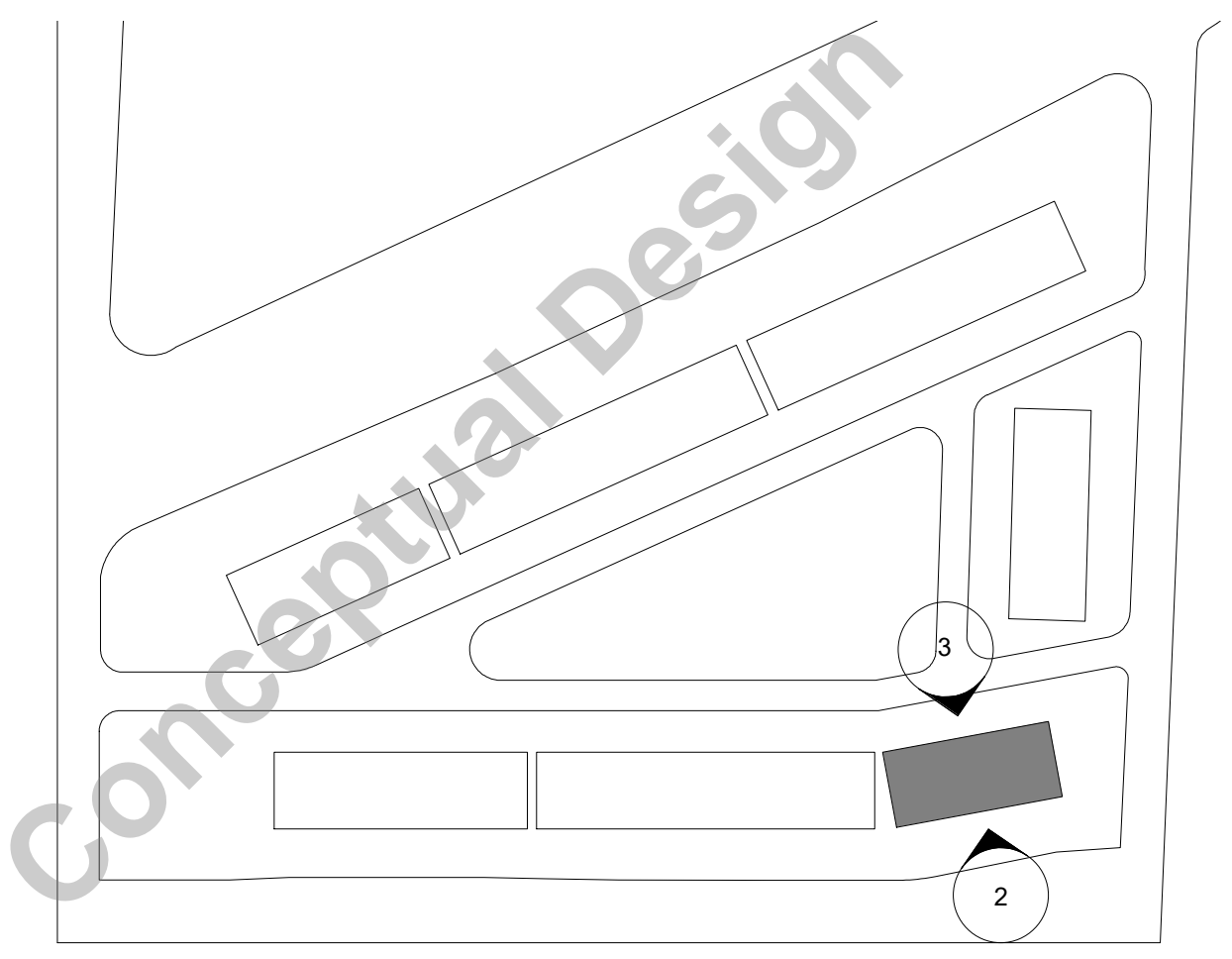


② Building 600 - Front Elevation
 1/8" = 1'-0"



③ Building 600 - Back Elevation
 1/8" = 1'-0"

KEY PLAN



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Exterior
 Elevation -
 Building 700

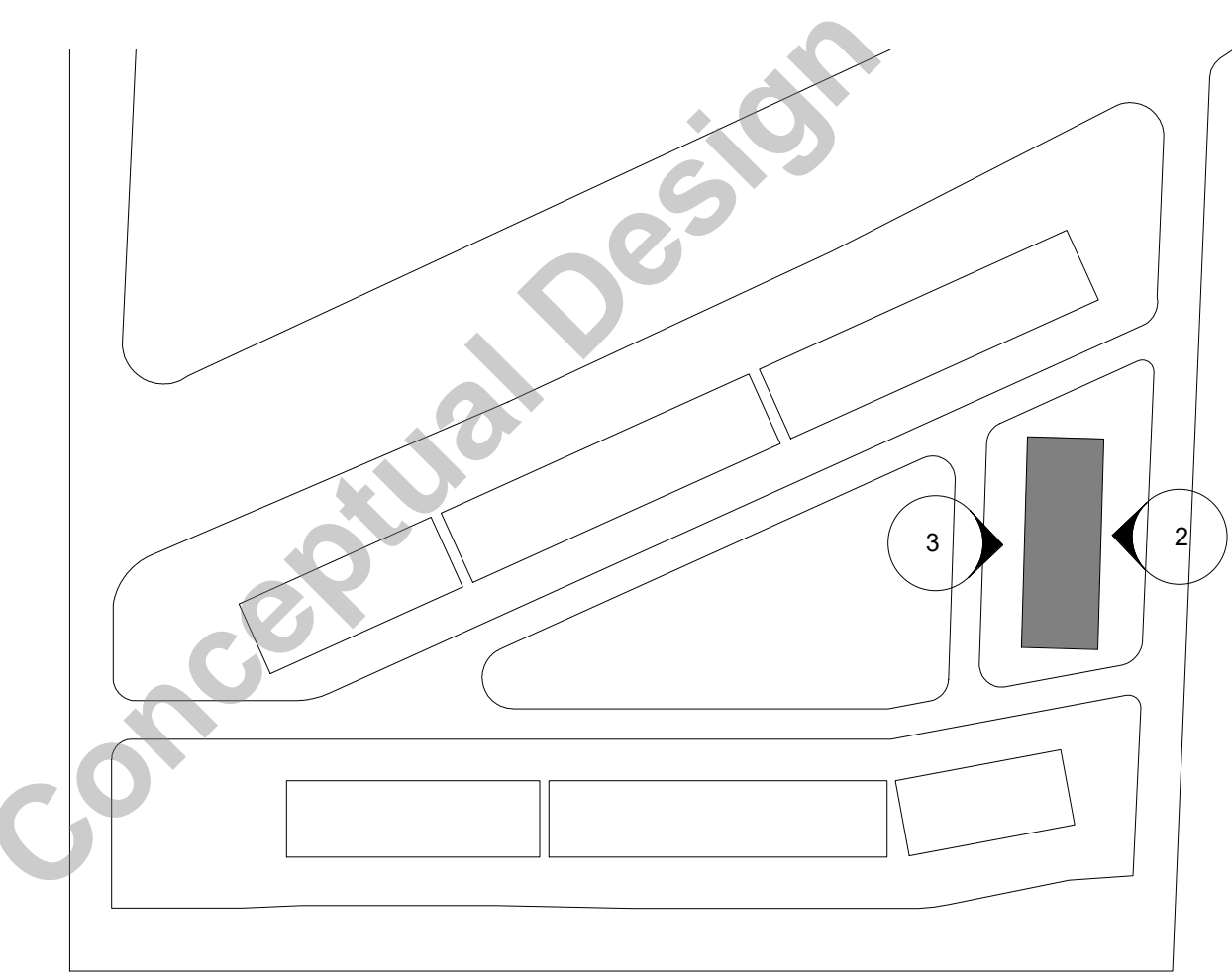


② Building 700 - Front Elevation
 1/8" = 1'-0"



③ Building 700 - Back Elevation
 1/8" = 1'-0"

KEY PLAN



GRAN TERRAZA At Memorial Drive
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 Owner: Value Tower Ink.

SEAL

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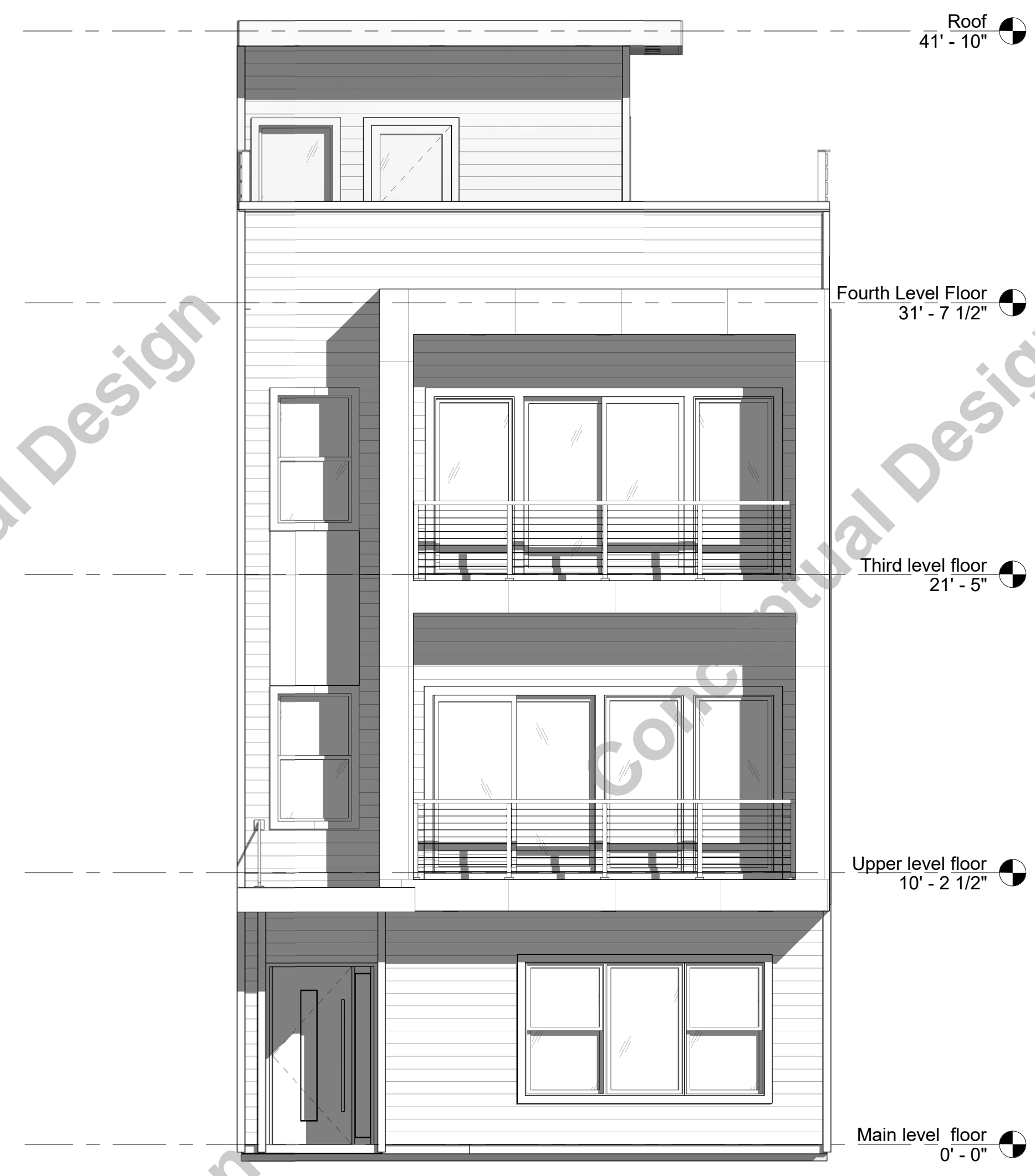
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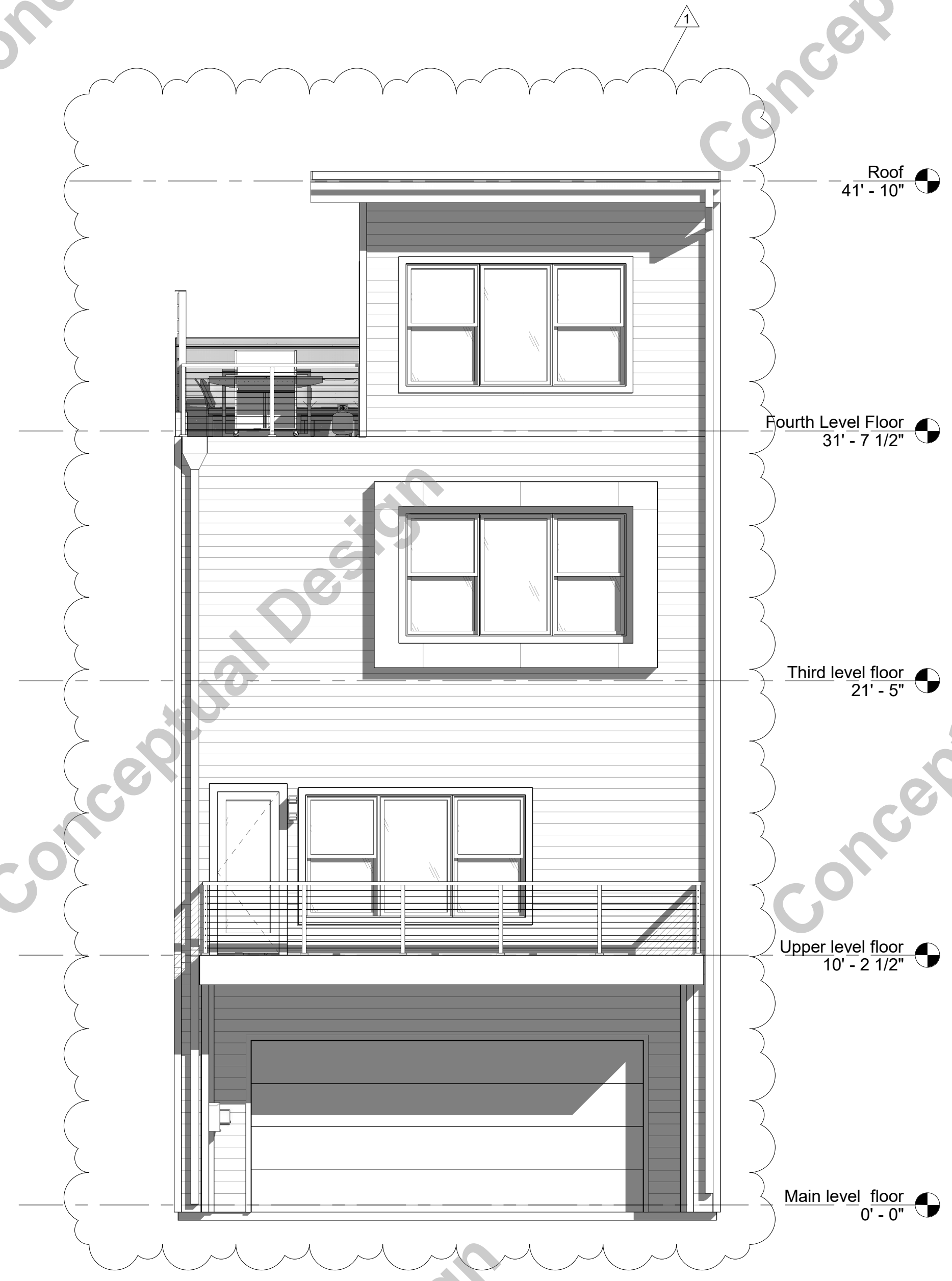
No.	Description	Date
1	Revision 1	08/31/2020

PROJECT NUMBER 2020-03

Type A - Unit
 Elevation Plan



① East elevation
 1/4" = 1'-0"



② West elevation
 1/4" = 1'-0"

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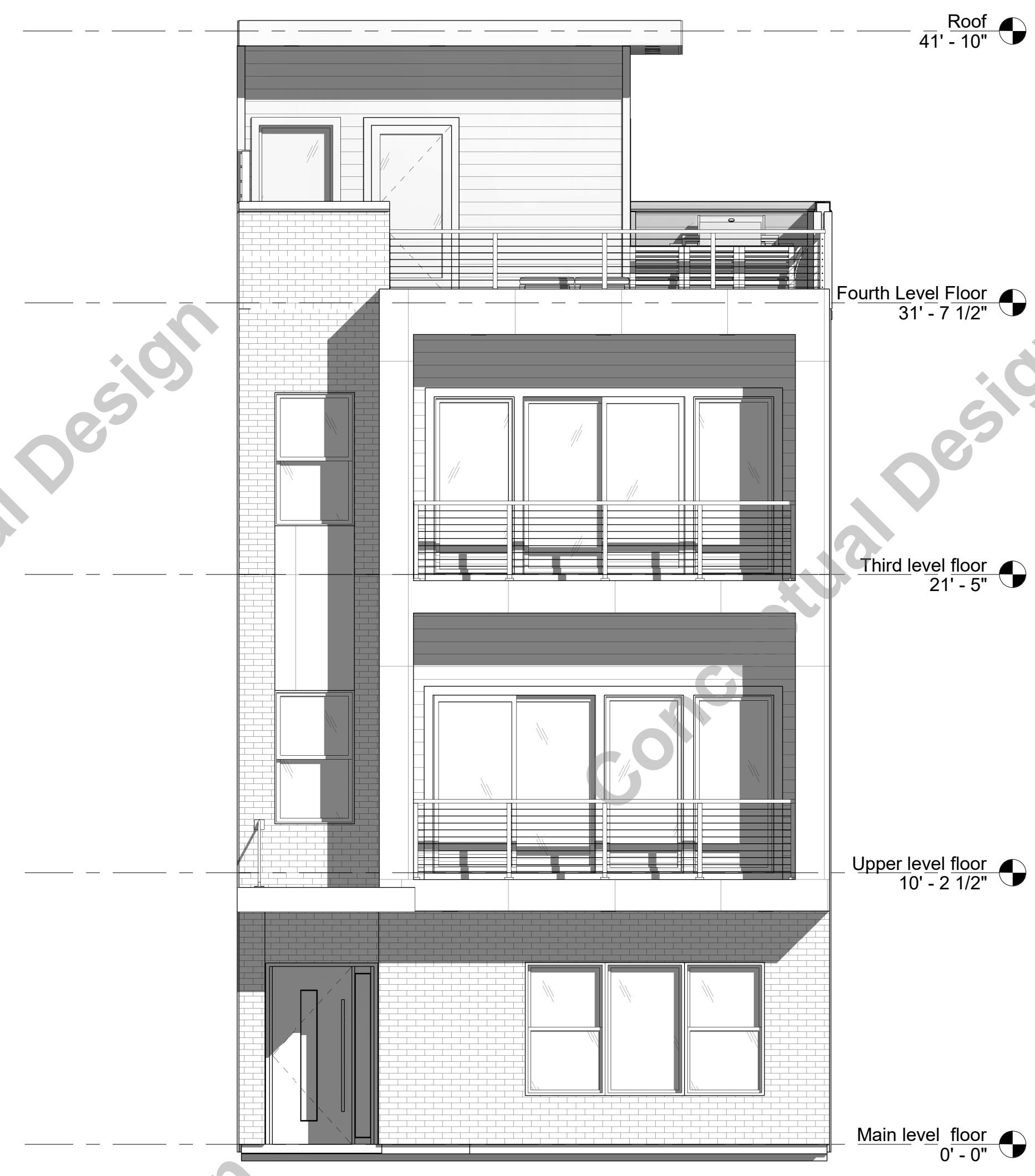
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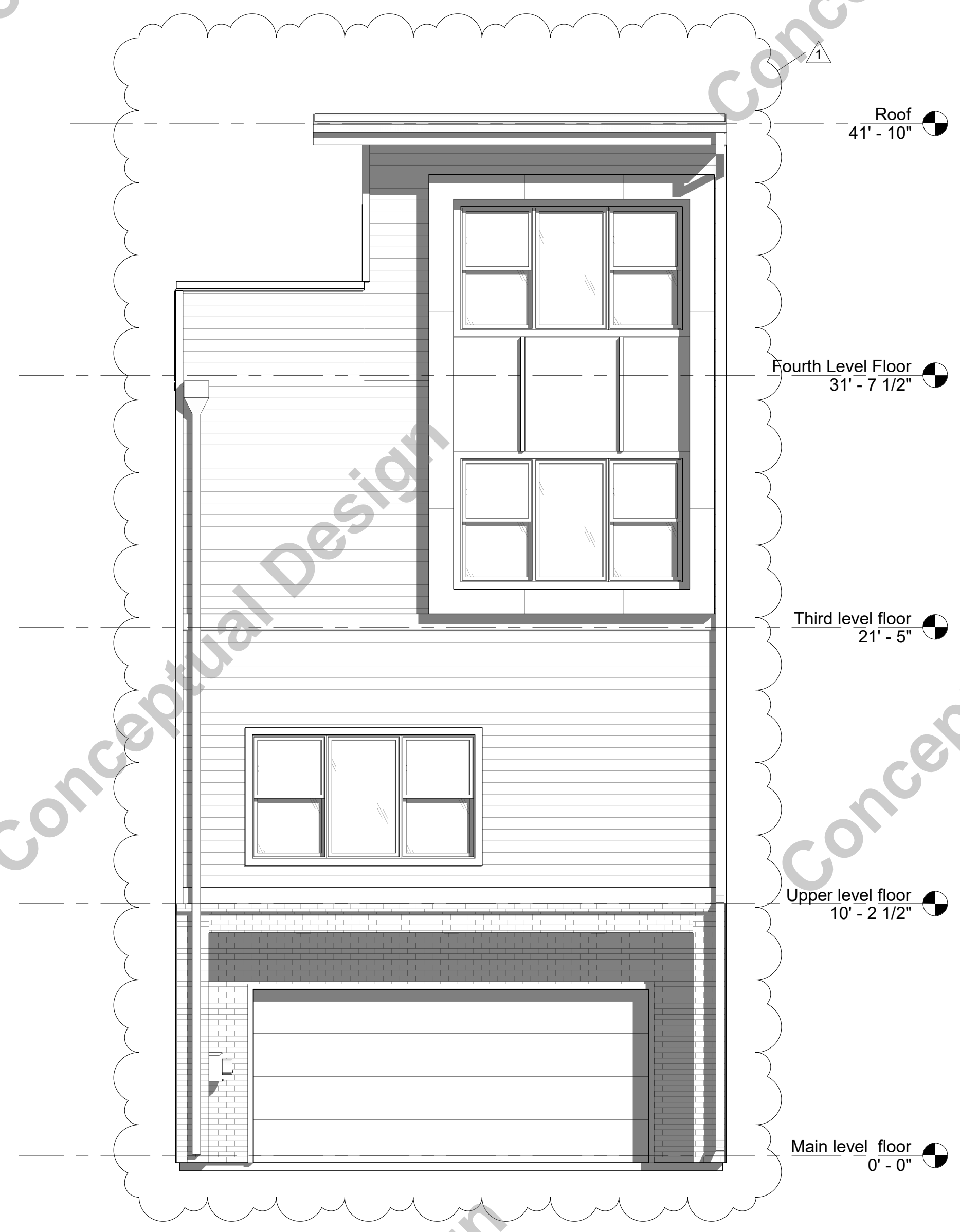
No.	Description	Date
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PROJECT NUMBER 2020-03

Type B - Unit
 Elevation Plan



① East elevation
 1/4" = 1'-0"



② West elevation
 1/4" = 1'-0"